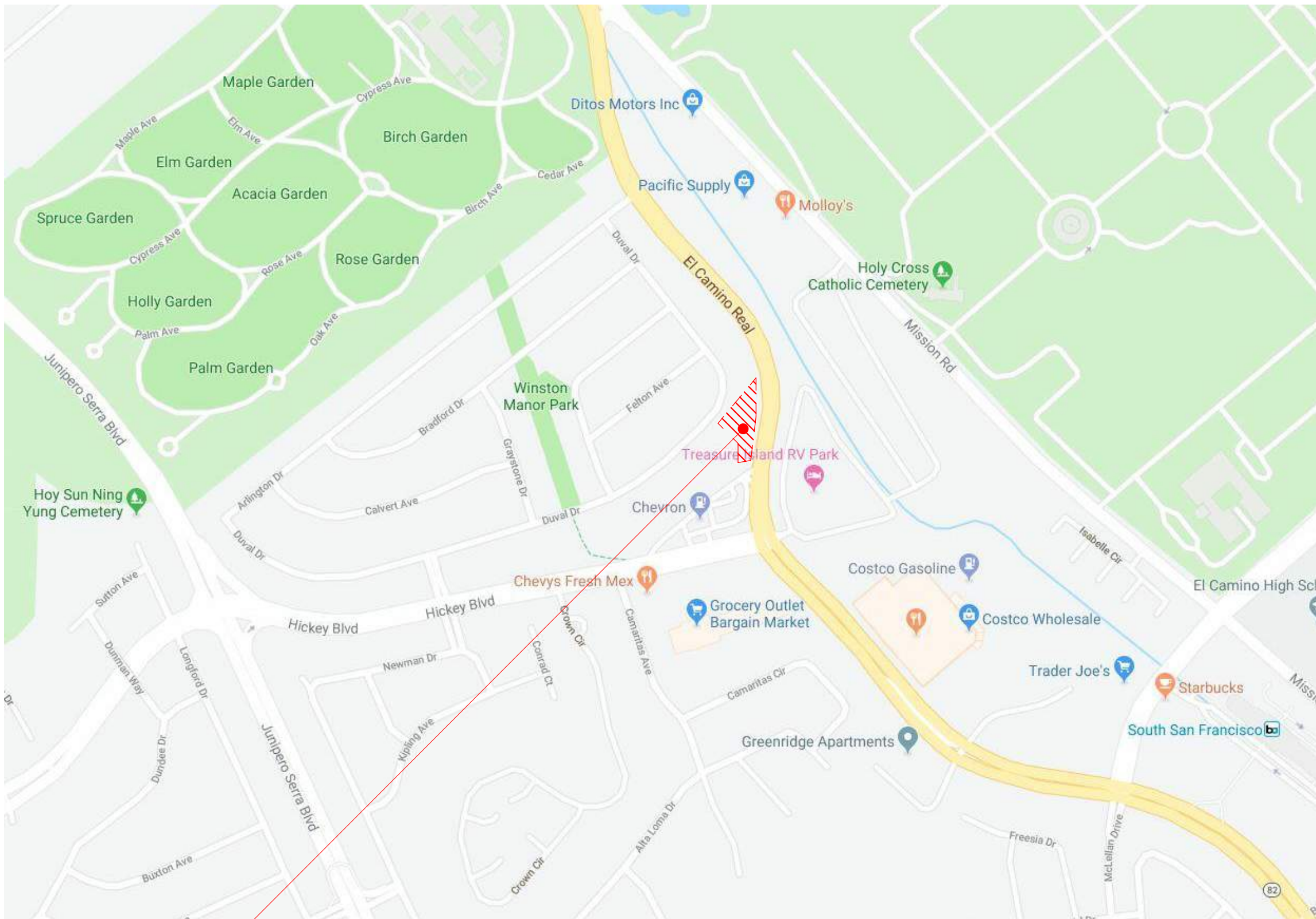


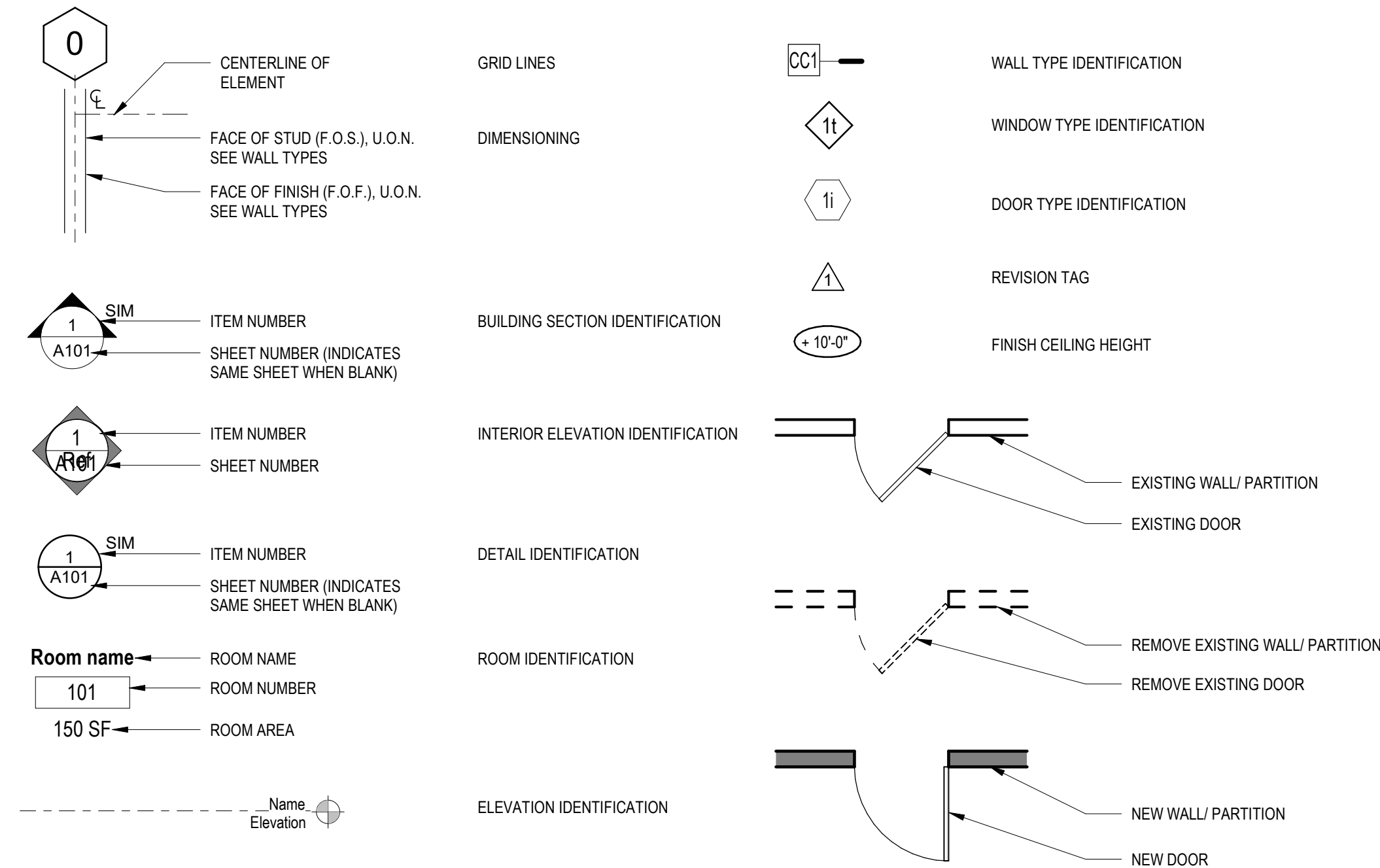
EL CAMINO REAL

VICINITY MAP



PROJECT SITE

LEGEND & SYMBOLS



PLANNING INFORMATION

	REQUIRED	PROVIDED
ADDRESS:	N/A	
APN:	010171210	
LOT AREA:	10,703 SF	
ZONING DISTRICT:	CC (COMMUNITY COMMERCIAL)	
HEIGHT LIMIT:	MAIN BUILDING: 50'	50' MAX. ~33' - 6"
PER TABLE 20.090.003	ACCESSORY BUILDING: 20'	
FAR:	0.5 MAX	0.5 MAX 0.406
PER TABLE 20.090.003		
LOT COVERAGE:	50% MAX	50% MAX 25%
PER TABLE 20.090.003		
TOTAL BUILDABLE AREA:	5,351 SF	5,351 SF MAX. 4,650 GSF
MAX. DENSITY:	N/A	
PER SECTION		
MIN. OPEN SPACE:	150 SF PER LIVE-WORK UNIT	600 SF 1,447 SF
PER TABLE 20.090.003		
MIN. LANDSCAPE TREES	1 PER 2,000 SF OF FLOOR AREA	3 5
PER SECTION 13.30.100D		
MIN. LANDSCAPING:	10% OF LOT AREA	1,070.3 SF 3,775 SF
PER TABLE 20.090.003		
FLOOR AREA:	AT LEAST 50% OF THE GROSS FLOOR AREA OF A LIVE-WORK UNIT MUST BE DESIGNATED AND REGULARLY USED FOR WORK ACTIVITIES	
PER SECTION 20.350.25C		
SETBACKS:	FRONT: 10'	10' 10'
PER TABLE 20.090.003	INTERIOR SIDE: 0' OR 10' WHEN ABUTTING AN R DISTRICT	0' 0'
	REAR: 0' OR 10' WHEN ABUTTING AN R DISTRICT	10' 10'
MIN. PARKING:	1.5 SPACE PER LIVE-WORK UNIT OR 1.5 SPACE FOR EVERY 1,000 SF OF FLOOR SPACE, WHICHEVER IS GREATER	7 7
PER TABLE 20.330.004		
MIN. BICYCLE PARKING:	SHORT TERM: 10% OF THE NUMBER OF REQUIRED AUTOMOBILE PARKING SPACES, WITH A MIN. OF 4 PARKING SPACES	4 4
PER SECTION 20.330.008A.1		
PER SECTION 20.330.008B.1.b	LONG TERM: ANY ESTABLISHMENT WITH 25 OR MORE EMPLOYEES SHALL PROVIDE LONG TERM BICYCLE PARKING SPACES AT A RATIO OF 1 SPACES PER 25 AUTOMOBILE PARKING SPACES	0 0
MIN. LOADING:	0 LOADING SPACES FOR TOTAL BUILDING SPACE < 6,999 GSF	0 0
PER TABLE 20.330.009A		

CONSTRUCTION TYPE:	
PROPOSED OCCUPANCY:	COMMERCIAL - LIVE-WORK UNITS

GROSS BLDG AREA BY FLOOR (GSF)

STORAGE	168 SF
GROUND LEVEL	168 SF
WORK	1994 SF
LEVEL 2	1994 SF

LIVE	2183 SF
LEVEL 3	2183 SF
TOTAL SF	4345 SF

(DOES NOT INCLUDE PARKING BAY& OPEN SPACE)

OPEN SPACE (GSF)

OPEN SPACE	1447 SF
GRAND TOTAL	1447 SF
	600 SF REQ'D

AREAS BY UNIT AND USE (GSF)

UNIT 1		
LIVE	531 SF	45%
WORK	608 SF	55%
	1140 SF	

UNIT 2		
LIVE	523 SF	45%
WORK	602 SF	55%
	1125 SF	

UNIT 3		
LIVE	523 SF	45%
WORK	602 SF	55%
	1125 SF	

UNIT 4		
LIVE	527 SF	45%
WORK	611 SF	55%
	1138 SF	
TOTAL	4527 SF	

LOT COVERAGE

LOT AREA	10,703 SF
BUILDING FOOTPRINT	2,704 GSF
LOT COVERAGE	25%

FLOOR AREA RATIO

LOT AREA	10,703 SF
TOTAL FLOOR AREA	4,345 GSF *
LOT COVERAGE	40.6% (0.406)

* TOTAL FLOOR AREA INCLUDES FLOOR AREA OF ALL UNITS, STORAGE, AND STAIRS (GROUND FLOOR ONLY). DOES NOT INCLUDE PARKING BAY & OPEN SPACE

DRAWING INDEX

COVER	
A0.0	PROJECT INFORMATION
A0.1	SITE PHOTOGRAPHS

SURVEY	
1	ALTA/NSPS LAND TITLE SURVEY OF VACANT LAND
2	ALTA/NSPS LAND TITLE SURVEY OF VACANT LAND

CIVIL	
C-0	TITLE SHEET
C-2	GRADING PLAN
C-3	UTILITY PLAN

LANDSCAPE	
L0.01	LANDSCAPE INDEX, NOTES AND LEGEND
L0.02	LANDSCAPE ILLUSTRATIVE PLAN
L1.00	LANDSCAPE MATERIALS PLAN - GROUND FLOOR
L3.00	LANDSCAPE PLANTING PLAN - GROUND FLOOR

ARCHITECTURAL	
A1.1	PROPOSED SITE AND ROOF PLAN
A1.2	SITE AERIAL ROOF VIEW
A1.3	FLOOR AREA TABULATION PLANS
A2.1	FIRST FLOOR SITE PLAN
A2.2	SECOND FLOOR PLAN
A2.3	THIRD FLOOR PLAN
A3.0	AXON
A3.1	3D VIEWS
A3.3	BUILDING SECTION
A6.1	MATERIALS BOARD

PROJECT DESCRIPTION

LOCATED AT THE NORTHWEST CORNER OF EL CAMINO REAL AND HICKEY BLVD, THE SITE TOTALS 10,703 SQUARE FEET. THE PROPOSAL IS TO BUILD A NEW 3 STORY BUILDING CONSISTING OF 4 LIVE-WORK UNITS WITH 7 OFF-STREET PARKING BAYS LOCATED ON GROUND LEVEL, ACCESSED BY DRIVE WAY OFF EL CAMINO REAL.

OWNER

FIROOZEH (FAY) JAMASBI
1484 POLLARD RD #543
LOS GATOS, CA 95032
PH: (408)495-5800

ARCHITECT

KAVA MASSIH ARCHITECTS
920 GRAYSON ST.
BERKELEY, CA 94710
PH: (510)644-1920 FAX: (510)644-1929

PROJECT INFORMATION

N.T.S.
SEPT 18, 2021

JAMASBI LIVE-WORK

EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080

A0.0

KAVA MASSIH ARCHITECTS

920 Grayson Street | Berkeley, CA 94710

95 Federal Street | San Francisco, CA 94107

KMA PROJECT NO. 1924

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1: VIEW OF ADJACENT PROPERTY



2: VIEW OF ADJACENT PROPERTY



3: VIEW OF SITE AND ADJACENT PROPERTY



4: VIEW NORTH DOWN EL CAMINO REAL



5: VIEW FROM ACROSS EL CAMINO REAL



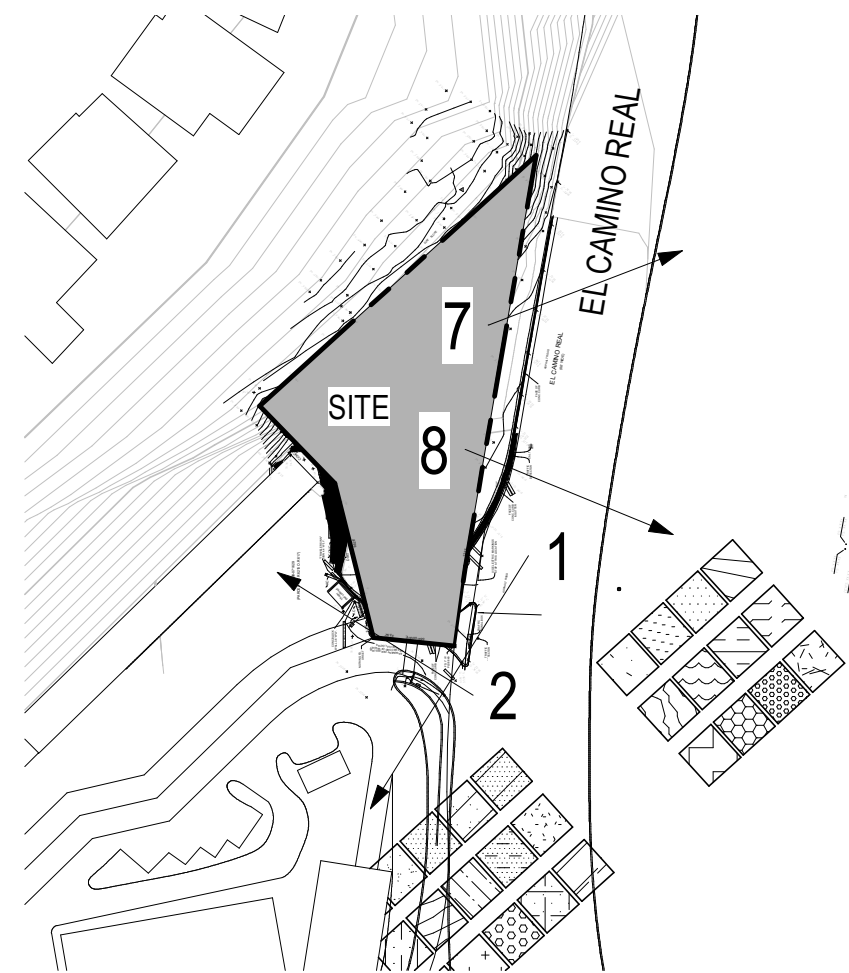
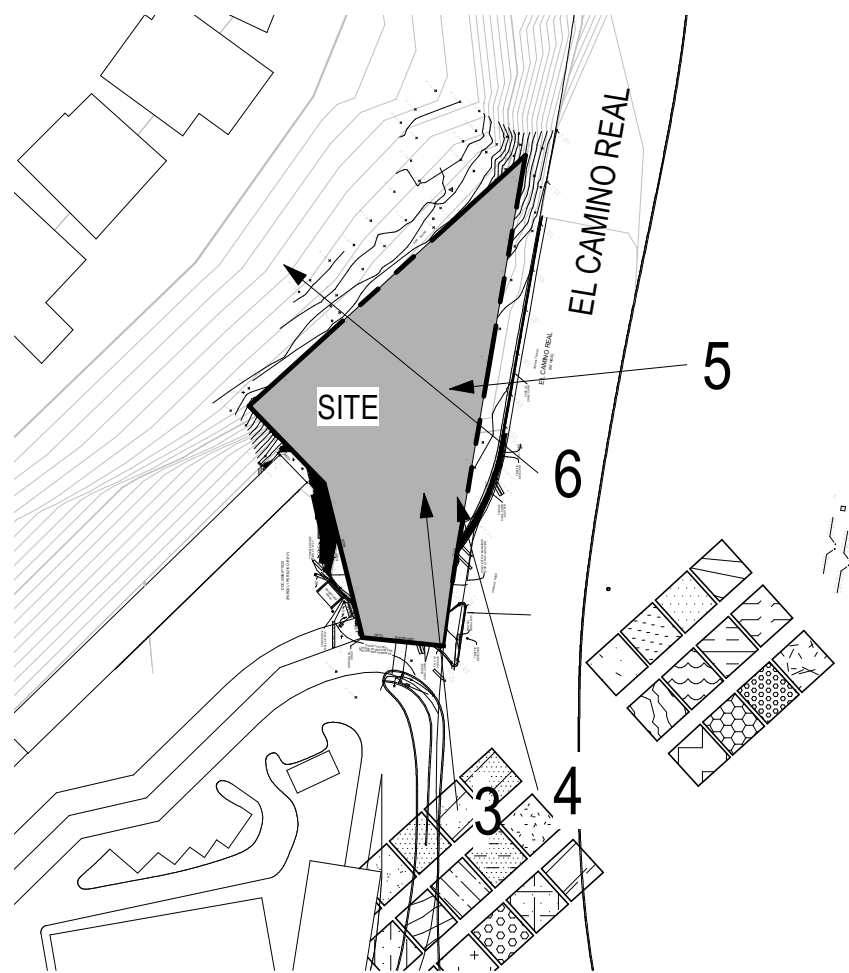
6: VIEW OF PROPERTY ABOVE SITE



7: VIEW FROM SITE ACROSS EL CAMINO REAL



8: VIEW FROM SITE ACROSS EL CAMINO REAL



SITE PHOTOGRAPHS

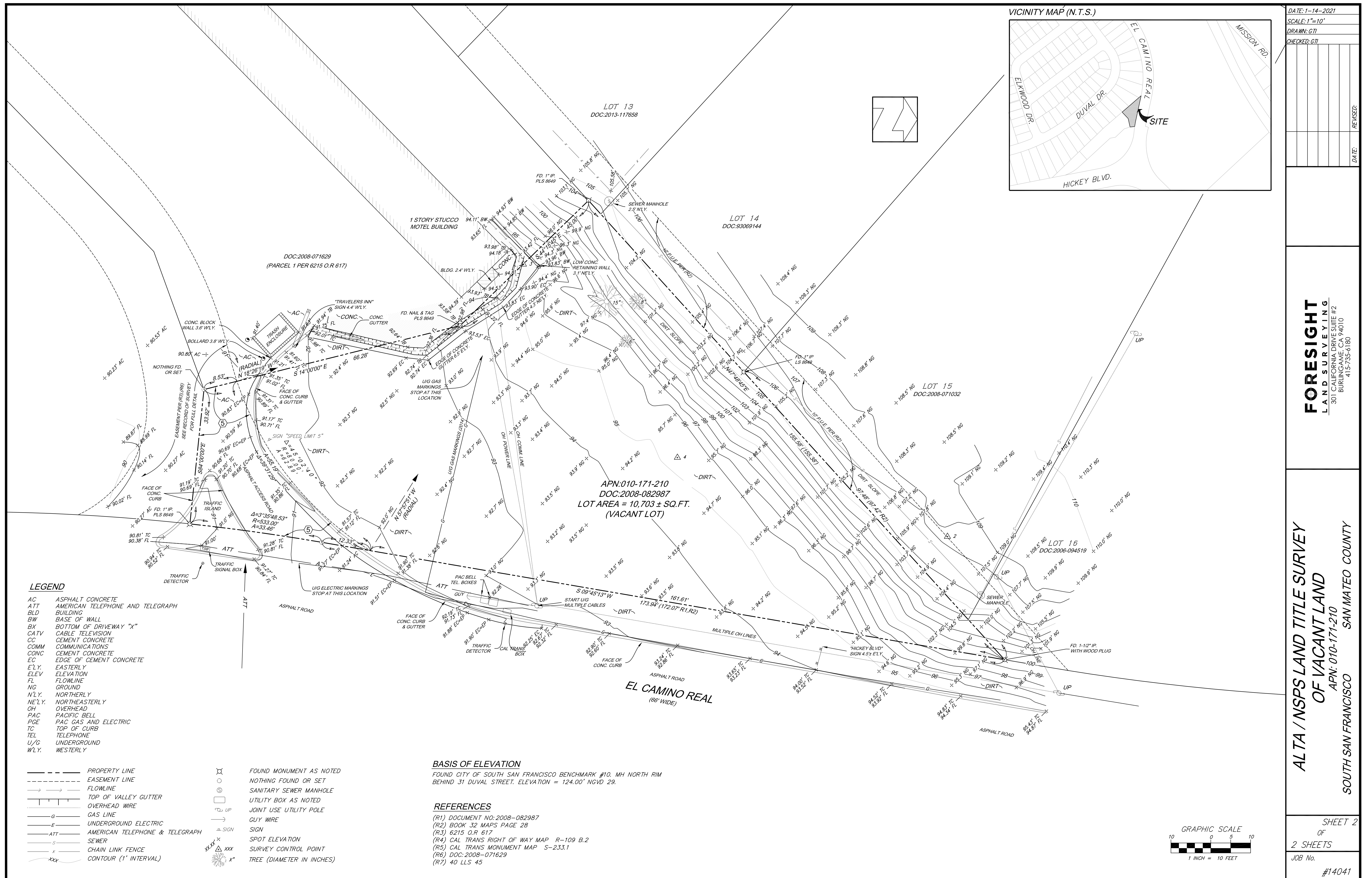
N.T.S.
SEPT 18, 2021

JAMASBI LIVE-WORK

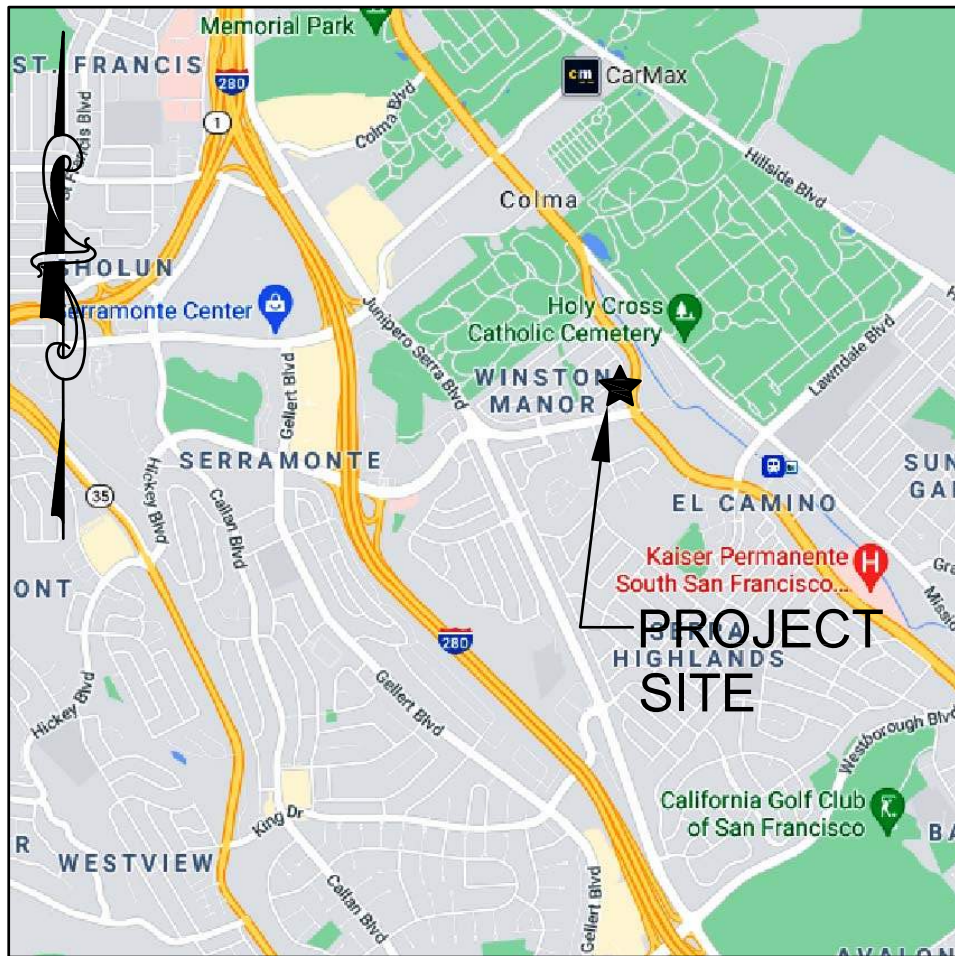
EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080

A0.1

KAVA MASSIH ARCHITECTS
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KMA PROJECT NO. 1924



NEW LIVE WORK BUILDING
EL CAMINO REAL AT HICKEY BOULEVARD
SOUTH SAN FRANCISCO, CA 94080



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

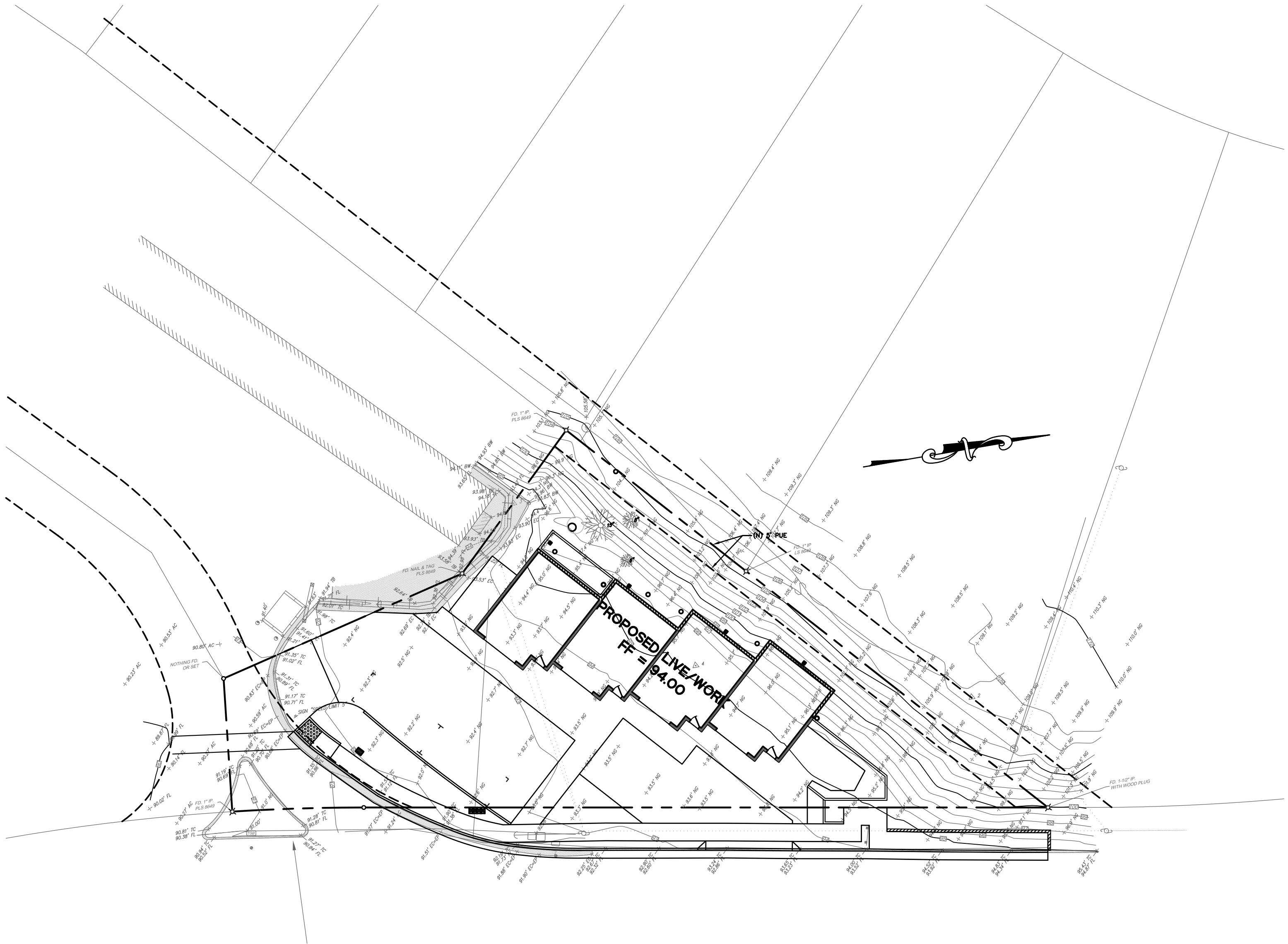
ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWY	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
INV	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

EARTHWORK QUANTITIES

CUT	220 C.Y.
FILL	0 C.Y.
TOTAL TO BE MOVED	220 C.Y.
BALANCE	220 C.Y. CUT (OFF-HAUL)

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.



EXISTING	PROPOSED	LEGEND:
SS	SS	SANITARY SEWER
SD	SD	STORM DRAIN
		STORM SUB-DRAIN (PERFORATED PIPE)
		TRANSITION FROM PERF. PIPE TO SOLID PIPE
FM	FM	FORCE MAIN
FW	FW	FIRE WATER LINE
W	W	DOMESTIC WATER SERVICE
IRR	IRR	IRRIGATION SERVICE
G	G	NATURAL GAS
E	E	ELECTRIC
JT	JT	JOINT TRENCH
X	X	FENCE
O	O	CLEAN OUT
		DOUBLE DETECTOR CHECK VALVE
		POST INDICATOR VALVE
		VALVE
		METER BOX
		STREET LIGHT
		AREA DRAIN
		CATCH BASIN
		FIRE HYDRANT
		FIRE DEPARTMENT CONNECTION
		BENCHMARK
		MANHOLE
		SIGN
		DOWNSPOUT
		SPLASH BLOCK
		CONTOURS
		PROPERTY LINE
		SETBACK
		GRASS SWALE
		RETAINING WALL/ BUILDING STEMWALL
		(E) TREE TO BE REMOVED

SHEET INDEX

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-2	GRADING PLAN
C-3	UTILITY PLAN

REVISIONS:	DATE:



TITLE SHEET
NEW LIVE WORK BUILDING
EL CAMINO REAL AT HICKEY BOULEVARD
SOUTH SAN FRANCISCO, CA 94080

Date:	05/11/2021
Scale:	AS SHOWN
Design:	AJP
Check:	TRL
Drawing Number:	C-0
PEC Job No.	PEC 21-032





SHEET INDEX		NOTES	ABBREVIATIONS	ABBREVIATIONS CONT.	GENERAL - ALL SHEETS
L0.01 L0.02 L1.00 L3.00	LANDSCAPE INDEX, NOTES AND LEGEND LANDSCAPE ILLUSTRATIVE PLAN LANDSCAPE MATERIALS PLAN - GROUND FLOOR LANDSCAPE PLANTING PLAN - GROUND FLOOR	<div>1. PLANS ARE SCHEMATIC DESIGN INTENT ONLY & NOT FOR CONSTRUCTION.</div> <div>2. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATIONS. ALL REQUIRED INSPECTIONS AND PERMITS SHALL BE PROVIDED BY CONTRACTOR.</div> <div>3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.</div> <div>4. REFER TO ARCHITECTURAL, CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.</div>	<div>AP AGGREGATE PAVING</div> <div>@ AT</div> <div>AC ASPHALTIC CONCRETE</div> <div>AD AREA DRAIN</div> <div>ARCH ARCHITECTURAL DRAWINGS</div> <div>B & B BALL AND BURLAP</div> <div>BC BOTTOM OF CURB</div> <div>BLDG BUILDING</div> <div>BS BOTTOM OF STEP</div> <div>BW BOTTOM OF WALL</div> <div>CA CONSTANT ARC</div> <div>CAL CALIPER</div> <div>CB CATCH BASIN</div> <div>CH CONCRETE HEADER</div> <div>CIP CAST IN PLACE</div> <div>CJ CONTROL JOINT</div> <div>CL CENTERLINE</div> <div>CLR CLEARANCE</div> <div>CO CLEAN OUT</div> <div>COJ CONSTRUCTION JOINT</div> <div>CONC CONCRETE</div> <div>CONT CONTINUOUS</div> <div>CP CONSTANT PITCH</div> <div>CUP CONCRETE UNIT PAVER</div> <div>CWAD COORDINATE WITH ARCHITECTURAL DRAWINGS</div> <div>CWCD COORDINATE WITH CIVIL DRAWINGS</div> <div>CWSD COORDINATE WITH STRUCTURAL DRAWINGS</div> <div>DIA DIAMETER</div> <div>Ø DIAMETER</div> <div>DI DRAIN INLET</div> <div>DN DOWN</div> <div>EA EACH</div> <div>EF EACH FACE</div> <div>EJ EXPANSION JOINT</div> <div>EL ELEVATION</div> <div>EQ EQUAL</div> <div>EW EACH WAY</div> <div>EX EXISTING</div> <div>FCJ FORMED CONTROL JOINT</div> <div>FF FINISH FLOOR</div> <div>FG FINISH GRADE</div> <div>FH FIRE HYDRANT</div> <div>FL FLOW LINE</div> <div>FO FACE OF</div> <div>FOW FACE OF WALL</div> <div>FS FINISH SURFACE</div> <div>GALV GALVANIZED</div> <div>GB GRADE BREAK</div> <div>GJ GROUT JOINT</div> <div>HH HANDHOLE</div> <div>HP HIGH POINT</div> <div>ICA INTEGRAL COLOR ADMIXTURE</div> <div>ID INSIDE DIAMETER</div> <div>IE INVERT ELEVATION</div> <div>LOW LIMIT OF WORK</div> <div>LP LOW POINT</div> <div>LT LIGHT</div> <div>MAX MAXIMUM</div> <div>MD MID-DEPTH</div> <div>MEP MECHANICAL, ELECTRICAL AND PLUMBING</div> <div>MFR MANUFACTURER</div> <div>MH MANHOLE</div> <div>MIN MINIMUM</div> <div>NIC NOT IN CONTRACT</div> <div>NTS NOT TO SCALE</div> <div>OPCI OWNER PROVIDED, CONTRACTOR INSTALLED</div> <div>OC ON CENTER</div> <div>OCEW ON CENTER EACH WAY</div>	<div>OD OUTSIDE DIAMETER</div> <div>PA PLANTING AREA</div> <div>PED PEDESTRIAN</div> <div>PERF PERFORATED</div> <div>POC POINT OF CONNECTION</div> <div>PT POINT OF TANGENCY</div> <div>R RADIUS</div> <div>RB ROOT BARRIER</div> <div>RE RIM ELEVATION</div> <div>RIM RIM ELEVATION</div> <div>ROW RIGHT OF WAY</div> <div>S SLOPE</div> <div>SAD SEE ARCHITECTURAL DRAWINGS</div> <div>SCD SEE CIVIL DRAWINGS</div> <div>SD STORM DRAIN</div> <div>SED SEE ELECTRICAL DRAWINGS</div> <div>SGB SUBGRADE GRADE BREAK</div> <div>SGS SUBGRADE SURFACE</div> <div>SH STEEL HEADER</div> <div>SIM SIMILAR</div> <div>SJ SCORE JOINT</div> <div>SLD SEE LIGHTING DRAWINGS</div> <div>SPD SEE PLUMBING DRAWINGS</div> <div>SS STAINLESS STEEL</div> <div>SSD SEE STRUCTURAL DRAWINGS</div> <div>T&B TOP AND BOTTOM</div> <div>TB TOP OF BAND</div> <div>TBD TO BE DETERMINED</div> <div>TC TOP OF CURB</div> <div>TCJ TOOLED CONTROL JOINT</div> <div>TH TOP OF HEADER</div> <div>THK THICKNESS</div> <div>TS TOP OF STEP</div> <div>TW TOP OF WALL</div> <div>TYP TYPICAL</div> <div>UNO UNLESS NOTED OTHERWISE</div> <div>VEH VEHICULAR</div> <div>VIF VERIFY IN FIELD</div> <div>WPM WATER PROOF MEMBRANE</div> <div>WWF WELDED WIRE FABRIC</div> <div>W/ WITH</div>	<div><div></div><div>ALIGN</div></div> <div><div></div><div>DIMENSION</div></div> <div><div></div><div>CENTERLINE</div></div> <div><div></div><div>GRIDLINE</div></div> <div><div></div><div>DATUM</div></div> <div><div></div><div>PROPERTY LINE</div></div> <div><div></div><div>BUILDING ROOF LINE, ABOVE - SAD</div></div> <div><div></div><div>EXISTING TREE</div></div> <div><div></div><div>PROPOSED TREE</div></div> <div><div></div><div>CAFE TABLE AND CHAIRS</div></div>

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LANDSCAPE INDEX, NOTES AND LEGEND

12" = 1'-0" (@ 22" x 34")
APRIL 28, 2021

JAMASBI LIVE-WORK

EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080



2612 8th STREET,
SUITE A
BERKELEY CA 94710
T: 510.927.3200
WWW.MANTLELA.COM

L0.01

KAVA MASSIH ARCHITECTS
920 Grayson Street | Berkeley, CA 94710
95 Federal Street | San Francisco, CA 94107
KMA PROJECT NO. Project
Number

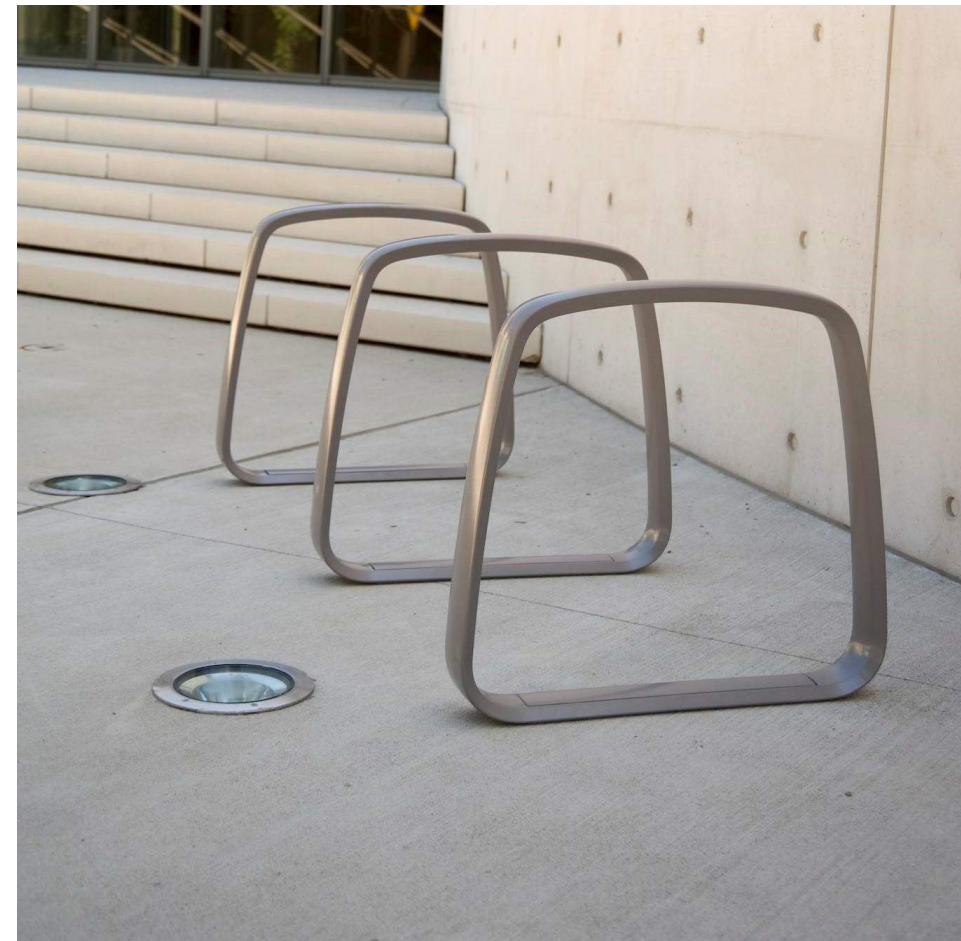
LANDSCAPE MATERIALS



PAVING PATTERN



MOVEABLE FURNITURE



BIKE RACKS



LANDSCAPE ILLUSTRATIVE PLAN

1" = 10'-0" (@ 22" x 34")
APRIL 28, 2021

JAMASBI LIVE-WORK

EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080



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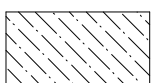
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95 Federal Street | San Francisco, CA 94107
KMA PROJECT NO. Project
Number

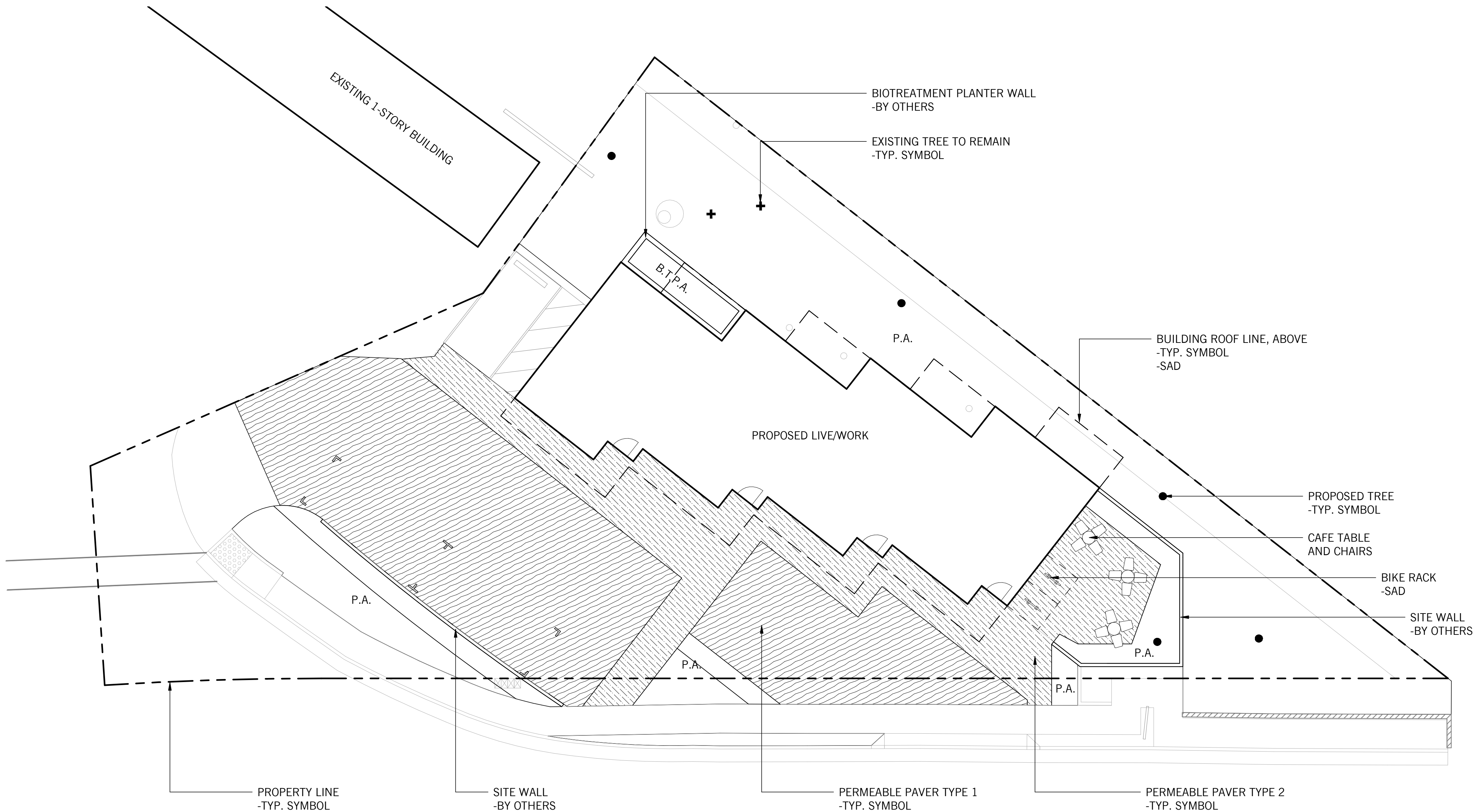
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MATERIALS LEGEND

- 

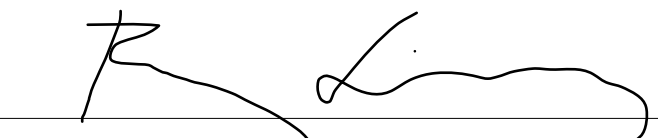
PERMEABLE PAVER TYPE 1
-MANUFACTURER: ACKER-STONE
-WWW.ACKERSTONE.COM
TYPE: AQUALINA
-SIZE: 4" x 12"
-COLOR: TBD
-INSTALLATION: SCD FOR STORMWATER
TREATMENT DESIGN
- 

PERMEABLE PAVER TYPE 2
-MANUFACTURER: ACKER-STONE
-WWW.ACKERSTONE.COM
TYPE: AQUALINA
-SIZE: 4" x 12"
-COLOR: TBD
-INSTALLATION: SCD FOR STORMWATER
TREATMENT DESIGN

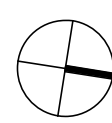


EL CAMINO REAL

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT
LANDSCAPE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF
WATER IN THE LANDSCAPE DESIGN PLAN.

 DATE 05/03/2021

0 5 10 20 FEET



LANDSCAPE MATERIALS PLAN - GROUND FLOOR

As indicated (@ 22" x 34")
APRIL 28, 2021

JAMASBI LIVE-WORK

EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080

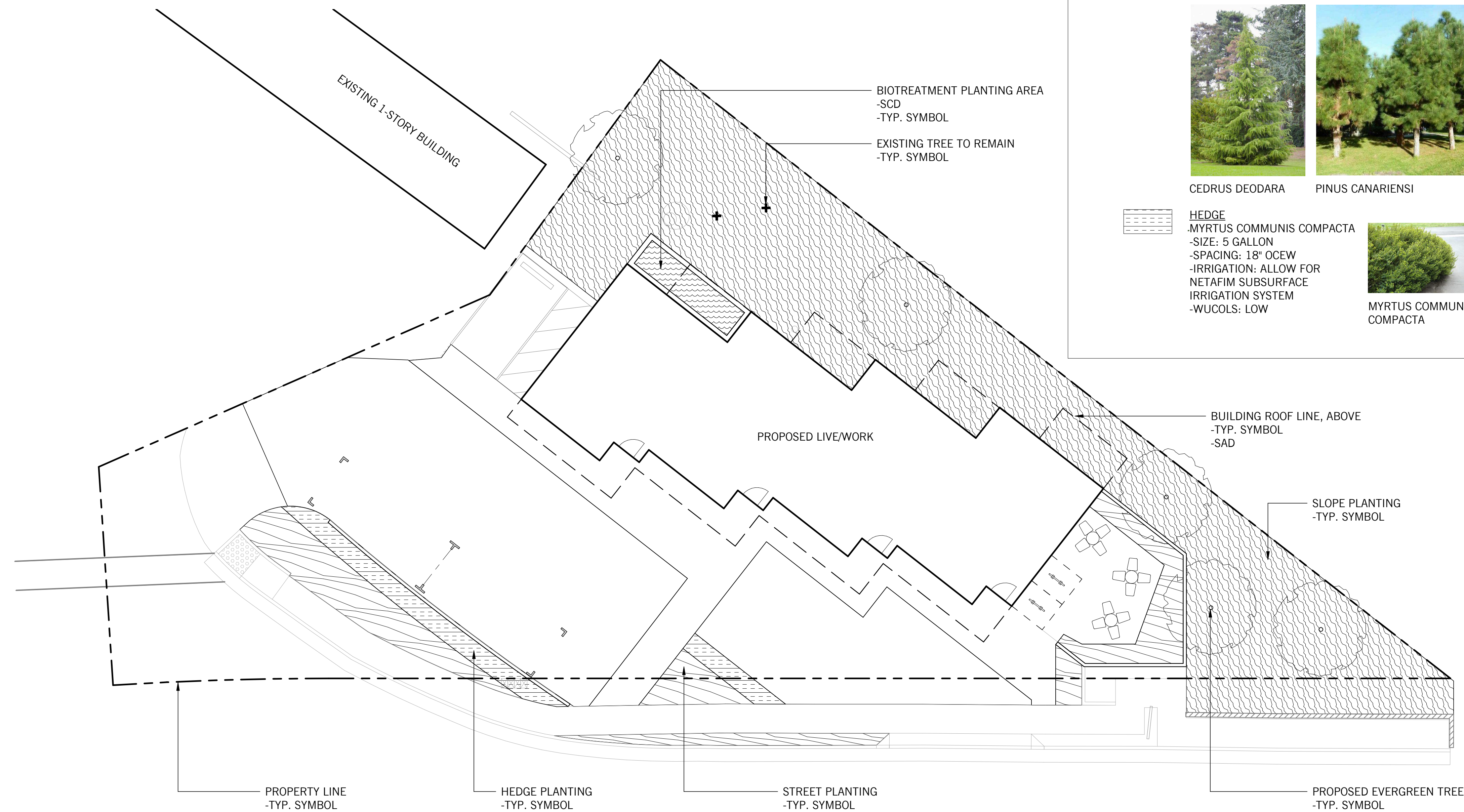
**MANTLE**
LANDSCAPE ARCHITECTURE

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SUITE A
BERKELEY CA 94710
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WWW.MANTLELA.COM

L1.00  

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95 Federal Street | San Francisco, CA 94107
KMA PROJECT NO. Project
Number

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PLANTING LEGEND

LARGE EVERGREEN TREE
-REPRESENTATIVE SPECIES FOR TREE PLANTING INCLUDE:
- CEDRUS DEODARA
- PINUS CANARIENSI
OR SIMILAR
SIZE: 36" BOX
IRRIGATION: ALLOW FOR BUBBLERS, (2) PER TREE

HEDGE
-MYRTUS COMMUNIS COMPACTA
-SIZE: 5 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM
-WUCOLS: LOW

STREET PLANTING
-REPRESENTATIVE SPECIES FOR STREET PLANTING INCLUDE:
-LOMANDRA LONGIFOLIA 'BREEZE'
-MISCANTHUS SINENSIS 'MORNING LIGHT'
-SALVIA LEUCANTHA
-MYRTUS COMMUNIS COMPACTA
OR SIMILAR
-SIZE: 5 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM

SLOPE PLANTING
-REPRESENTATIVE SPECIES FOR SLOPE PLANTING INCLUDE:
-ABELIA GRANDIFLORA
-ARCTOSTAPHYLOS 'PACIFIC MIST'
-CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT'
-LEUCADENDRON SALIGNUM 'BLUSH'
-RHAMNUS CALIFORNICA
OR SIMILAR
-SIZE: 5 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM

BIOTREATMENT PLANTING
-REPRESENTATIVE SPECIES FOR BIOTREATMENT PLANTING INCLUDE:
-CHONDROPETALUM TECTORUM 'CAPE RUSH'
-CORNUS SERICEA RED OSIER DOGWOOD
-DESCHAMPSIA CESPITOSA
-SIZE: 2 GALLON
-SPACING: 12" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM

PLANTING LEGEND

STREET PLANTING
-REPRESENTATIVE SPECIES FOR STREET PLANTING INCLUDE:
-LOMANDRA LONGIFOLIA 'BREEZE'
-MISCANTHUS SINENSIS 'MORNING LIGHT'
-SALVIA LEUCANTHA
-MYRTUS COMMUNIS COMPACTA
OR SIMILAR
-SIZE: 5 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM

SLOPE PLANTING
-REPRESENTATIVE SPECIES FOR SLOPE PLANTING INCLUDE:
-ABELIA GRANDIFLORA
-ARCTOSTAPHYLOS 'PACIFIC MIST'
-CEANOTHUS GRISEUS VAR. HORIZONTALIS 'YANKEE POINT'
-LEUCADENDRON SALIGNUM 'BLUSH'
-RHAMNUS CALIFORNICA
OR SIMILAR
-SIZE: 5 GALLON
-SPACING: 18" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM

BIOTREATMENT PLANTING
-REPRESENTATIVE SPECIES FOR BIOTREATMENT PLANTING INCLUDE:
-CHONDROPETALUM TECTORUM 'CAPE RUSH'
-CORNUS SERICEA RED OSIER DOGWOOD
-DESCHAMPSIA CESPITOSA
-SIZE: 2 GALLON
-SPACING: 12" OCEW
-IRRIGATION: ALLOW FOR NETAFIM SUBSURFACE IRRIGATION SYSTEM

EL CAMINO REAL

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

DATE 05/03/2021

0 5 10 20 FEET

LANDSCAPE PLANTING PLAN - GROUND FLOOR

As indicated (@ 22" x 34")
APRIL 28, 2021

JAMASBI LIVE-WORK

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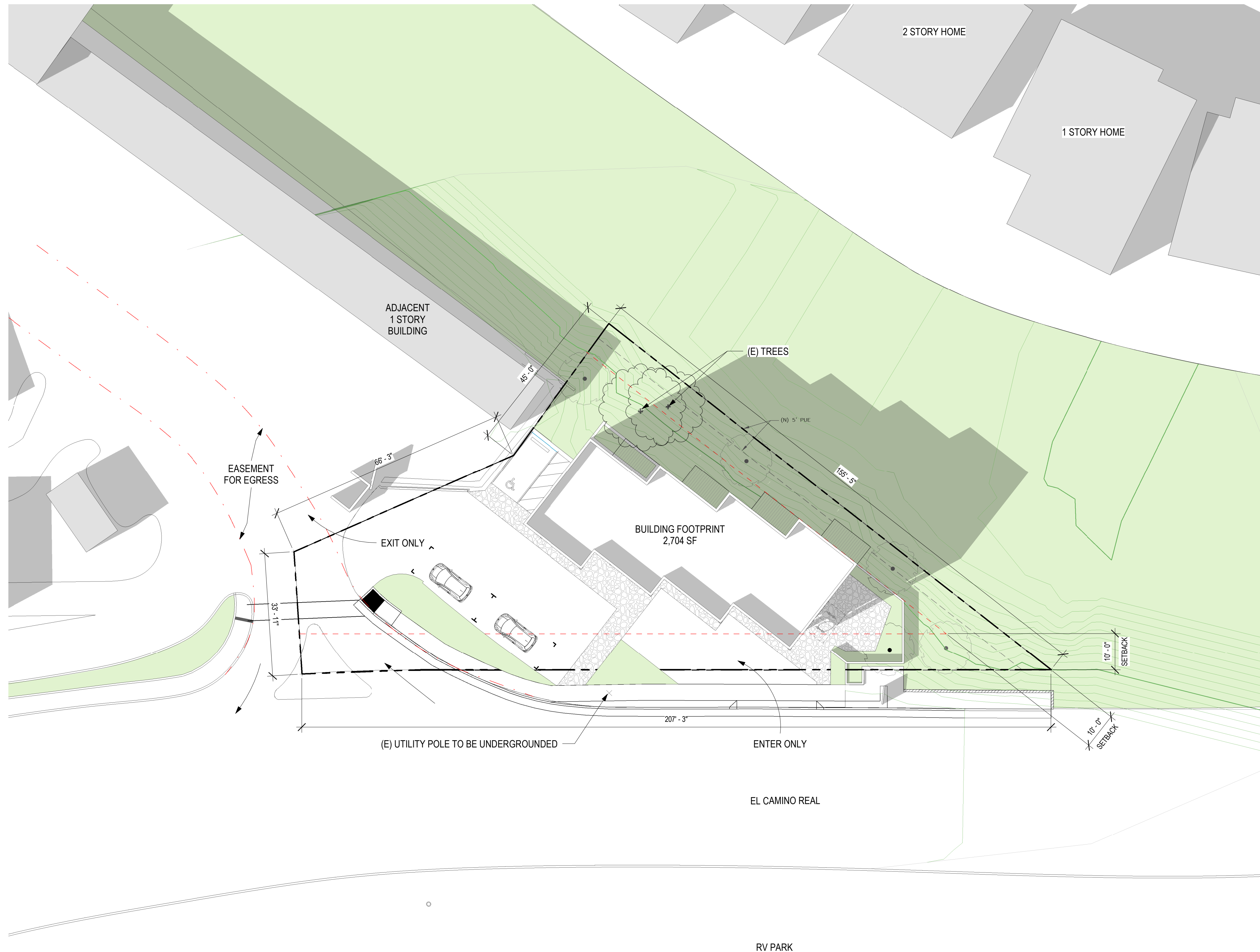


2612 8th STREET,
SUITE A
BERKELEY CA 94710
T: 510.927.3200
WWW.MANTLELA.COM

L3.00

KAVA MASSIH ARCHITECTS
920 Grayson Street | Berkeley, CA 94710
95 Federal Street | San Francisco, CA 94107
KMA PROJECT NO. Project Number

9/15/2021 5:02:21 PM

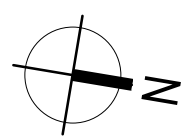


PROPOSED SITE AND ROOF PLAN

1/16" = 1'-0" (@ 22" x 34")
SEPT 18, 2021

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A1.1  

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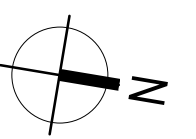


SITE AERIAL ROOF VIEW

1" = 30'-0" (@ 22" x 34")
SEPT 18, 2021

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A1.2  

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FLOOR AREA TABULATION PLANS

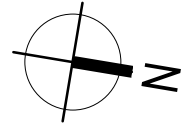
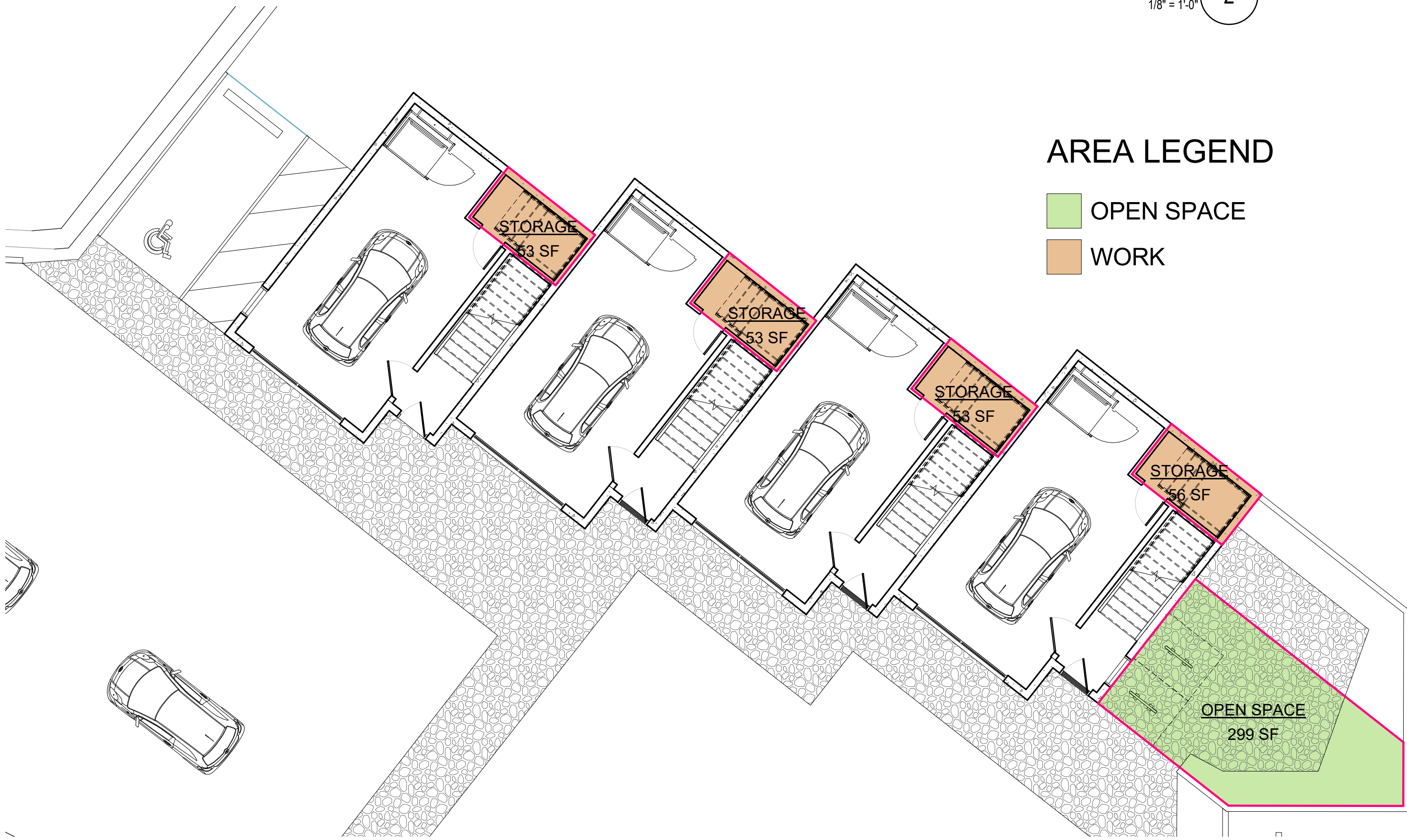
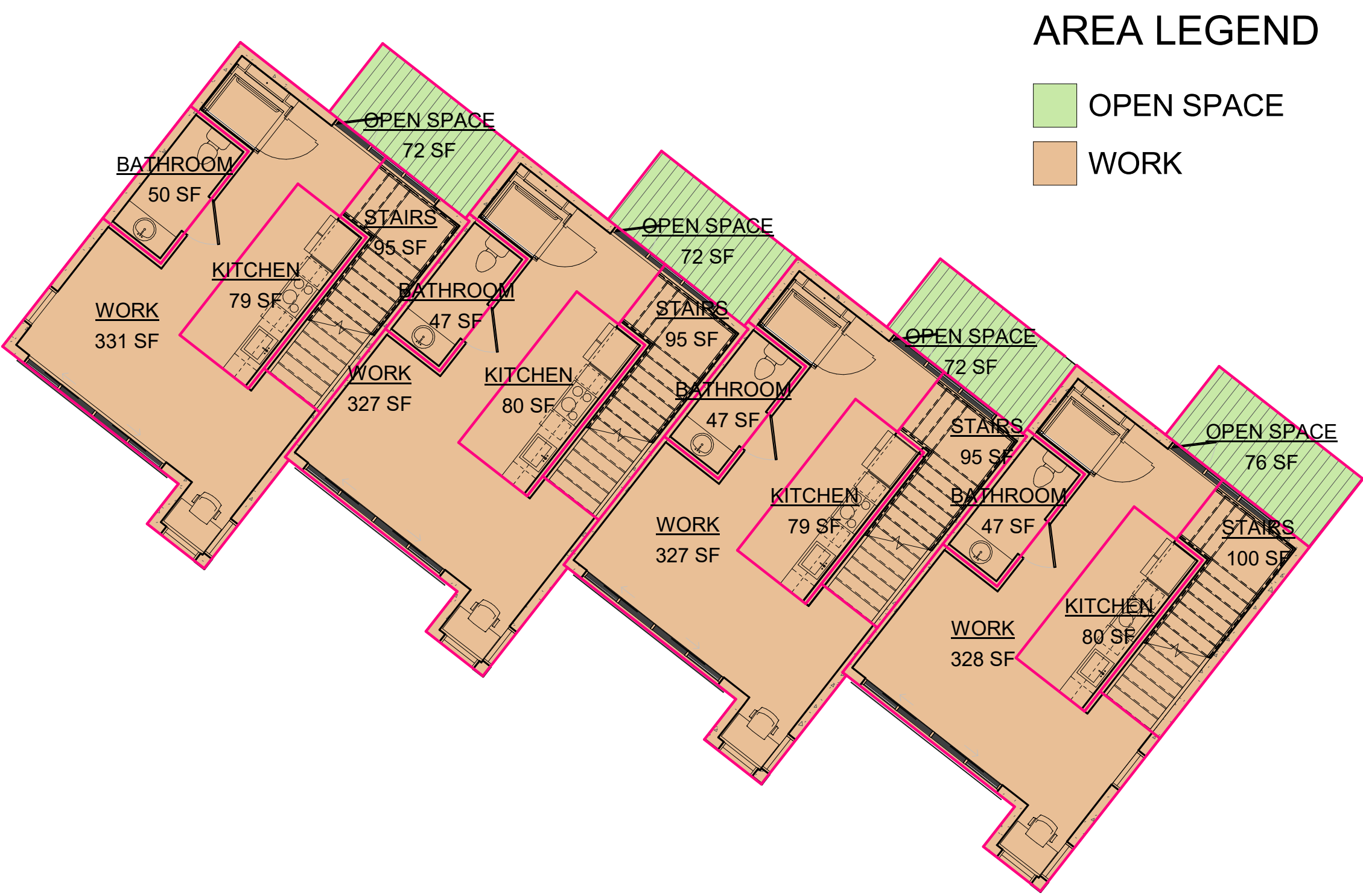
1/8" = 1'-0" (@ 22" x 34")
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A1.3 

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FIRST FLOOR SITE PLAN

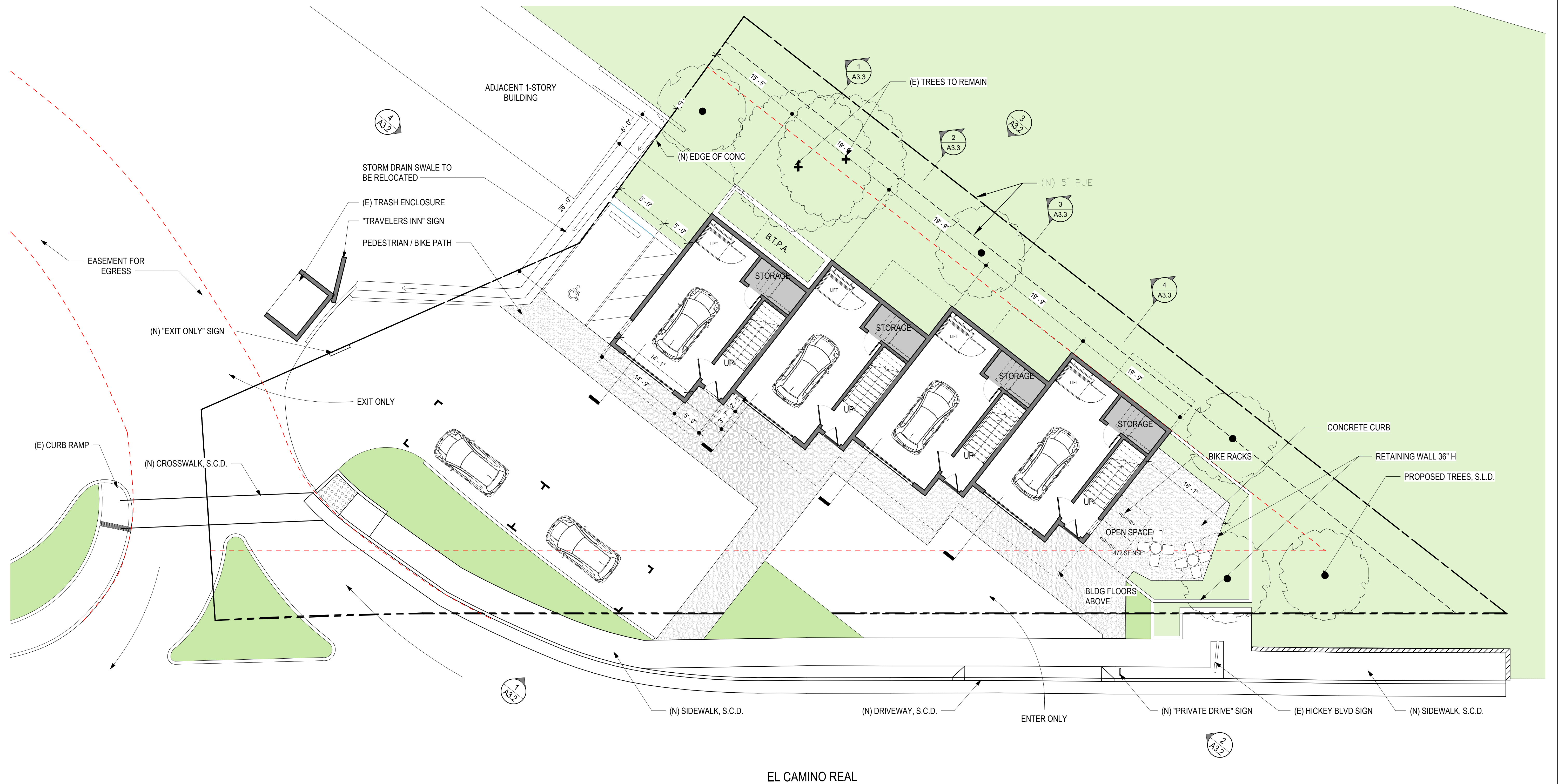
1/8" = 1'-0" (@ 22" x 34")
SEPT 18, 2021

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A2.1 

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SECOND FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34")
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THIRD FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34")
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A2.3 

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AXON

(@ 22" x 34")
SEPT 18, 2021

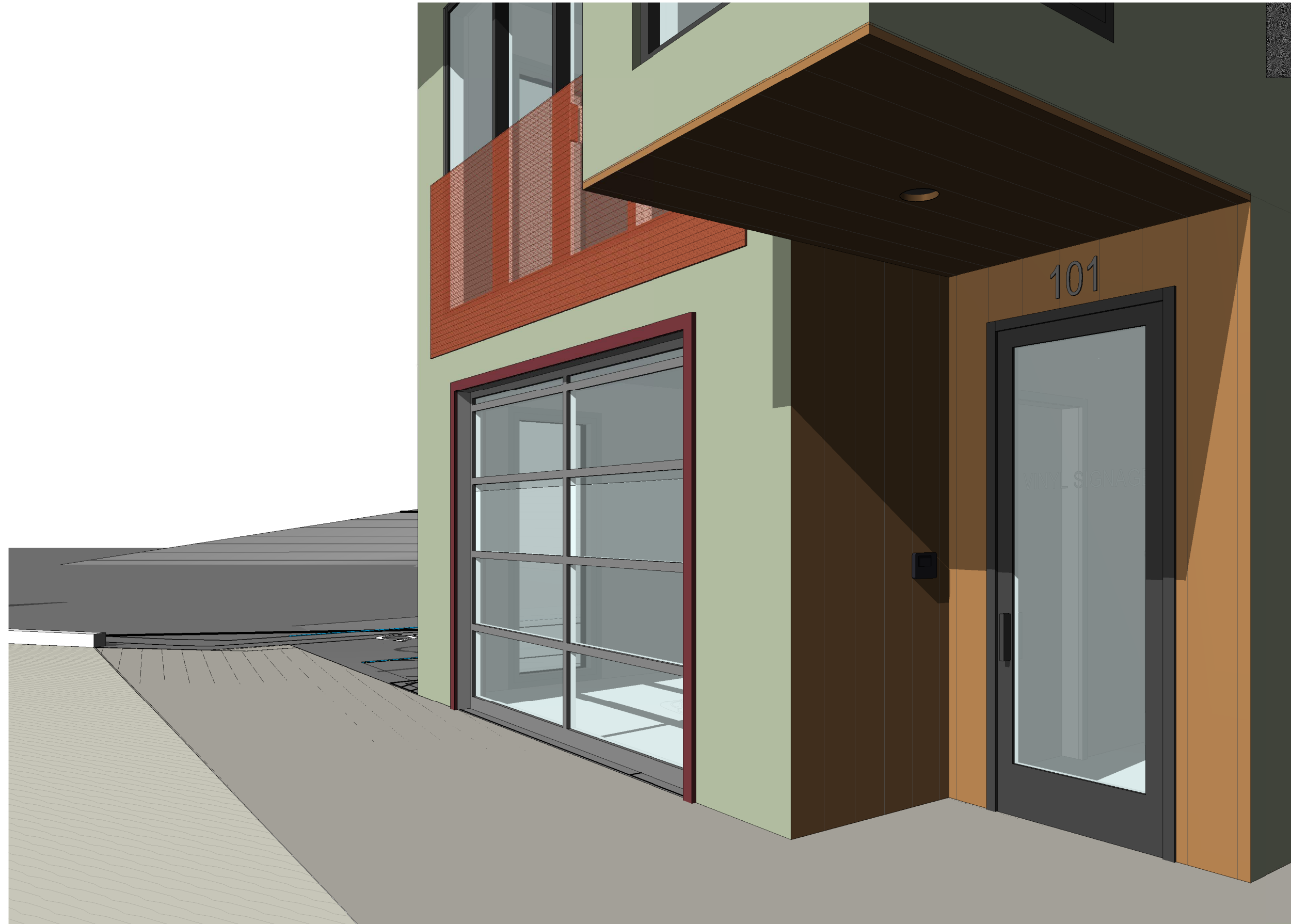
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A3.0  

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VIEW OF UNIT ENTRANCE 2



OVERALL PERSPECTIVE VIEW 1

3D VIEWS

(@ 22" x 34")
SEPT 18, 2021

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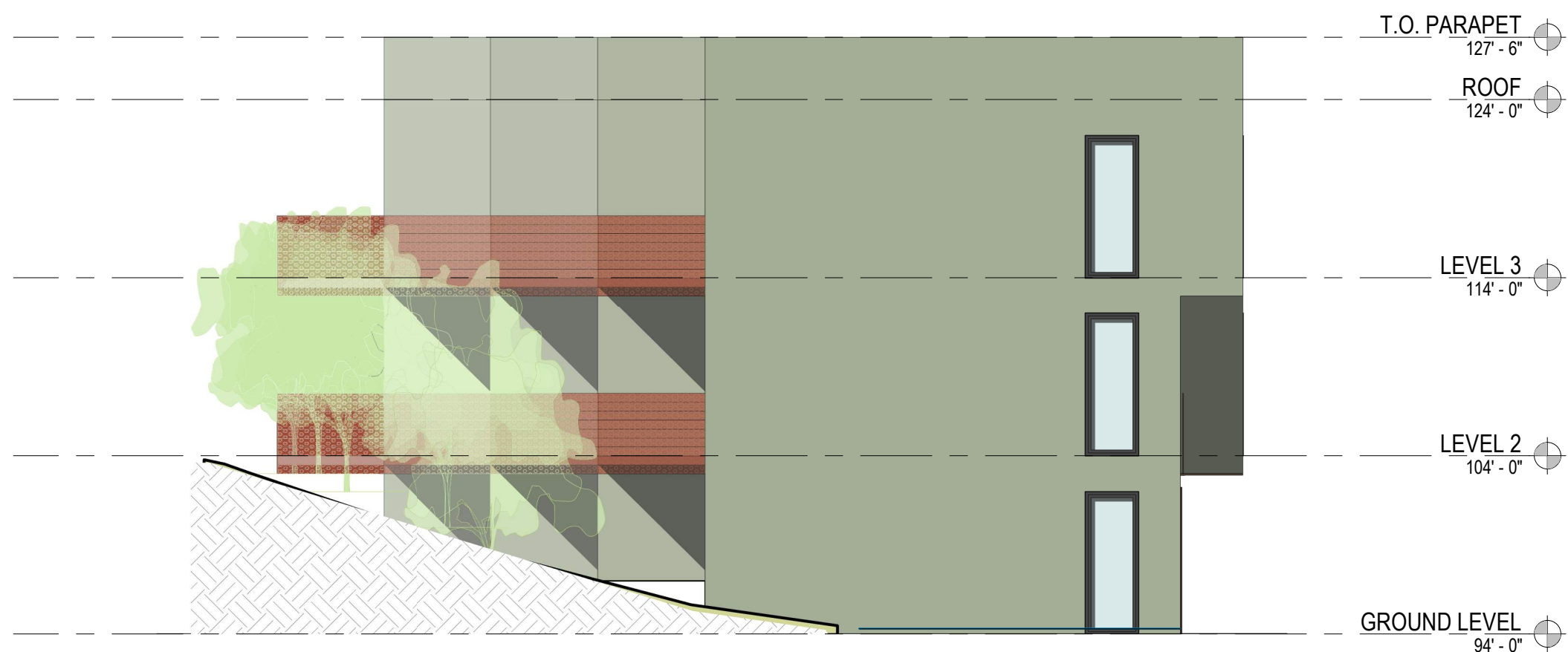
A3.1 

KAVA MASSIH ARCHITECTS

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SOUTH ELEVATION
1/8" = 1'-0" 4



WEST ELEVATION
1/8" = 1'-0" 3



NORTH ELEVATION
1/8" = 1'-0" 2



EAST ELEVATION
1/8" = 1'-0" 1

EXTERIOR ELEVATIONS

1/8" = 1'-0" (@ 22" x 34")
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BUILDING SECTION

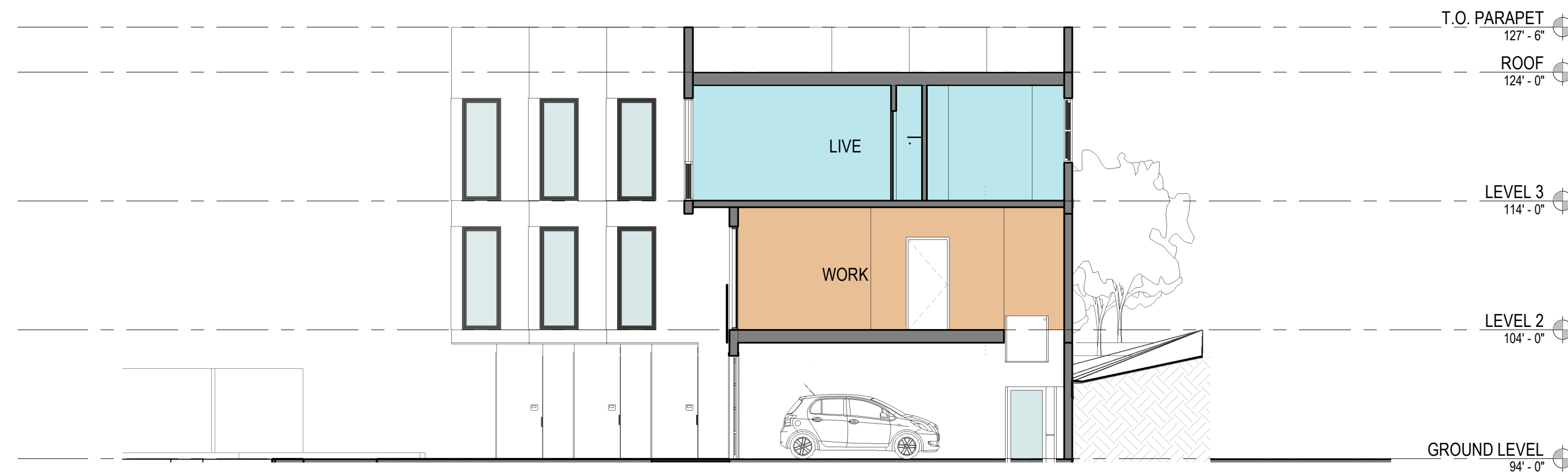
1/8" = 1'-0" (@ 22" x 34")
SEPT 18, 2021

JAMASBI LIVE-WORK

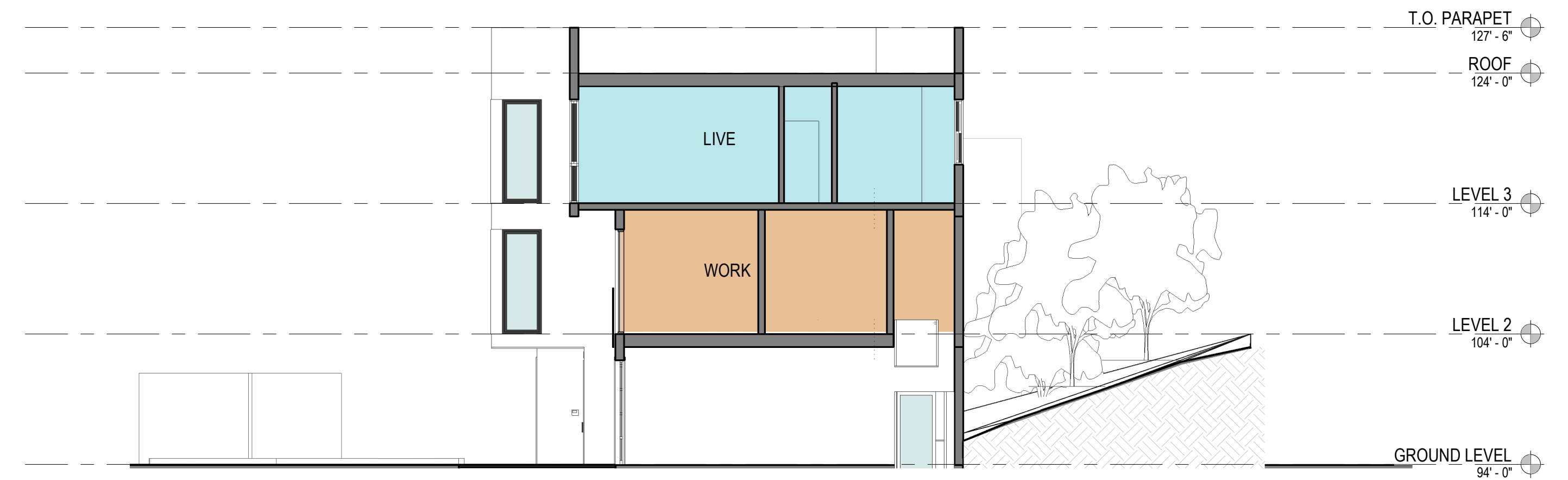
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A3.3 

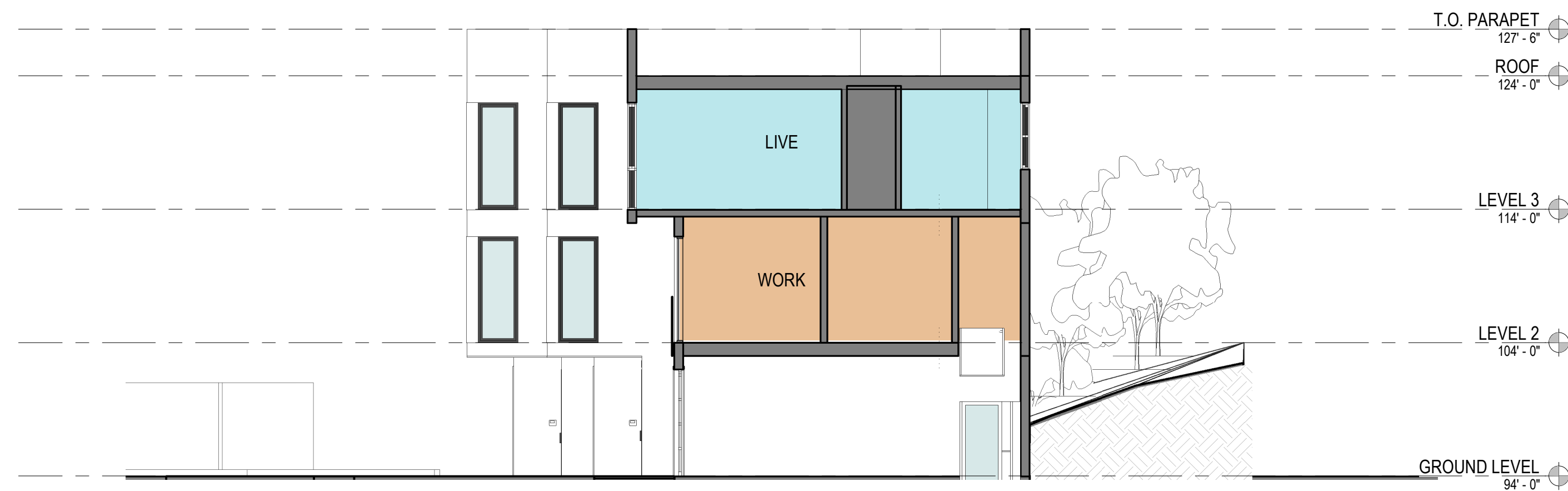
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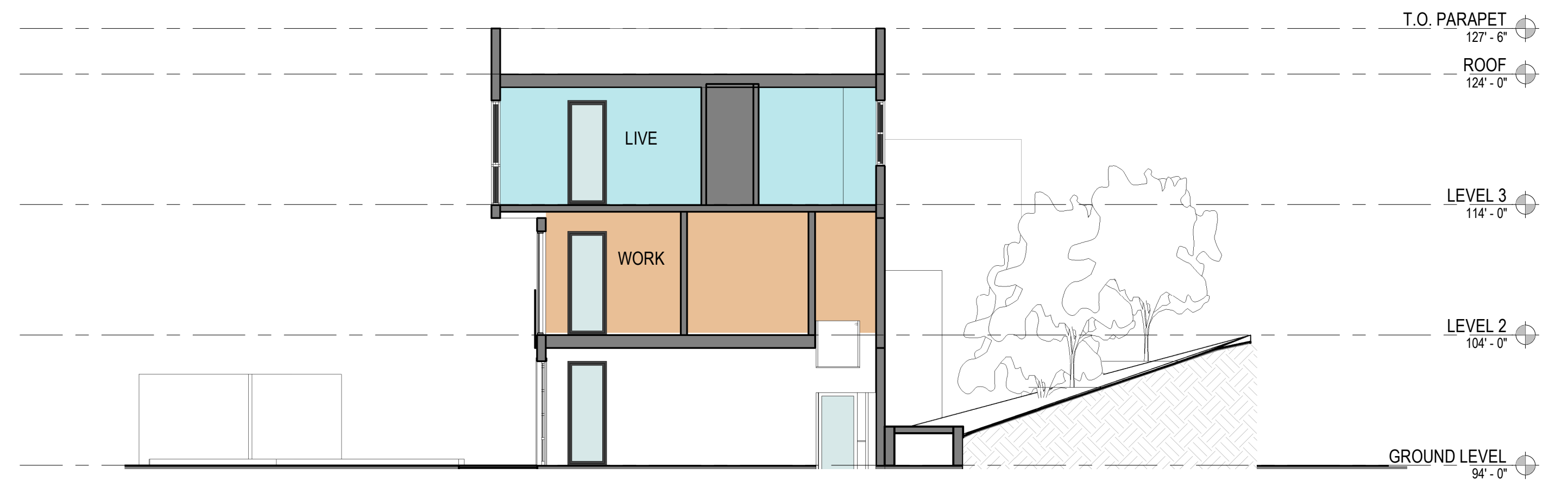
UNIT #4 SECTION
1/8" = 1'-0" 4



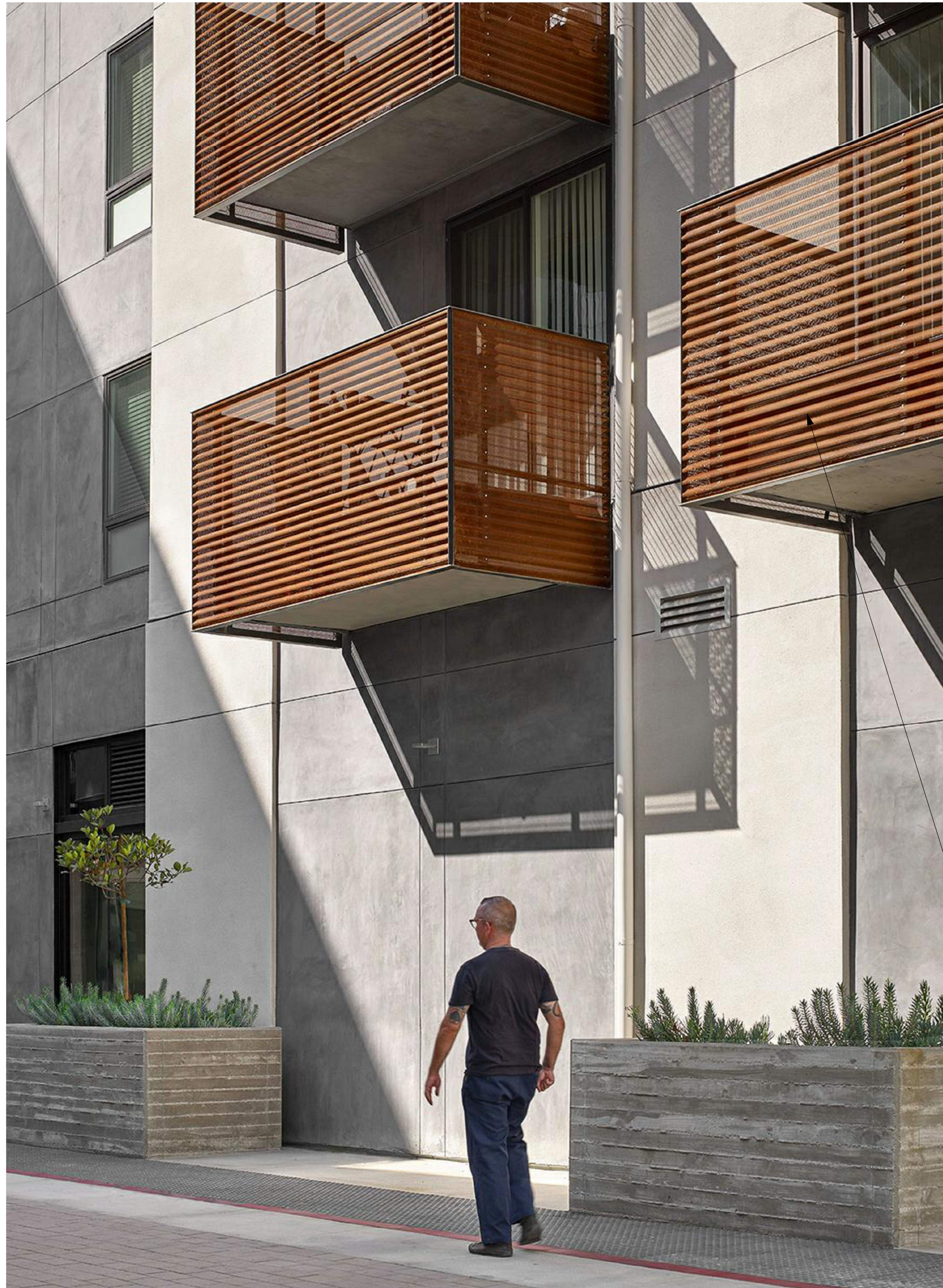
UNIT #2 SECTION
1/8" = 1'-0" 2



UNIT #3 SECTION
1/8" = 1'-0" 3



UNIT #1 SECTION
1/8" = 1'-0" 1



METAL GUARDRAIL WITH
PERFORATED CORRUGATED
CORTEN STEEL PANELS
@ BALCONIES & JULIETTE BALCONIES

WESTERN RED CEDAR
CLADDING AT ENTRANCES

CEMENT PLASTER



MATERIALS BOARD

1/8" = 1'-0" (@ 22" x 34")
SEPT 18, 2021

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A6.1 

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