EL CAMINO REAL

VICINITY MAP Ditos Motors Inc Birch Garden Acacia Garden Spruce Garden Catholic Cemetery Hoy Sun Ning Yung Cemetery Costco Gasoline 😲 Chevys Frezh Mex El Camino High Sch Grocery Outlet Bargain Market Costco Wholesale Hickey Blvd Starbucks Greenridge Apartments Q

PLANNING INFORMATION

		REQUIRED	PROVIDED
ADDRESS:	N/A		
APN:	010171210		
LOT AREA:	10,703 SF		
ZONING DISTRICT:	CC (COMMUNITY COMMERCIAL)		
HEIGHT LIMIT:	MAIN BUILDING: 50'	50' MAY	~33' _ 6"
PER TABLE 20.090.003	ACCESSORY BUILDING: 20'	JU WAX.	~55 - 0
FAR:	0.5 MAX	Ο 5 ΜΔΥ	0.406
PER TABLE 20.090.003	0.3 IVIAX	0.5 IVIAX	0.400
LOT COVERAGE:	50% MAX	50% MAY	250/
PER TABLE 20.090.003	50 % IVIAX	30% IVIAA	23%
TOTAL BUILDABLE AREA:	5,351 SF	5,351 SF MAX.	4,650 GSF
MAX. DENSITY:	NI/A		
PER SECTION	N/A		
MIN. OPEN SPACE:	450 OF DED LIVE MODICINIT	200.05	1,447 SF
PER TABLE 20.090.003	150 SF PER LIVE-WORK UNIT	600 SF	
MIN. LANDSCAPE TREES			
PER SECTION 13.30.100D	1 PER 2,000 SF OF FLOOR AREA		5
MIN. LANDSCAPING:			
PER TABLE 20.090.003	10% OF LOT AREA	1,070.3 SF	3,775 SF
FLOOR AREA:			
PER SECTION 20.350.25C	AT LEAST 50% OF THE GROSS FLOOR AREA OF A LIVE-WORK UNIT MUST BE DESIGNATED AND REGULARLY USED FOR WORK ACTIVITIES		
SETBACKS:	FRONT: 10'	10'	10'
PER TABLE 20.090.003	INTERIOR SIDE: 0' OR 10' WHEN ABUTTING AN R DISTRICT	0'	0'
	REAR: 0' OR 10' WHEN ABUTTING AN R DISTRICT		S0 S0 S0 MAX
MIN. PARKING:	1.5 SPACE PER LIVE-WORK UNIT OR 1.5 SPACE FOR EVERY 1.000 SE OF	_	
PER TABLE 20.330.004	FLOOR SPACE, WHICHEVER IS GREATER		7
MIN. BICYCLE PARKING:			
PER SECTION 20.330.008A.1	SHORT TERM: 10% OF THE NUMBER OF REQUIRED AUTOMOBILE PARKING SPACES, WITH A MIN. OF 4 PARKING SPACES	CIAL) 50' MAX3: 0.5 MAX	4
LONG TERM: ANY ESTABLISHMENT WITH 25 OR MORE EMPLOYEES SH PROVIDE LONG TERM BICYCLE PARKING SPACES AT A RATIO OF 1 SPA PER 25 AUTOMOBILE PARKING SPACES		0	0
MIN. LOADING: PER TABLE 20.330.009A	0 LOADING SPACES FOR TOTAL BUILDING SPACE < 6,999 GSF	0	0
CONSTRUCTION TYPE:			
PROPOSED OCCUPANCY:	COMMERCIAL - LIVE-WORK UNITS		

DRAWING INDEX

COVER

A0.0 PROJECT INFORMATION SITE PHOTOGRAPHS A0.1

SURVEY

ALTA/NSPS LAND TITLE SURVEY OF VACANT LAND ALTA/NSPS LAND TITLE SURVEY OF VACANT LAND

CIVIL

C-0 TITLE SHEET **GRADING PLAN** UTILITY PLAN C-3

LANDSCAPE

LANDSCAPE INDEX, NOTES AND LEGEND LANDSCAPE ILLUSTRATIVE PLAN

LANDSCAPE MATERIALS PLAN - GROUND FLOOR L1.00 L3.00 LANDSCAPE PLANTING PLAN - GROUND FLOOR

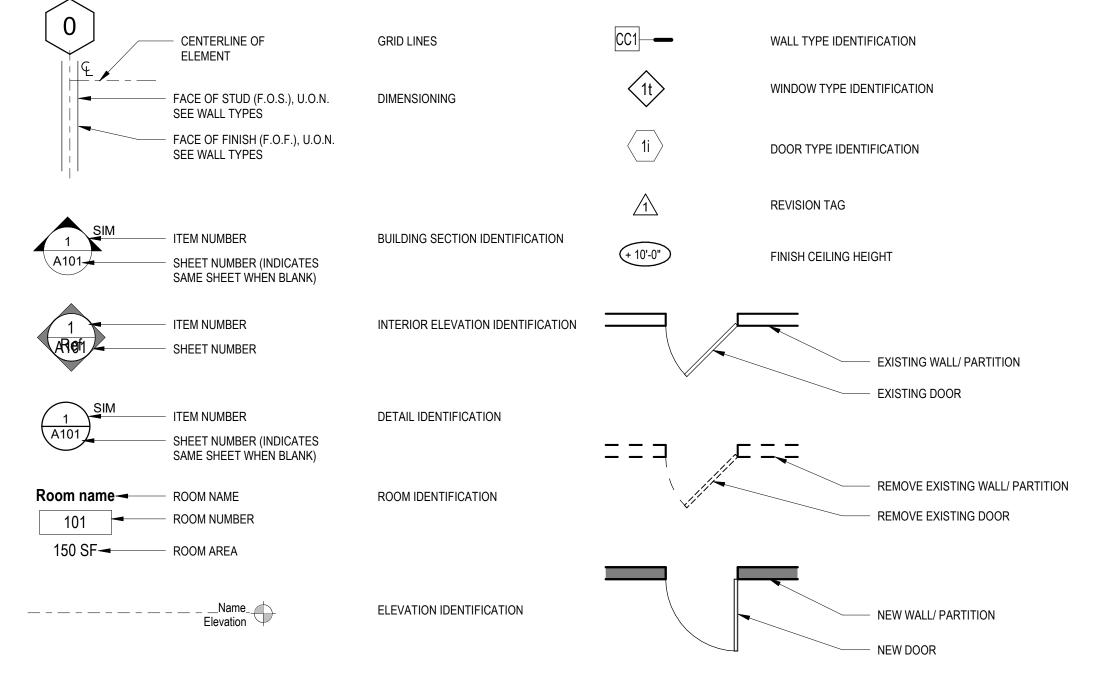
ARCHITECTURAL

PROPOSED SITE AND ROOF PLAN SITE AERIAL ROOF VIEW FLOOR AREA TABULATION PLANS FIRST FLOOR SITE PLAN SECOND FLOOR PLAN

THIRD FLOOR PLAN A3.0

A3.1 3D VIEWS **BUILDING SECTION** MATERIALS BOARD

LEGEND & SYMBOLS



GROSS BLDG AREA BY FLOOR (GSF)

STORAGE	168 SF	UN
GROUND LEVEL	168 SF	LIV
		WC
WORK	1994 SF	
LEVEL 2	1994 SF	
		UN
LIVE	2183 SF	LIV
LEVEL 3	2183 SF	WC
TOTAL SF	4345 SF	
(DOES NOT INCLUDE PAR	RKING BAY& OPEN SPACE)	
(DOLONOT INCLUDE 1711	WINO BITTA OF EN OFFICE,	UN
		LIV
		WC
OPEN SPACE (GSF)	
OPEN SPACE	1447 SF	
GRAND TOTAL	1447 SF	UN
	600 SF REQ'D	LIV
	550 51 11EQ 5	WC
		TO

AREAS BY UNIT AND USE (GSF)

1138 SF 4527 SF

LIVE		
	531 SF	45%
WORK	608 SF	55%
	1140 SF	
UNIT 2		
LIVE	523 SF	45%
WORK	602 SF	55%
	1125 SF	
UNIT 3		
LIVE	523 SF	45%
WORK	602 SF	55%
	1125 SF	
UNIT 4		
LIVE	527 SF	45%
LIVE		

LOT COVERAGE

LOT AREA	10,703 SF
BUILDING FOOTPRINT	2,704 GSF
LOT COVERAGE	25%

FLOOR AREA RATIO

LOT AREA	10,703 SF	
TOTAL FLOOR AREA	4,345 GSF *	
LOT COVERAGE	40.6% (0.406)	

* TOTAL FLOOR AREA INCLUDES FLOOR AREA OF ALL UNITS, STORAGE, AND STAIRS (GROUND FLOOR ONLY). DOES NOT INCLUDE PARKING BAY & OPEN SPACE

PROJECT DESCRIPTION

LOCATED AT THE NORTHWEST CORNER OF EL CAMINO REAL AND HICKEY BLVD, THE SITE TOTALS 10,703 SQUARE FEET. THE PROPOSAL IS TO BUILD A NEW 3 STORY BUILDING CONSISTING OF 4 LIVE-WORK UNITS WITH 7 OFF-STREET PARKING BAYS LOCATED ON GROUND LEVEL, ACCESSED BY DRIVE WAY OFF EL CAMINO REAL.

OWNER

FIROOZEH (FAY) JAMASBI 1484 POLLARD RD #543 LOS GATOS, CA 95032 PH: (408)495-5800

ARCHITECT

KAVA MASSIH ARCHITECTS 920 GRAYSON ST. BERKELEY, CA 94710 PH: (510)644-1920 FAX: (510)644-1929

PROJECT INFORMATION

JAMASBI LIVE-WORK

N.T.S. SEPT 18, 2021 EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080





1: VIEW OF ADJACENT PROPERTY



2: VIEW OF ADJACENT PROPERTY



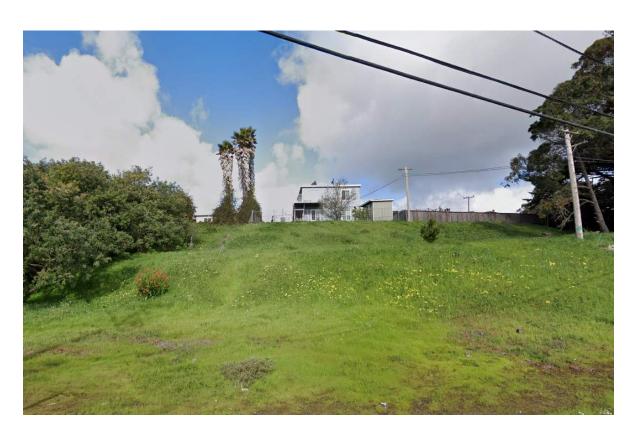
3: VIEW OF SITE AND ADJACENT PROPERTY



4: VIEW NORTH DOWN EL CAMINO REAL



5: VIEW FROM ACROSS EL CAMINO REAL



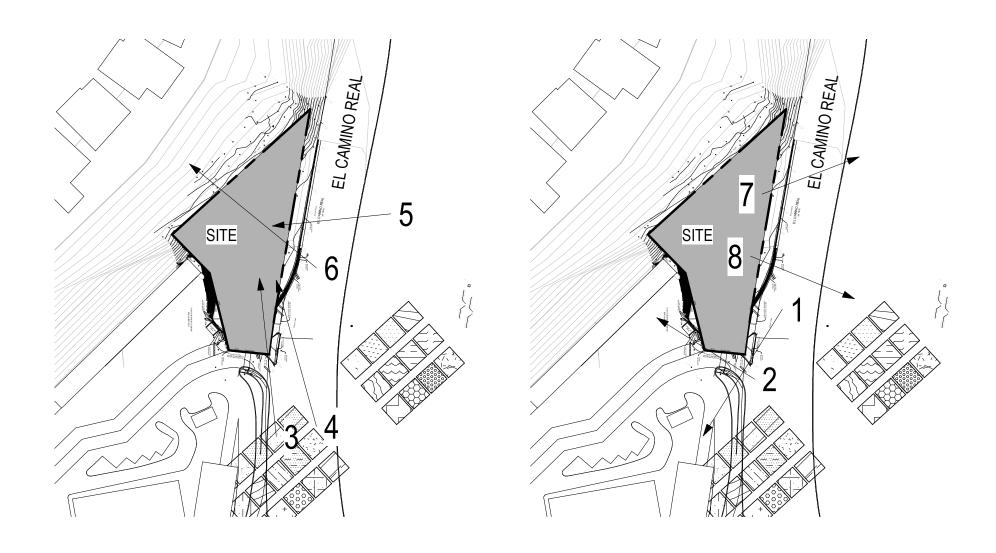
6: VIEW OF PROPERTY ABOVE SITE



7: VIEW FROM SITE ACROSS EL CAMINO REAL



8: VIEW FROM SITE ACROSS EL CAMINO REAL



SITE PHOTOGRAPHS JAMASBI LIVE-WORK

N.T.S. SEPT 18, 2021

BASIS OF SURVEY

OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO: 0377005137-SS, DATED JUNE 4, 2007.

TABLE A

TABLE A, OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THEREOF, ITEMS 5, 8, AND 11.

TITLE REPORT LEGAL DESCRIPTION

BEGINNING AT AN ANGLE POINT IN THE SOUTHEASTERLY LINE OF LOT 10, BLOCK 11, AS SAID LOT AND BLOCK ARE SHOWN ON MAP OF "WINSTON MANOR", FILED OCTOBER 24, 1950, BOOK 32 OF MAPS, PAGE 28, SAN MATEO COUNTY RECORDS; SAID ANGLE POINT BEING DISTANT SOUTH 47° 48' 45" WEST, 1.90 FEET FROM THE MOST EASTERLY CORNER OF SAID LOT 10; THENCE FROM SAID POINT OF BEGINNING ALONG THE SOUTHEASTERLY LINE OF SAID BLOCK 11, NORTH 47° 48' 45" EAST, 157.00 FEET TO THE MOST NORTHERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED FROM RICHARD B. HAM, TRUSTEE TO JAIRAM MOWJI, ET AL, RECORDED AUGUST 23, 1972, BOOK 6215, OFFICIAL RECORDS, PAGE 617 AND THE TRUE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTHEASTERLY LINE OF BLOCK 11, NORTH 47° 48' 45" EAST, 155.38 FEET TO THE INTERSECTION THEREOF WITH THE WESTERLY LINE OF THE EL CAMINO REAL, AS SHOWN ON THE MAP ABOVE REFERRED TO;

THENCE ALONG LAST SAID WESTERLY LINE, SOUTH 9° 47' 00" WEST, 172.07
FEET TO A POINT OF CURVATURE IN SAID WESTERLY LINE;
THENCE TANGENT TO THE PRECEDING COURSE, SOUTHERLY ALONG A CURVE TO
THE LEFT HAVING A RADIUS OF 533 FEET FOR AN ARC DISTANCE OF 35.20

THENCE LEAVING LAST SAID WESTERLY LINE, NORTH 84° 00' 00" WEST, 33.80 FEET TO THE MOST EASTERLY CORNER OF SAID PARCEL OF LAND SO CONVEYED TO MOWJI, ET AL;

THENCE ALONG THE NORTHEASTERLY LINES OF SAID PARCEL, THE FOLLOWING TWO COURSES AND DISTANCES: NORTH 14°00'00" WEST, 66.28 FEET AND NORTH 44°15'45" WEST, 45.00 FEET TO THE TRUE POINT OF BEGINNING.

APN: 010-171-210 JPN: 010-017-171-21

GENERAL NOTES

- (1) ALL DISTANCES: (RECORD) = MEASURED, UNLESS OTHERWISE NOTED.
- (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- (3) PRIOR TO ANY DIGGING, CALL U.S.A. (811) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
- (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
- (5) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
- (6) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY. INCLUDING THE LOCATION AND PRESENCE OF EASEMENTS.
- (7) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE
 IT ENTERS THE GROUND & IDENTIFYING THE DIAMETER AT BREAST HEIGHT. TREE
 TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY.
- (8) ONLY ACCESSIBLE SURFACE UTILITIES VISIBLE ON THE DATE OF THIS SURVEY ARE SHOWN. THIS SURVEY DOES NOT SHOW THE LOCATION OF, OR ENCROACHMENTS BY SUBSURFACE UTILITIES, FOOTING, FOUNDATIONS AND/OR BASEMENTS OF BUILDINGS. ALL USERS ARE ADVISED TO CONTRACT SEPARATELY WITH AN UNDERGROUND UTILITY LOCATION COMPANY AND TO REVIEW PUBLIC, QUASI-PUBLIC AND GIS UTILITY DATA SOURCES IF THEY WANT MORE INFORMATION.
- (9) THE BUILDING FOOTPRINT SHOWN IS AT GROUND LEVEL UNLESS OTHERWISE NOTED.
- (10) ONLY VISIBLE ACCESSIBLE GROUND LEVEL PERIMETER FEATURES ARE SHOWN. NON ACCESSIBLE / OVERHEAD / SUBTERRANEAN ENCROACHMENTS
- (11) THE INFORMATION SHOWN ON THIS MAP SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING OR CONSTRUCTION. ANY LAYOUT OR CONSTRUCTION SHALL BE BASED ON SITE STAKING PERFORMED BY THIS OFFICE.
- 12) ANY REPRODUCTION OF THIS MAP WITHOUT MY PROFESSIONAL LAND SURVEYOR'S STAMP AND WET SIGNATURE IS NOT CONSIDERED AN ORIGINAL VERSION OF THIS MAP.

UTILITY NOTE

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING), RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, USA MARKINGS MEASURED IN AUGUST OF 2014 AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND OR CONTRACTOR PRIOR TO DESIGN AND CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

REFERENCES

(R1) DOCUMENT NO: 2008-082987 (R2) BOOK 32 MAPS PAGE 28 (R3) 6215 O.R 617 (R4) CAL TRANS RIGHT OF WAY MAP R-109 B.2 (R5) CAL TRANS MONUMENT MAP S-233.1

(R6) DOC: 2008–071629 (R7) 40 LLS 45

ALTA. ITEM LEGEND:

#> TITLE REPORT ITEM NUMBER (DEPICTED ON PLAN).

EXCEPTIONS TO COVERAGE

1. TAXES AND ASSESSMENTS, GENERAL AND SPECIAL, FOR THE FISCAL YEAR 2007 — 2008, A LIEN, BUT NOT YET DUE OR PAYABLE.

2. TAXES AND ASSESSMENTS, GENERAL AND SPECIAL, FOR THE FISCAL YEAR 2006 - 2007, AS FOLLOWS:

ASSESSOR'S PARCEL NO : 010-171-210 CODE NO. : 13-060 1ST INSTALLMENT : \$1,016.94 MARKED PAID 2ND INSTALLMENT : \$1,016.94 MARKED PAID LAND : \$194,582.00 IMP. VALUE : \$0.00

EXEMPTION : \$0.00

3. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO THE PROVISIONS OF SECTION 75, ET SEQ., OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA.

4. THE HEREIN DESCRIBED PROPERTY LIES WITHIN THE BOUNDARIES OF THE REDEVELOPMENT PLAN FOR THE EL CAMINO CORRIDOR REDEVELOPMENT PROJECT OF THE SOUTH SAN FRANCISCO REDEVELOPMENT AGENCY, AS DISCLOSED BY INSTRUMENT RECORDED JULY 16TH, 1993 IN OFFICIAL RECORDS, UNDER RECORDER'S SERIAL NUMBER 93117799, AND AS AMENDED BY INSTRUMENT RECORDED JULY 25TH, 2000 IN OFFICIAL RECORDS, UNDER RECORDER'S SERIAL NUMBER 2000-090737.

(5) AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVIDED IN THE FOLLOWING

INSTRUMENT: DEED
GRANTED TO: JAIRAM MOWJI AND KANTA J. MOWJI, HIS WIFE, AN UNDIVIDED 1/3 INTEREST,
AS JOINT TENANTS; NARANBHAI GOVINDJIE AND MOTI N. GOVINDJIE, HIS WIFE, AN UNDIVIDED
1/3 INTEREST AS JOINT TENANTS AND MANILAL S. PATEL AND BHANU M. PATEL, HIS WIFE, AN
UNDIVIDED 1/3 INTEREST AS JOINT TENANTS.
FOR: INGRESS AND EGRESS

RECORDED: AUGUST 23RD, 1972 IN BOOK 6215 OF OFFICIAL RECORDS, PAGE 617
AFFECTS: EASTERLY PORTION

6. ANY INTEREST IN SAID LAND OF JIMMY JEN AKA KAI—MIN JIMMY JEN, DEBTOR AS OWNER, AS DISCLOSED BY NOTICE OF PENDENCY OF ACTION (LIS PENDENS), UNITED STATES BANKRUPTCY COURT, NORTHERN DISTRICT OF CALIFORNIA, SAN FRANCISCO DIVISION, CASE NO. 06—30533 DM, CHAPTER 7. RECORDED: DECEMBER 21, 2006 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL

NUMBER 2006-193338

ADDRESS: 50 FREMONT ST, PO BOX 7880, SAN FRANCISCO, CA 94120-7880

7 407/04/ 40 50// 04/0

7. ACTION AS FOLLOWS: PLAINTIFF: ANDREA A. WIRUM, TRUSTEE OF THE CHAPTER 7 ESTATE OF JIMMY JEN AKA KAI—MIN JIMMY JEN

DEFENDANT: 321 JUDAH STREET LLC, A CALIFORNIA LIMITED LIABILITY COMPANY; BAY AREA AFFORDABLE HOUSING LLC, A CALIFORNIA LIMITED LIABILITY COMPANY; GRIFFITH STREET LLC, A CALIFORNIA LIMITED LIABILITY COMPANY; RLM DEVELOPMENT LLC, A CALIFORNIA LIMITED LIABILITY COMPANY: NANCY JEN. AN INDIVIDUAL: ROBERT MCCURN. AN INDIVIDUAL: JIMMY JEN. AS CUSTODIAN FOR ERIC JEN UNDER THE CALIFORNIA UNIFORM TRANSFERS TO MINORS ACT UNTIL AGE 21; NANCY JEN, AS CUSTODIAN FOR ERIC JEN UNDER THE CALIFORNIA UNIFORM TRANSFERS TO MINORS ACT UNTIL AGE 21; JIMMY JEN, AS CUSTODIAN FOR LAURA JEN UNDER THE CALIFORNIA UNIFORM TRANSFERS TO MINORS ACT UNTIL AGE 21; NANCY JEN, AS CUSTODIAN FOR LAURA JEN UNDER THE CALIFORNIA UNIFORM TRANSFERS TO MINORS ACT UNTIL AGE 21: HELEN LEE. AS TRUSTEE OF THE 1997 KAI MIN JIMMY JEN IRREVOCABLE TRUST: SUNRISE ENTERPRISE LLC, A CALIFORNIA LIMITED LIABILITY COMPANY; FANTASY INVESTMENT CO. INC., A CALIFORNIA CORPORATION; POWER EXCHANGE INC., A DELAWARE CORPORATION; POWER EXCHANGE VIDEO LLC, A CALIFORNIA LIMITED LIABILITY COMPANY; DELTA DESIGN AND ENGINEERING SYSTEMS, INC., A CALIFORNIA CORPORATION; JIMMY JEN, AN INDIVIDUAL COURT: UNITED STATES BANKRUPTCY COURT, NORTHERN DISTRICT OF CALIFORNIA, SAN FRANCISCO DIVISION.

CASE NO. : CASE NO. 06-30533 DM, CHAPTER 7
COMMENCED : DECEMBER 19, 2006

PURPOSE : REAL PROPERTY CLAIM
AS DISCLOSED BY OR NOTICE OF WHICH IS

RECORDED : DECEMBER 21, 2006 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL

NUMBER 2006—193338 ATTORNEY : PILLSBURY WINTH

ATTORNEY: PILLSBURY WINTHROP SHAW PITTMAN LLP FOR: CHAPTER 7 TRUSTEE — ANDREA A. WIRUM

8. ANY CLAIM OF LIEN FOR SERVICES, LABOR OR MATERIAL ARISING FROM AN IMPROVEMENT OR WORK UNDER CONSTRUCTION OR COMPLETED AT THE DATE HEREOF.

9. THE REQUIREMENT THAT THIS COMPANY BE PROVIDED WITH AN OPPORTUNITY TO INSPECT THE LAND (THE COMPANY RESERVES THE RIGHT TO MAKE ADDITIONAL EXCEPTIONS AND/OR REQUIREMENTS UPON COMPLETION OF ITS INSPECTION).

SURVEYOR'S CERTIFICATE:

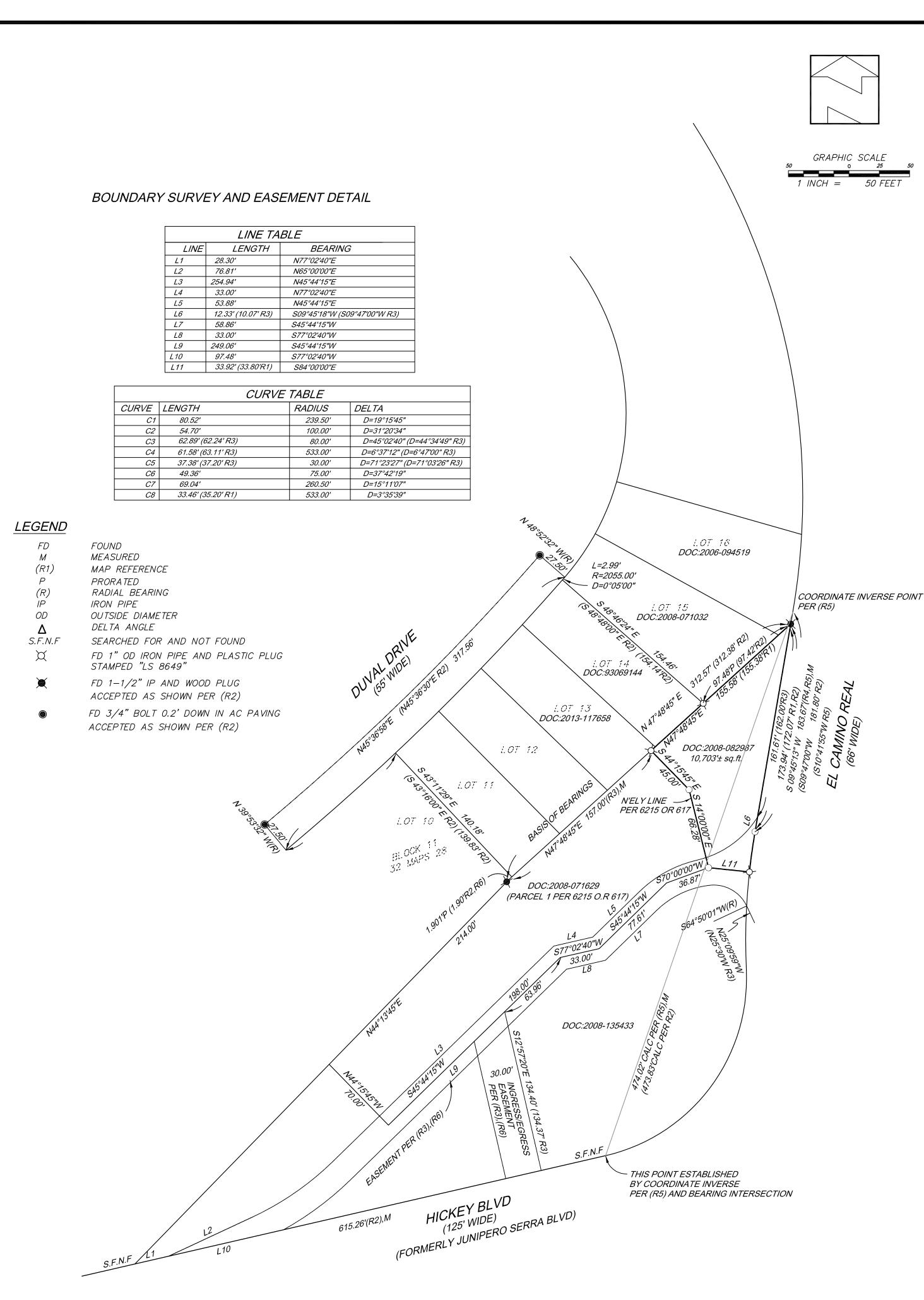
TO: FAY JAMASBI; THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 5, 8, AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 5TH 2021.

DATE OF PLAT OR MAP: 1-10-21

1-14-21

GREGORY T. IPPOLITO
PROFESSIONAL LAND SURVEYOR 8649





SCALE: 1"=50'

DRA WN: GTI

CHECKED: GTI

DATE: 1-14-2021

PESIGHT

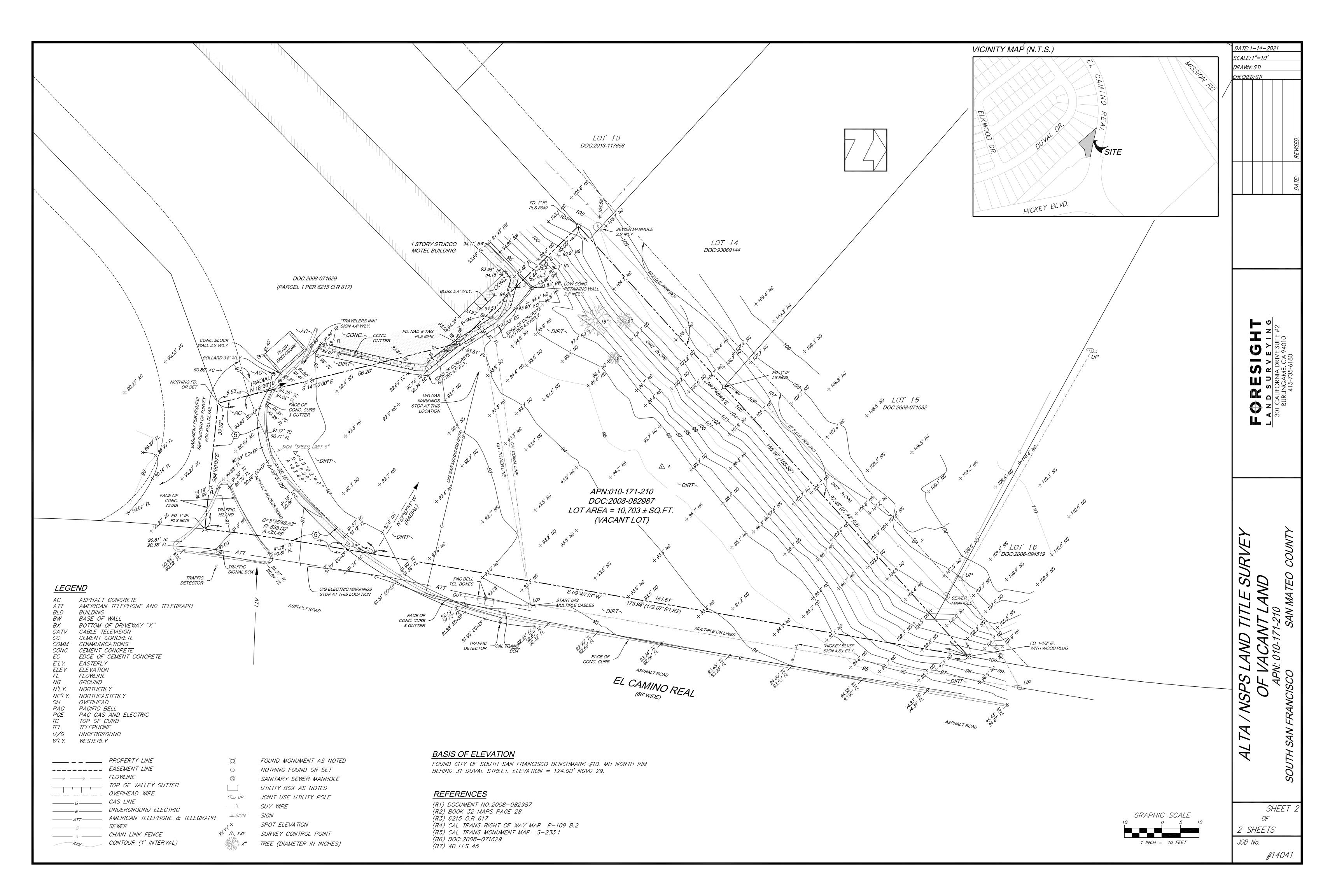
CANTLAND

4L IA / NSFS LAM OF VACA APN: 010-

SHEET OF 2 SHEETS

2 SHEE JOB No.

#14041-1



ABBREVIATIONS

ASPHALT CONCRETE BACK FLOW PREVENTION DEVICE BOTTOM OF WALL ELEVATION CATCH BASIN CL CS CIP CENTER LINE **CRAWL SPACE ELEVATION** CAST IRON PIPE CONCRETE **DECK DRAIN** DOUBLE DETECTOR CHECK VALVE **DECOMPOSED GRANITE DUCTILE IRON PIPE ROOF DOWN SPOUT EXISTING ELECTRICAL ELECTRICAL METER** FLOW LINE ELEVATION FΜ FORCE MAIN LINE FS FINISHED SURFACE ELEVATION FP FINISHED PAVEMENT ELEVATION FIRE WATER LINE FW GB GRADE BREAK GM GAS METER GR GRATE ELEVATION GV **GATE VALVE** HIGH POINT **HEATED WATER LINE** PIPE INVERT ELEVATION JOINT TRENCH JOINT POLE LD LANDSCAPE DRAIN LINEAR FEET LOW POINT (N) POST INDICATOR VALVE POC POINT OF CONNECTION RIM RIM ELEVATION SAP SEE ARCHITECTURAL PLANS SBD STORM SUB DRAIN SBDCO STORM SUB DRAIN CLEANOUT STORM DRAIN SDCO STORM DRAIN CLEANOUT SGR SEE GEOTECHNICAL REPORT SICB SIDE INLET CATCH BASIN SLP SEE LANDSCAPE PLANS SPP SEE PLUMBING PLANS SANITARY SEWER SSCO SANITARY SEWER CLEANOUT SSP SEE STRUCTURAL PLANS TW TOP OF WALL ELEVATION TYP TYPICAL VD PIPE VERTICAL DROP

EARTHWORK QUANTITIES

DOMESTIC WATER LINE

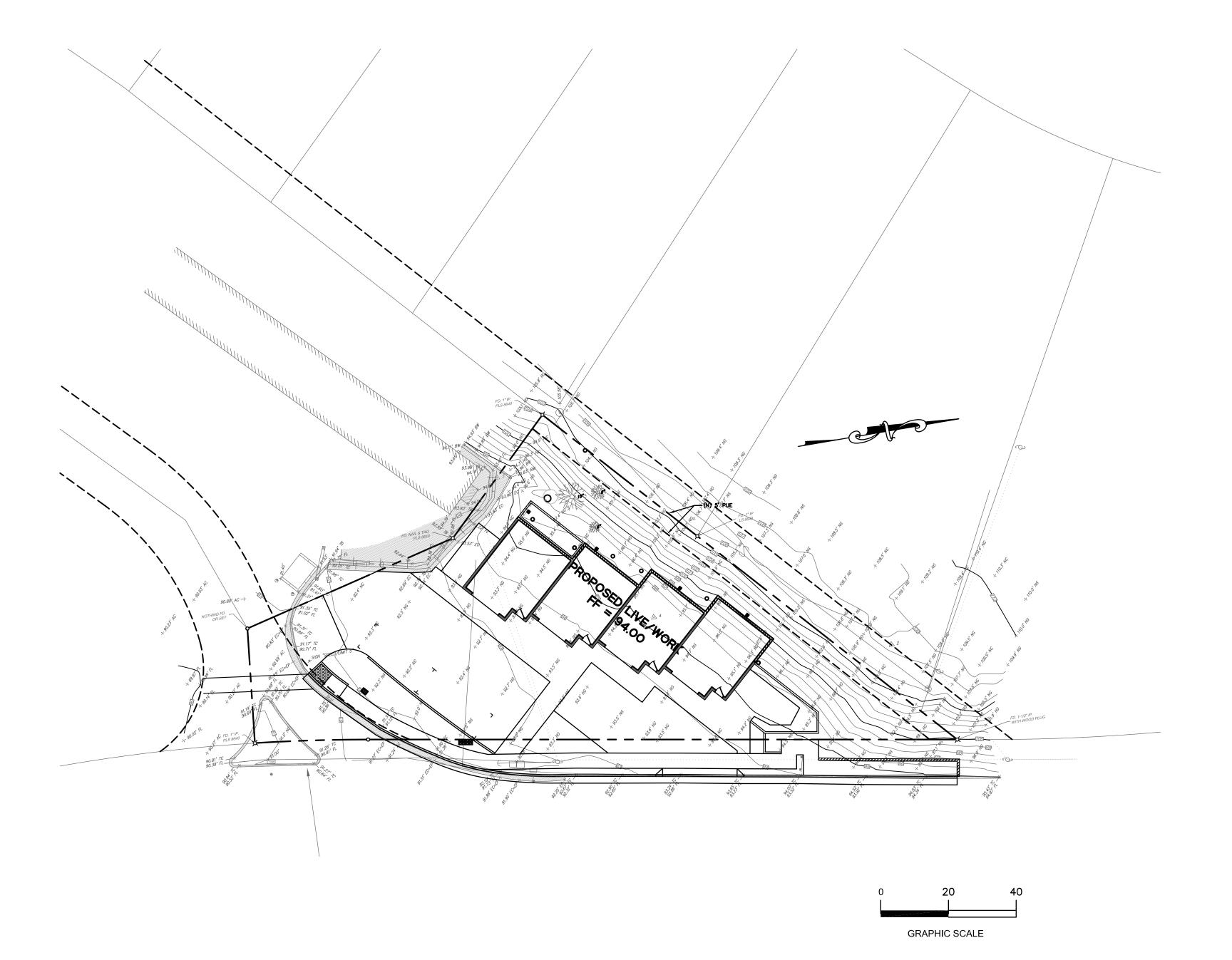
WATER METER

CUT	220 C.Y.
FILL	0 C.Y.
TOTAL TO BE MOVED	220 C.Y.
BALANCE	220 C.Y. CUT (OFF-HAUL
= 4 = T	

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.

NEW LIVE WORK BUILDING EL CAMINO REAL AT HICKEY BOULEVARD

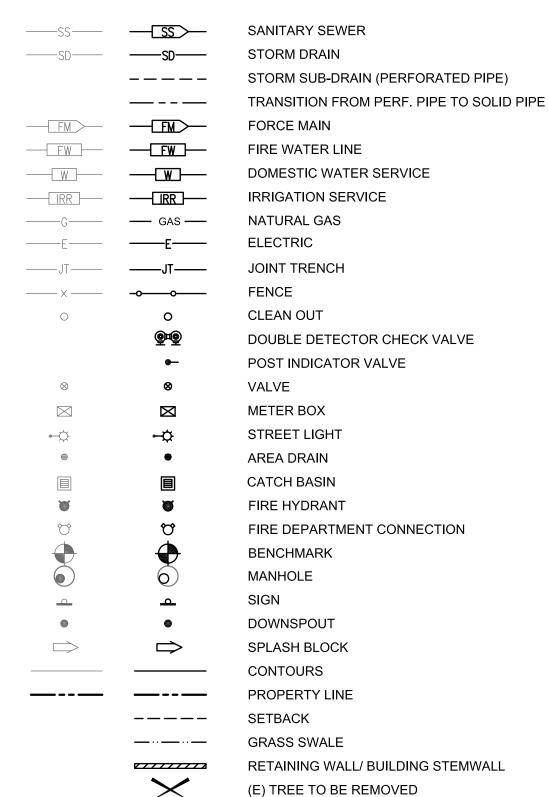
SOUTH SAN FRANCISCO, CA 94080





LOCATION MAP N.T.S.

LEGEND



SHEET INDEX

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-2	GRADING PLA
C-3	UTILITY PLAN

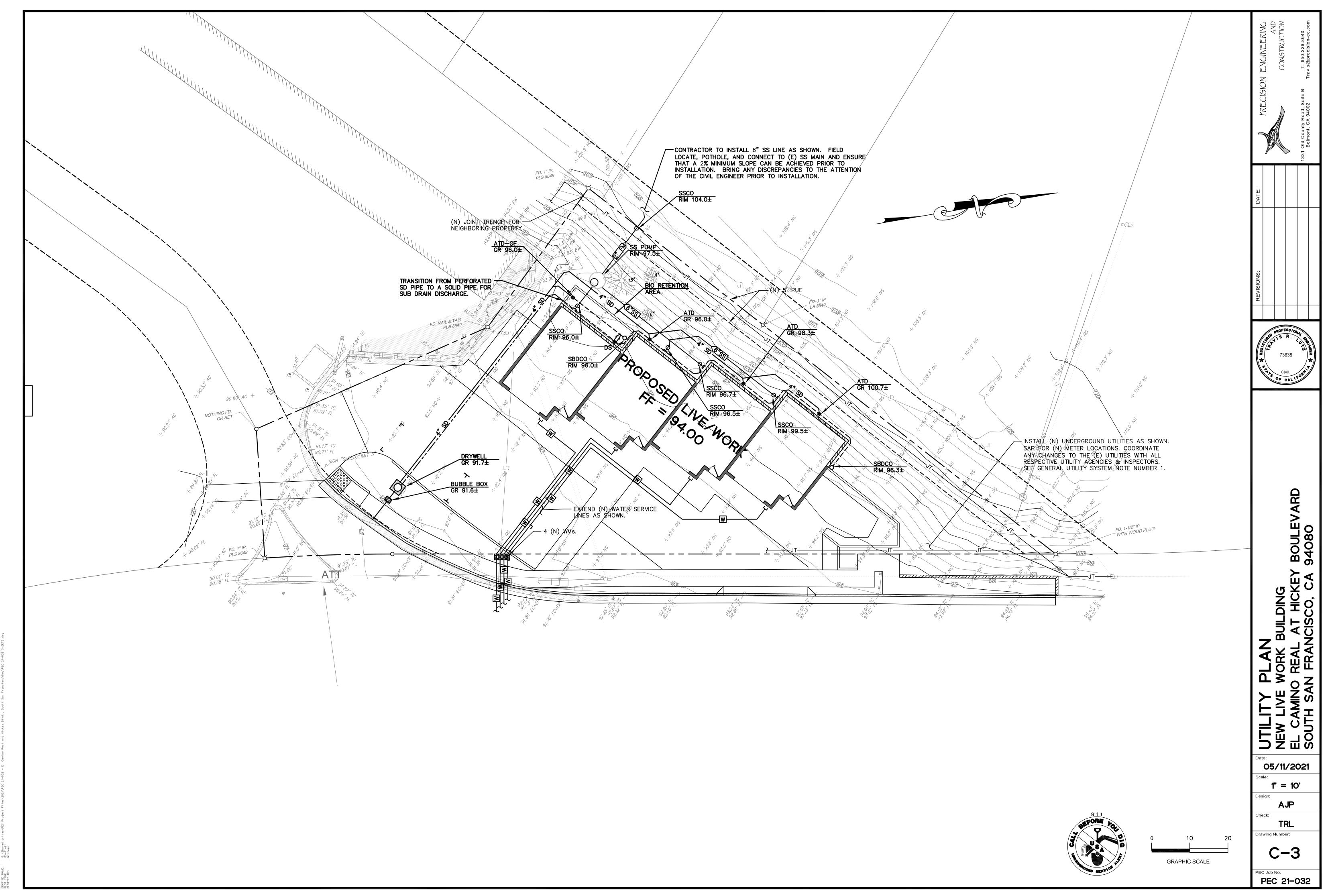




TRL

C-O

PEC 21-032



SHEET INDEX	NOTES	ABBREVIATIONS	ABBREVIATIONS CONT.	GENERAL - ALL SHEETS
I.O.01 LANDSCAPE INDEX, NOTES AND LEGEND I.O.02 LANDSCAPE ILLUSTRATIVE PLAN II.O0 LANDSCAPE MATERIALS PLAN - GROUND FLOOR III.O.01 LANDSCAPE PLANTING PLAN - GROUND FLOOR III.O.02 LANDSCAPE PLANTING PLAN - GROUND FLOOR III.O.03 LANDSCAPE PLANTING PLAN - GROUND FLOOR	1. PLANS ARE SCHEMATIC DESIGN INTENT ONLY & NOT FOR CONSTRUCTION. 2. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATIONS. ALL REQUIRED INSPECTIONS AND PERMITS SHALL BE PROVIDED BY CONTRACTOR. 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. 4. REFER TO ARCHITECTURAL, CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.	AP AGGREGATE PAVING AC ASPHALTIC CONCRETE AD AREA DRAIN ARCH ARCHITECTURAL DRAWINGS B & B BALL AND BURLAP BC BOTTOM OF CURB BILDG BS BOTTOM OF STEP BW BOTTOM OF WALL CA CONSTANT ARC CALL CALIPER CB CATCH BASIN CH CONCRETE HEADER CIP CAST IN PLACE CJ CONTROL JOINT CL CENTERLINE CLE CLEARANCE CO CI EAN OUT COJ CONSTRUCTION JOINT CONC CONCRETE CONT CONTINUOUS CP CONSTANT PITCH CUP CONCRETE HIT PAVER CWAD COORDINATE WITH ARCHITECTURAL DRAWINGS CWCD CORDINATE WITH STRUCTURAL DRAWINGS CWCD CORDINATE WITH STRUCTURAL DRAWINGS CWCD CORDINATE WITH ARCHITECTURAL DRAWINGS CWCD CORDINATE WITH ARCHITECTURAL DRAWINGS CWCD CORDINATE WITH ARCHITECTURAL DRAWINGS CWCD CORDINATE WITH STRUCTURAL DRAWINGS CWCD CORDINATE WITH STRUCTURAL DRAWINGS CWCD DAIMETER Ø DIAMETER FINISH SURFACE GALV ANIZED GR GRADE BREAK GJ GROUT JOINT HH HANDHOLE HP HIGH POINT ICA INTEGRAL COLOR ADMIXTURE ID INSIDE DIAMETER IE INVERT ELEVATION LOW LIMIT OF WORK LP LOW POINT LT LIGHT MAN MANIMUM MID DEPTH MEP MECHANICAL, ELECTRICAL AND PLUMBING MFR MANHOLE MIN MINIMUM NIC NOT IN CONTRACT N'S NOT TO SCALE OPCI OWNER PROVIDED, CONTRACTOR INSTALLED OC ON CENTER OCEW ON CENTER EACH WAY	OD OUTSIDE DIAMETER PA PLANTING AREA PED PEDESTRIAN PERF PERFORATED POC POINT OF CONNECTION PT POINT OF TANGENCY R FADIUS RB ROOT BARRIER RE RIM ELEVATION RIM RIM ELEVATION ROW RIGHT OF WAY S SLOPE SAD SEE ARCHITECTURAL DRAWINGS SCD SEE CIVIL DRAWINGS SCD SEE CIVIL DRAWINGS SCD SEE CIVIL DRAWINGS SCD SEE LECTRICAL DRAWINGS SCB SUBGRADE GRADE BREAK SCS SUBGRADE SURFACE SH STEEL HEADER SIM SIMILAR SJ SCORE JOINT SLD SEE LIGHTING DRAWINGS SPD SEE PLUMBING DRAWINGS SPD SEE PLUMBING DRAWINGS SS STAINLESS STEEL SSD SFE STRUCTURAL DRAWINGS TAB TOP AND BOTTOM TO POP BAND TO DE DETERMINED TO DE DETERMINED TO TO DE DETERMINED TO TO DE DETERMINED TO TO PE CURB TOJ TOOLED CONTROL JOINT TH TOP OF HADER THK THICKNESS TS TOP OF STEP TW TOP OF WALL TYP TYPICAL UND UNLESS NOTED OTHERWISE VEH VEHICULAR VIF VERIEY IN FIELD WPM WATER PROOF MEMBRANE WWF WELDED WIRE FABRIC WITH	ALIGN PLOY DIMENSION CENTERLINE TXXXXX DATUM PROPERTY LINE BUILDING ROOF LINE, ABOVE SAD PROPOSED TREE CAFE TABLE AND CHAIRS

LANDSCAPE INDEX, NOTES AND LEGEND

JAMASBI LIVE-WORK

2612 8th STREET,
SUITE A
BERKELEY CA 9471
T: 510.927.3200

Number

L0.01 <

12" = 1'-0" (@ 22" x 34")

APRIL 28, 2021



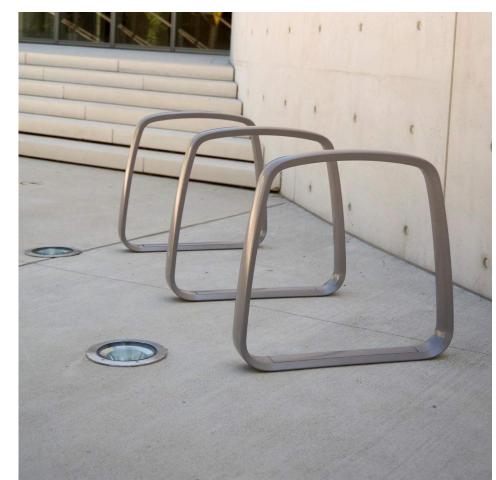
LANDSCAPE MATERIALS



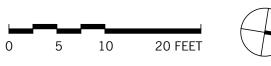
PAVING PATTERN



MOVEABLE FURNITURE



BIKE RACKS



L0.02

EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080

JAMASBI LIVE-WORK



KAVA MASSIH ARCHITECTS 920 Grayson Street I Berkeley, CA 94710 95 Federal Street I San Francisco, CA 94107 KMA PROJECT NO. Project

1" = 10'-0" (@ 22" x 34")

APRIL 28, 2021

LANDSCAPE ILLUSTRATIVE PLAN

- BIOTREATMENT PLANTER WALL -BY OTHERS - EXISTING TREE TO REMAIN -TYP. SYMBOL - BUILDING ROOF LINE, ABOVE -TYP. SYMBOL PROPOSED LIVE/WORK - PROPOSED TREE -TYP. SYMBOL - CAFE TABLE AND CHAIRS BIKE RACK - SITE WALL -BY OTHERS — SITE WALL -BY OTHERS - PERMEABLE PAVER TYPE 1 -TYP. SYMBOL PERMEABLE PAVER TYPE 2 - PROPERTY LINE -TYP. SYMBOL -TYP. SYMBOL EL CAMINO REAL I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

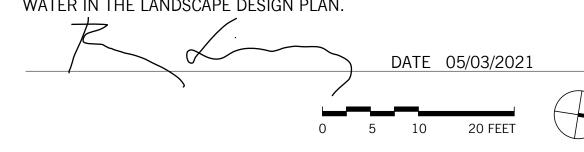
MATERIALS LEGEND



PERMEABLE PAVER TYPE 1 -MANUFACTURER: ACKER-STONE -WWW.ACKERSTONE.COM TYPE: AQUALINA -SIZE: 4" x 12" -COLOR: TBD -INSTALLATION: SCD FOR STORMWATER TREATMENT DESIGN



PERMEABLE PAVER TYPE 2 -MANUFACTURER: ACKER-STONE -WWW.ACKERSTONE.COM TYPE: AQUALINA -SIZE: 4" x 12" -COLOR: TBD -INSTALLATION: SCD FOR STORMWATER TREATMENT DESIGN



L1.00 <

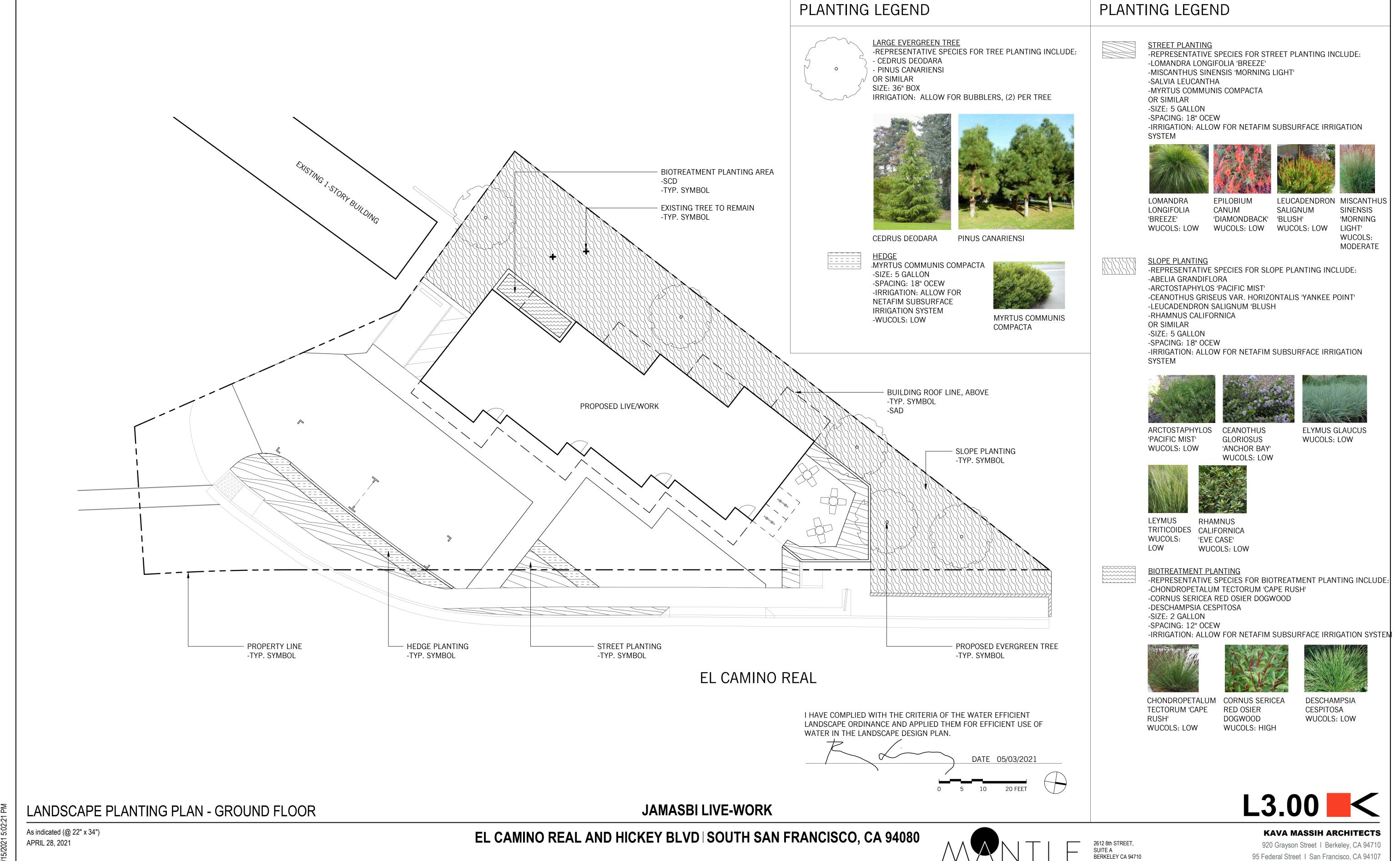
JAMASBI LIVE-WORK

Number

As indicated (@ 22" x 34")

APRIL 28, 2021

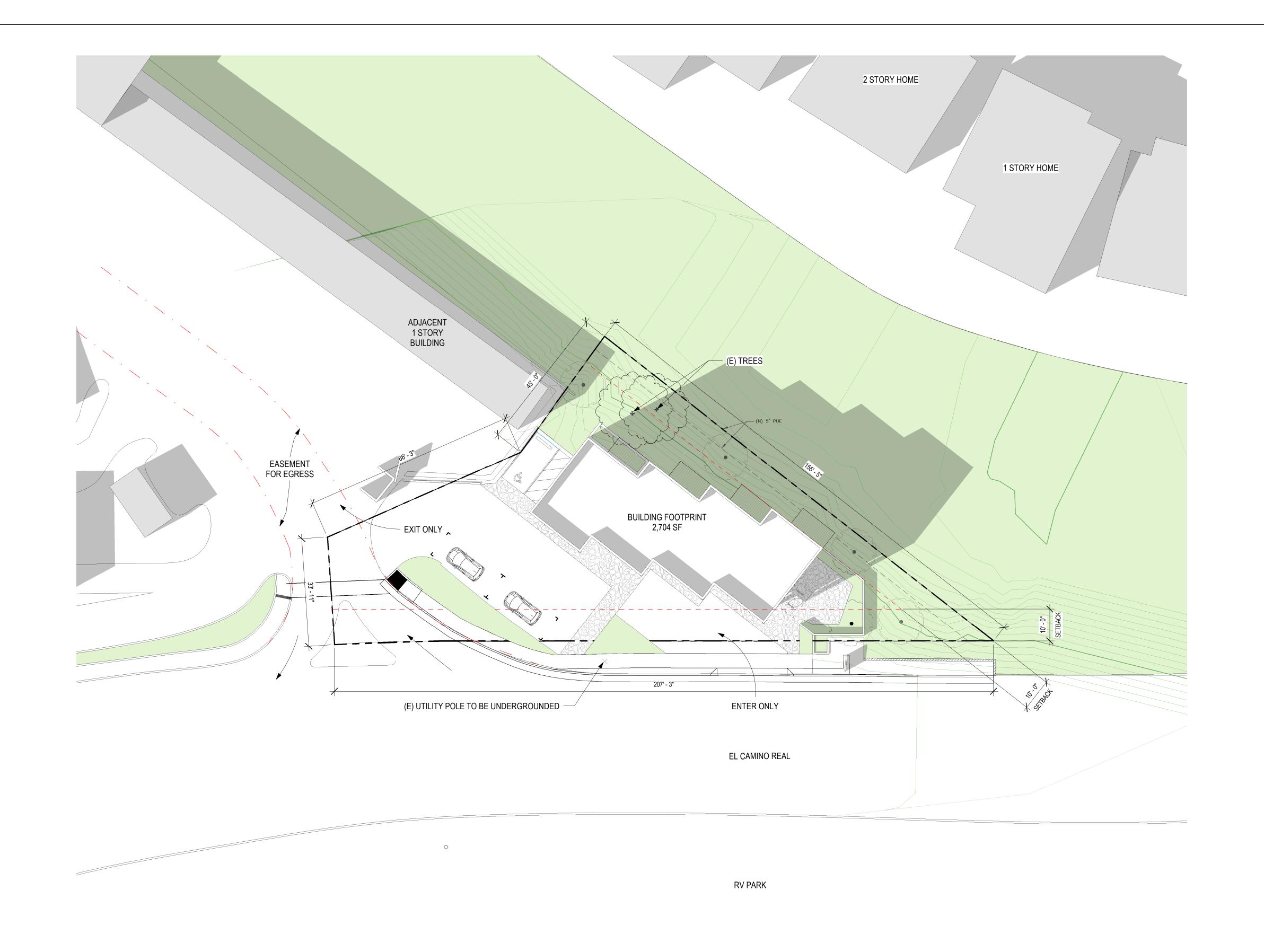
LANDSCAPE MATERIALS PLAN - GROUND FLOOR

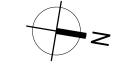


KMA PROJECT NO. Project

Number

LANDSCAPE ARCHITECTURE





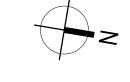
PROPOSED SITE AND ROOF PLAN

JAMASBI LIVE-WORK

1/16" = 1'-0" (@ 22" x 34") SEPT 18, 2021

EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080

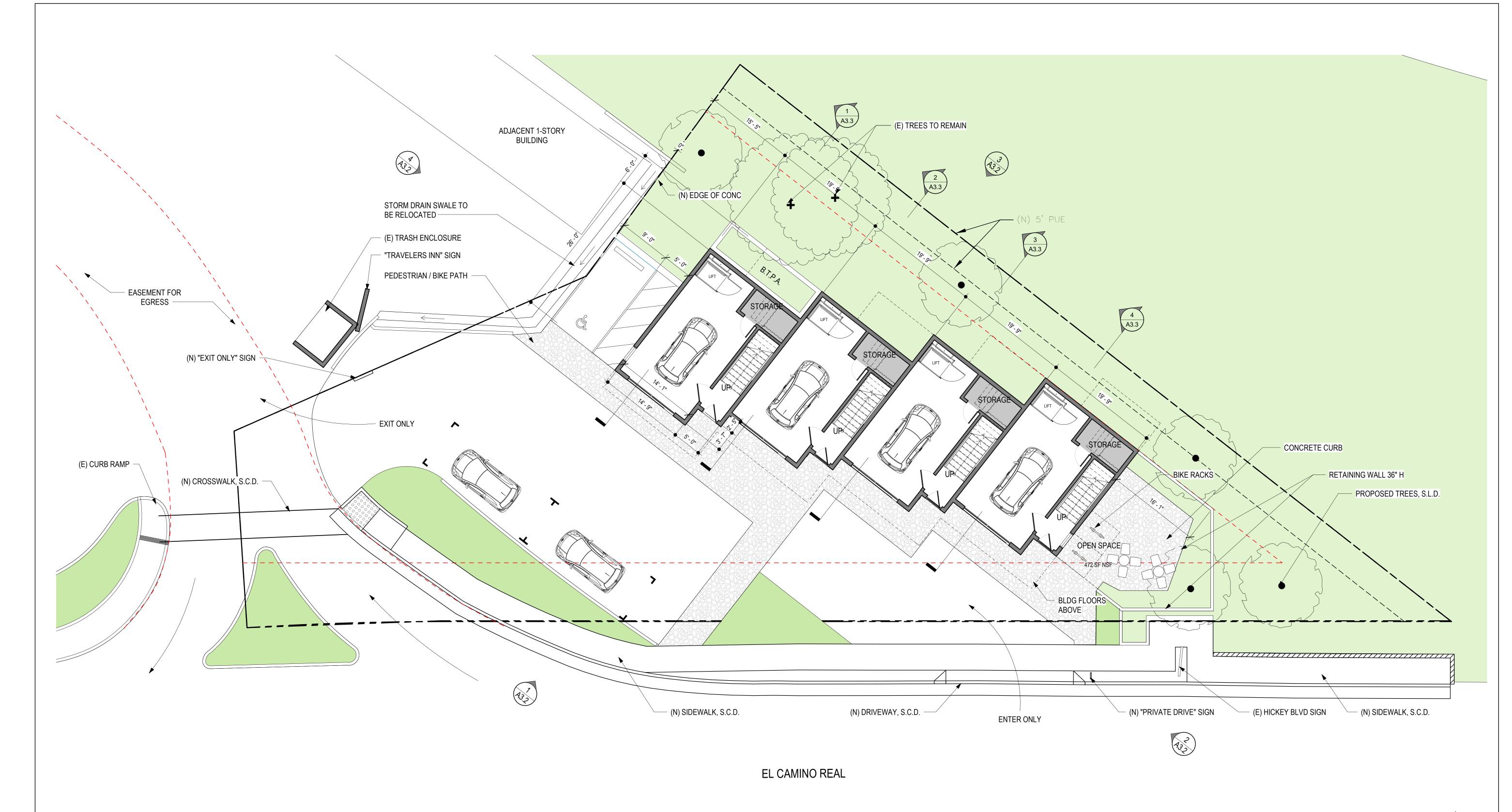




KMA PROJECT NO. 1924



95 Federal Street | San Francisco, CA 94107 KMA PROJECT NO. 1924





FIRST FLOOR SITE PLAN

1/8" = 1'-0" (@ 22" x 34")

SEPT 18, 2021

JAMASBI LIVE-WORK

EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080

KAVA MASSIH ARCHITECTS

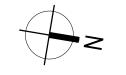
920 Grayson Street | Berkeley, CA 94710

95 Federal Street | San Francisco, CA 94107

KMA PROJECT NO. 1924

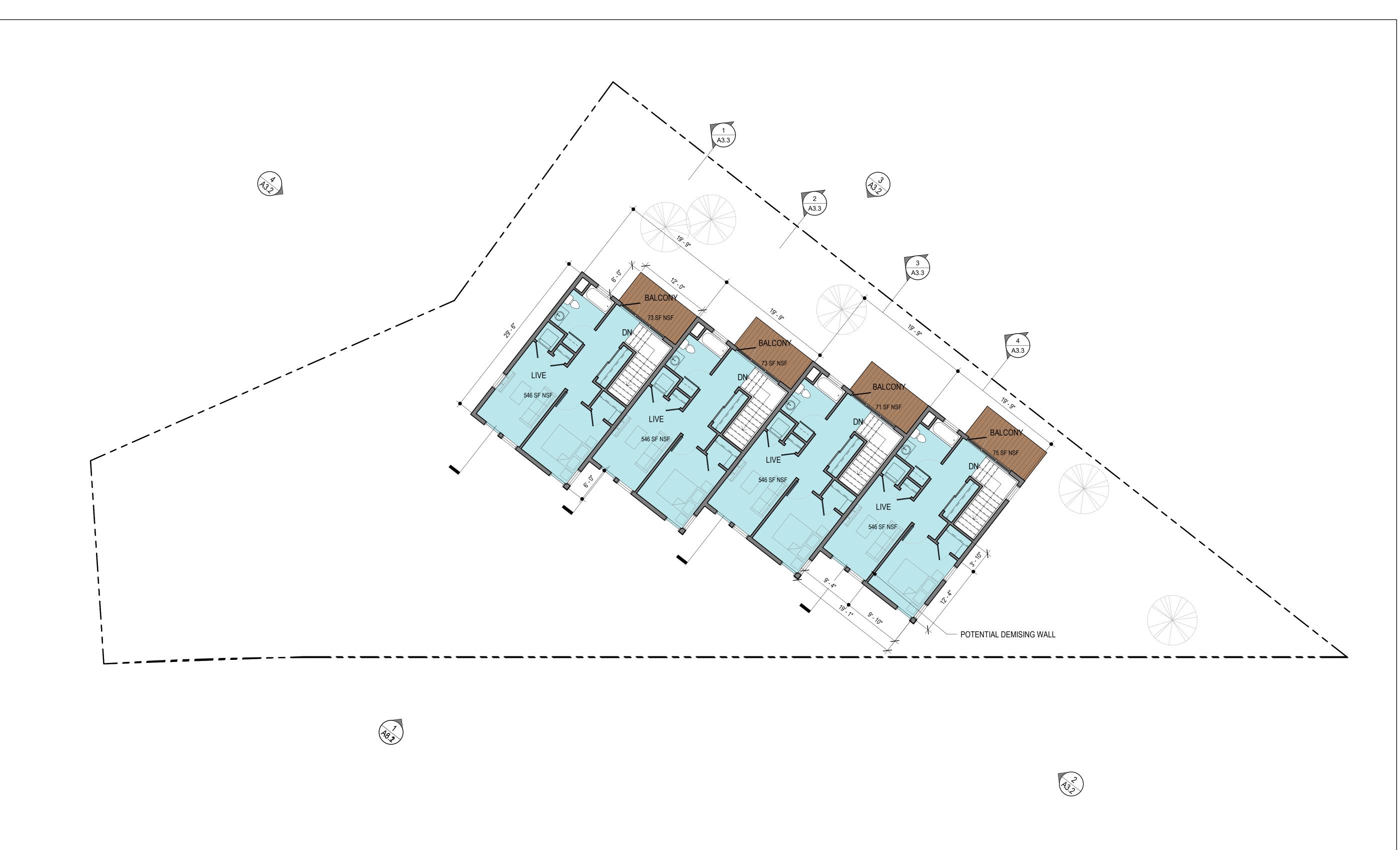






SECOND FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34") SEPT 18, 2021



No.

THIRD FLOOR PLAN

1/8" = 1'-0" (@ 22" x 34") SEPT 18, 2021



AXON

(@ 22" x 34") SEPT 18, 2021 JAMASBI LIVE-WORK



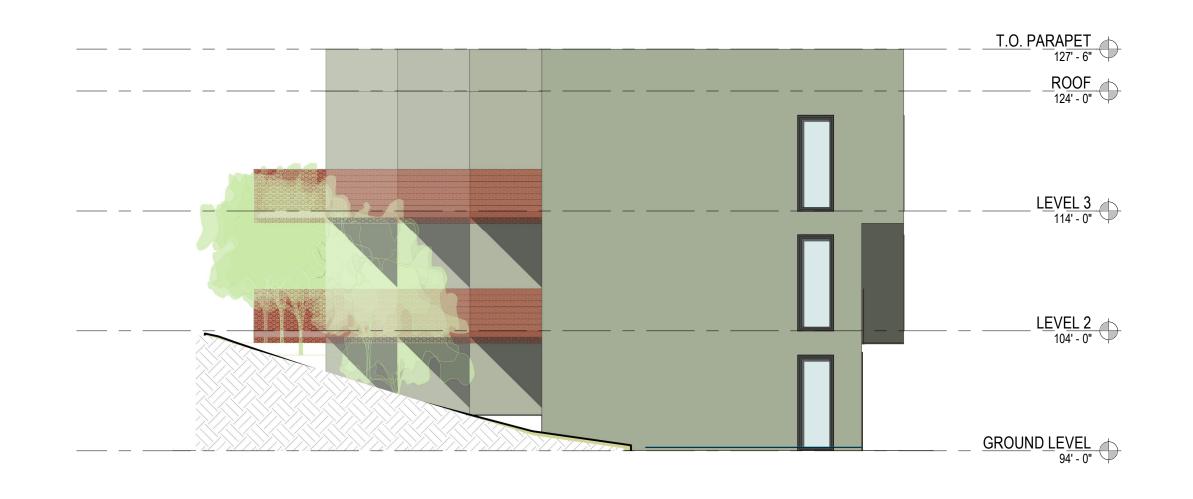


VIEW OF UNIT ENTRANCE 2

OVERALL PERSPECTIVE VIEW 1

3D VIEWS

(@ 22" x 34") SEPT 18, 2021 A3.1 <





SOUTH ELEVATION

1/8" = 1'-0"

4







EXTERIOR ELEVATIONS

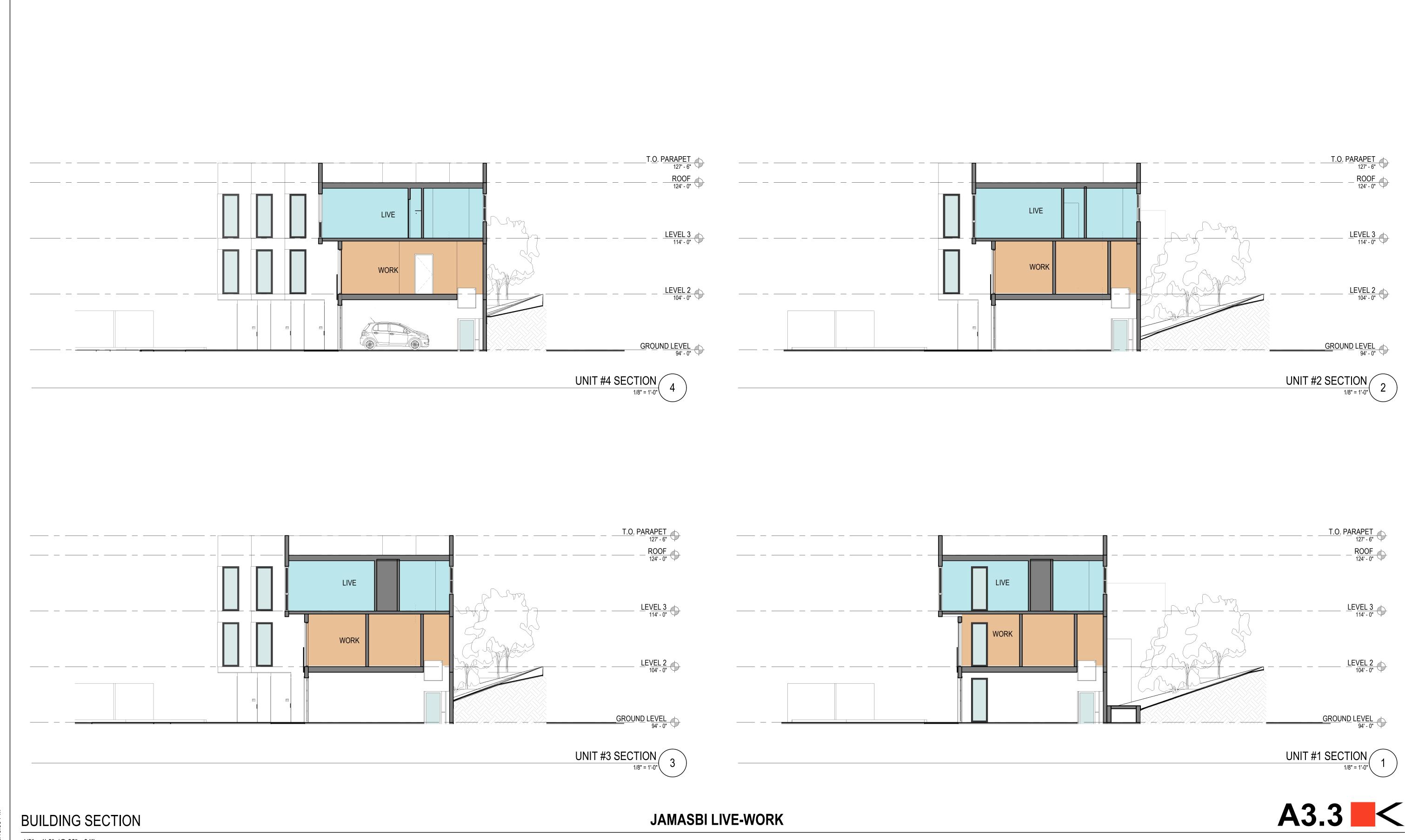
JAMASBI LIVE-WORK

1/8" = 1'-0" (@ 22" x 34") SEPT 18, 2021 EL CAMINO REAL AND HICKEY BLVD | SOUTH SAN FRANCISCO, CA 94080



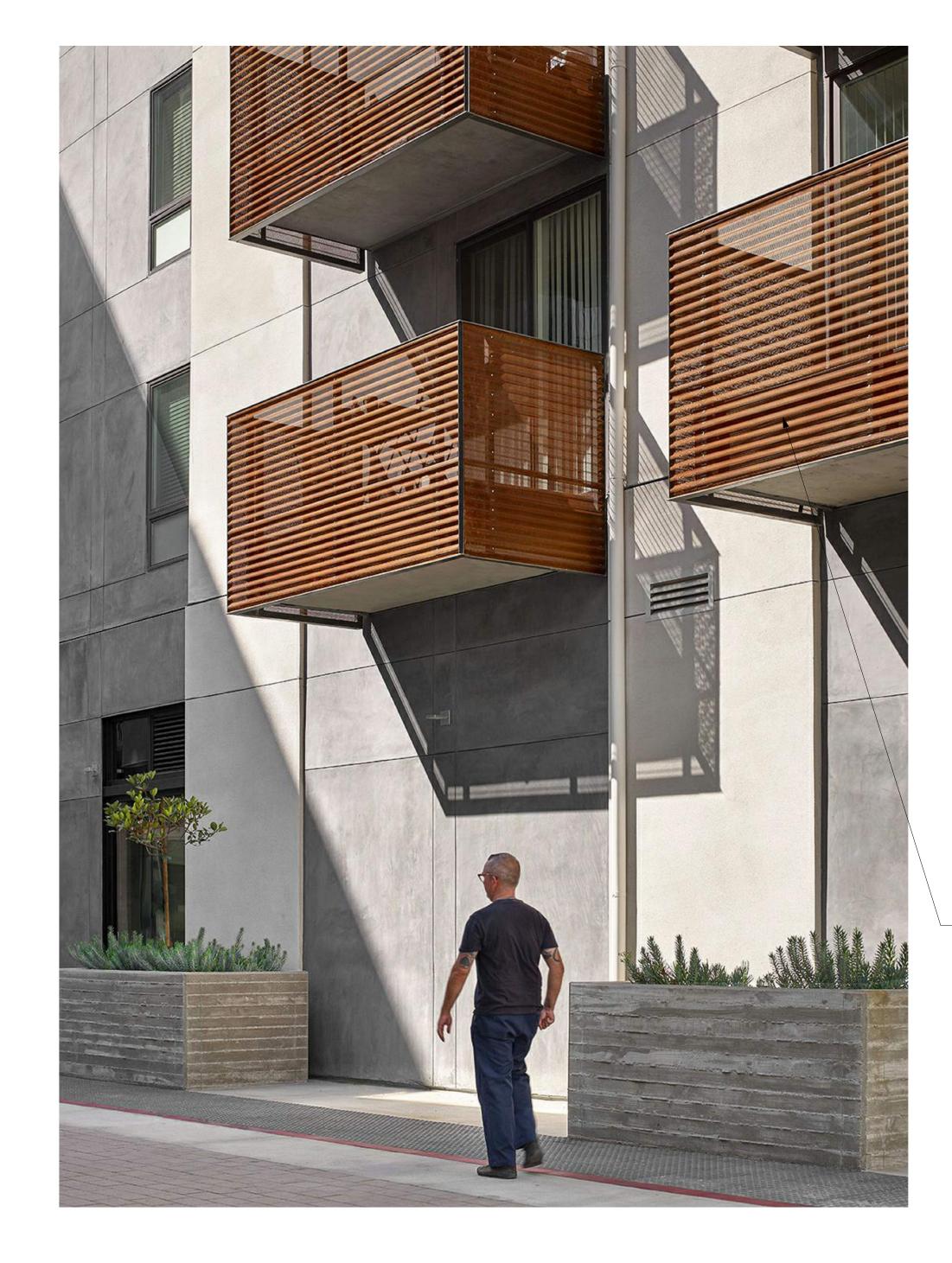
KAVA MASSIH ARCHITECTS

920 Grayson Street | Berkeley, CA 94710 95 Federal Street | San Francisco, CA 94107 KMA PROJECT NO. 1924



1/8" = 1'-0" (@ 22" x 34") SEPT 18, 2021

KAVA MASSIH ARCHITECTS





CLADDING AT ENTRANCES -

METAL GUARDRAIL WITH
 PERFORATED CORRUGATED
 CORTEN STEEL PANELS
 BALCONIES & JULIETTE BALCONIES

─ WESTERN RED CEDAR CEMENT PLASTER -



MATERIALS BOARD

1/8" = 1'-0" (@ 22" x 34") SEPT 18, 2021 JAMASBI LIVE-WORK

KAVA MASSIH ARCHITECTS

A6.1 <