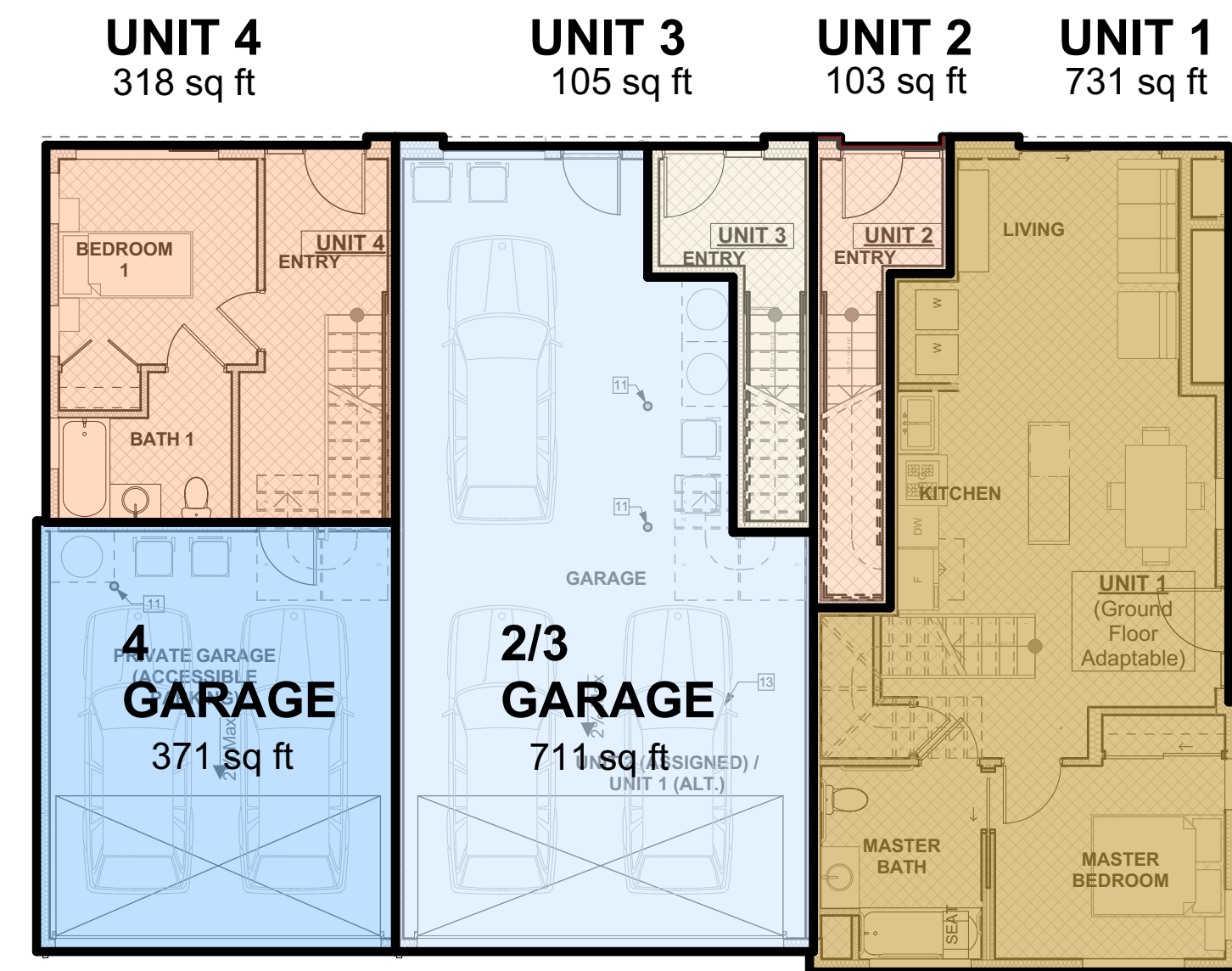
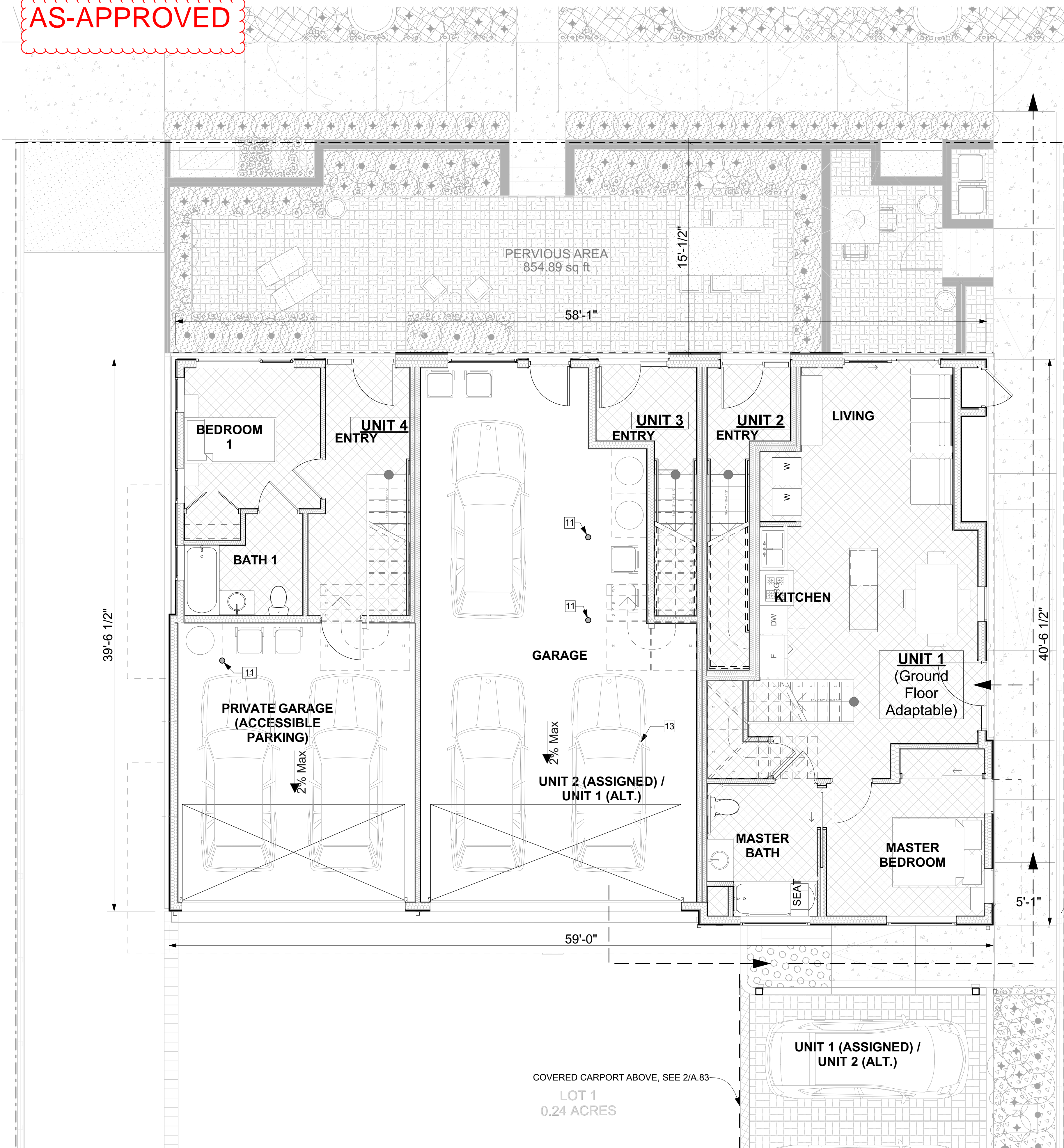


AS-APPROVED



GROUND FLOOR = 2,339 sq ft GSF

Area Calcs - Ground Floor

PLAN KEY NOTES:

- 1 STRUCTURAL ENGINEERING BY OTHERS, SSD.
- 2 MECHANICAL, ELECTRICAL, & PLUMBING ENGINEERING BY OTHERS, - SMD, SED, SPD
- 3 CIVIL ENGINEERING BY OTHERS, SCD.
- 3 30" MIN CLR @ SHOWER DOOR. MIN 22" WIDE, TEMPERED
- 4 PROVIDE MIN 30" CLEAR AROUND WATER CLOSET
- 5 MIN. 30 X 30 ATTIC ACCESS.
- 6 MINIMUM 36" DEEP LANDING AT ALL EXTERIOR DOORS
- 7 FOR DOORS ON OCCUPANCY SEPARATIONS, PROVIDE MINIMUM 1-3/8" THICK SOLID CORE DOOR WITH SELF-CLOSING, SELF-LATCHING DOOR (W/ FIRE RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO ASTM E 2014
- 8 GUARD RAILS AND HANDRAILS SHALL BE 42" MIN. HEIGHT. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISHED SURFACE OF RAMP, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. OPENINGS BETWEEN INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH.
- 9 PROVIDE VAPOR RETARDER UNDER SLAB AT ALL OCCUPIED AREAS. SEE HATCH
- 10 UNITS LABELED AS "GROUND FLOOR ADAPTIBLE" SHALL CONFORM TO CBC 1102A.3.1.
- 11 PROVIDE PROTECTIVE BOLLARD AT WATER HEATER LOCATIONS WITHIN VEHICLE SWEEP PATH
- 12 SECONDARY DRAINAGE SCUPPER W/ THROUGHWALL FLASHING
- 13 ALTERNATIVE PARKING ASSIGNMENT FOR GROUND FLOOR ADAPTIBLE UNITS, TO BE RE-ASSIGNED VIA SPECIFIC REQUEST FOR ACCESSIBLE PARKING, PER CBC 1109A.6.



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Civil Engineer:
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(415) 930-7905

Landscape Architect:
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April Phillips Design
Works, Inc.
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San Rafael, CA 94901
(415) 457-2774

Stamp:



Revision:
Date: 05/29/2020 BDLG PERMIT SET CYC1
By:
07/02/2020 BLDG PERMIT SET CYC2
08/13/2020 BDLG PERMIT SET CYC3

Project:
Baden Ave Condos

Project Address:
645 Baden Ave
South San Francisco, CA,
94080

Owner:
Baden Homes, LLC
c/o Rich Kwok

Issue:
DESIGN REVIEW SET

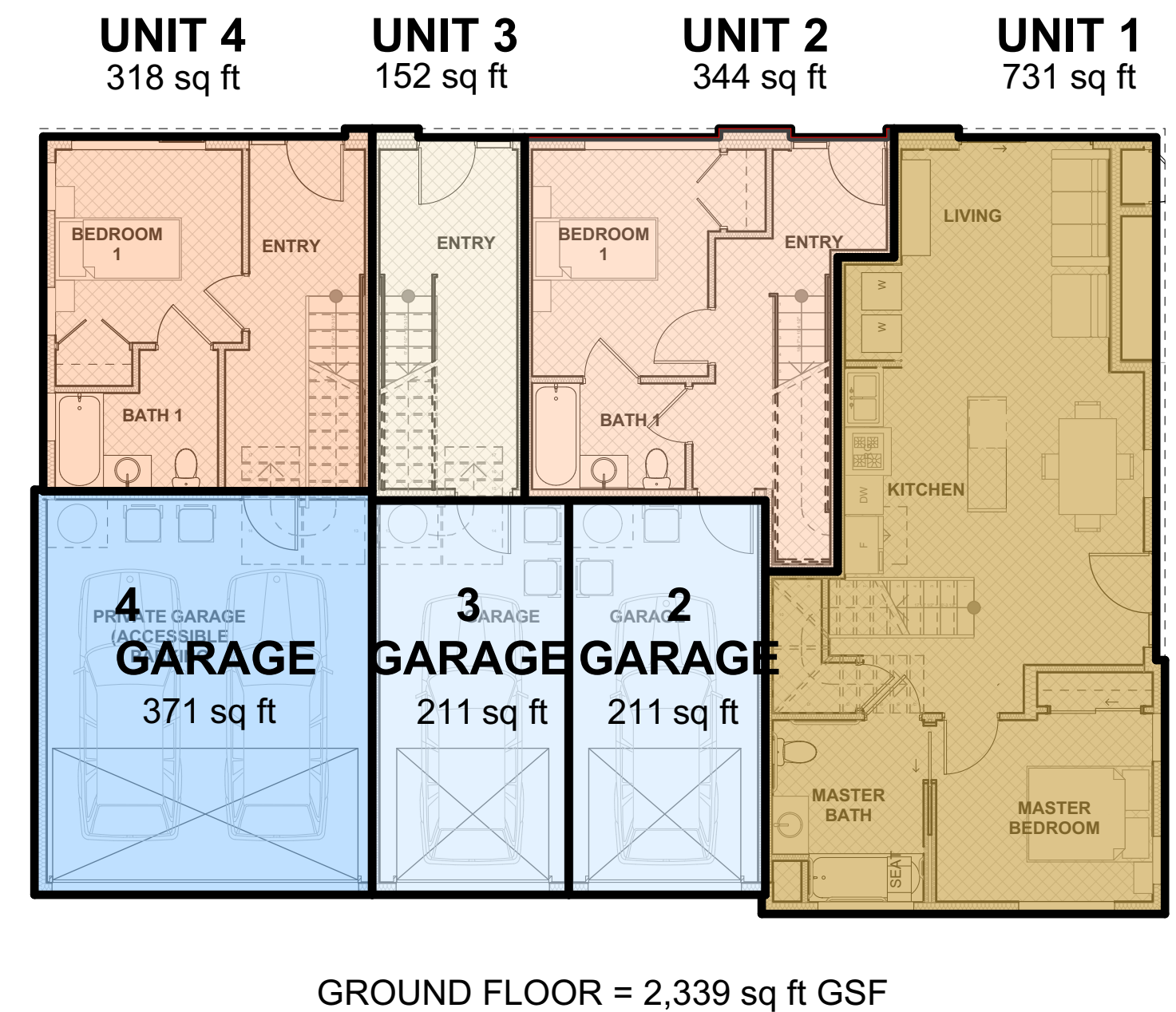
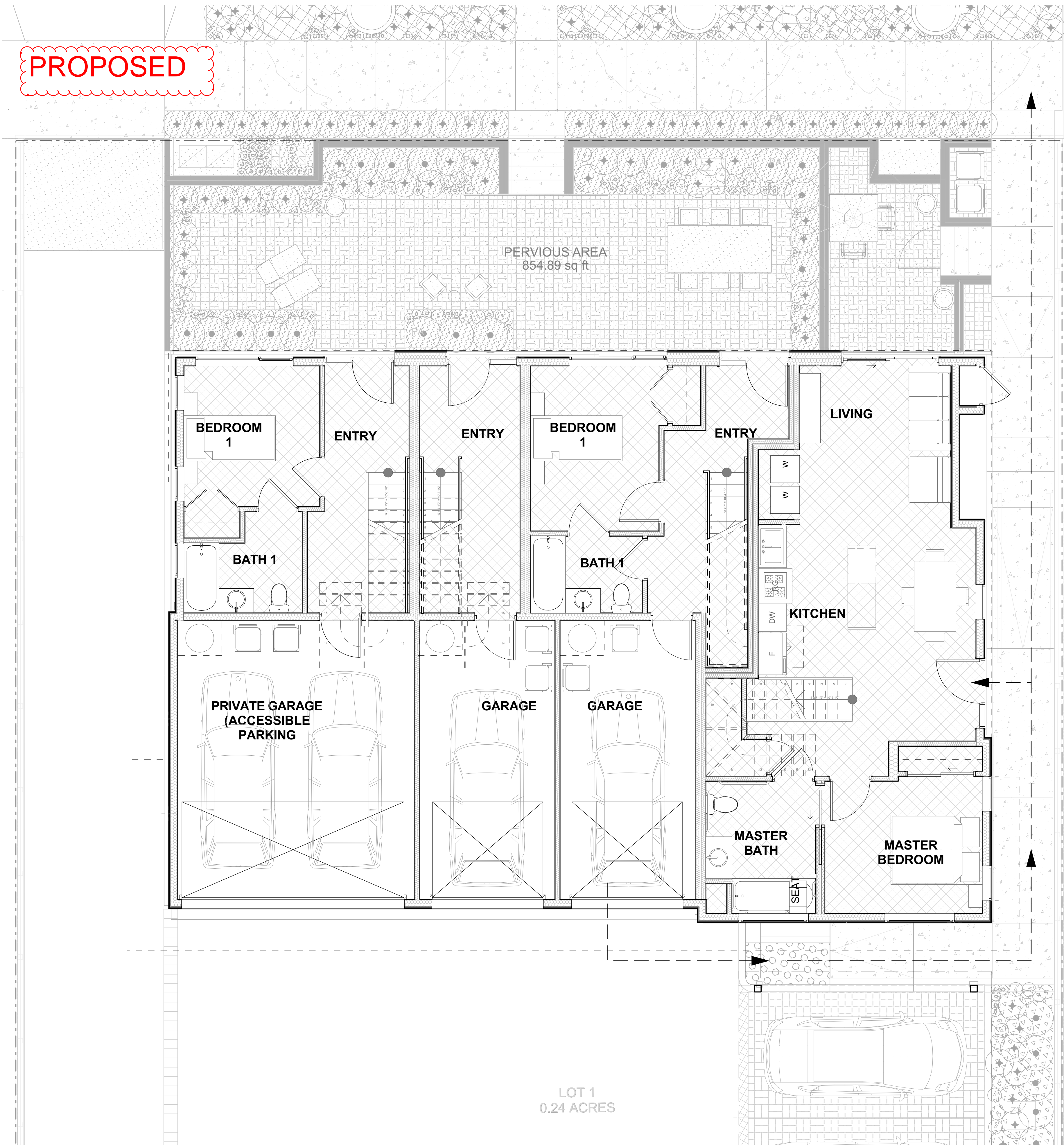
Drawing Title:
**Building A - Ground
Floor Plans**

Scale:
Date: 8/26/2020 Drawing Number:
Job Number: 2018_3
Drawn By: HS

A.10

Building A - Conceptual Ground Floor Plan
1/4" = 1'-0"

ACCESSIBLE PATH OF TRAVEL PER
CHAPTER 11A, CBC. SEE A.05b & C3.1



2

Area Calcs - Ground Floor

PLAN KEY NOTES:

- 1
- STRUCTURAL ENGINEERING BY OTHERS, SSD.
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ACCESSIBLE PATH OF TRAVEL PER CHAPTER 11A, CBC. SEE A.05b & C3.1



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05/29/2020 BDLG PERMIT SET CYC1
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Project:
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94080

Owner:
Baden Homes, LLC
c/oRich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
Building A - Ground
Floor Plans

Scale:

Date: **10/28/2020**

Drawing

Job Number:
2018_3

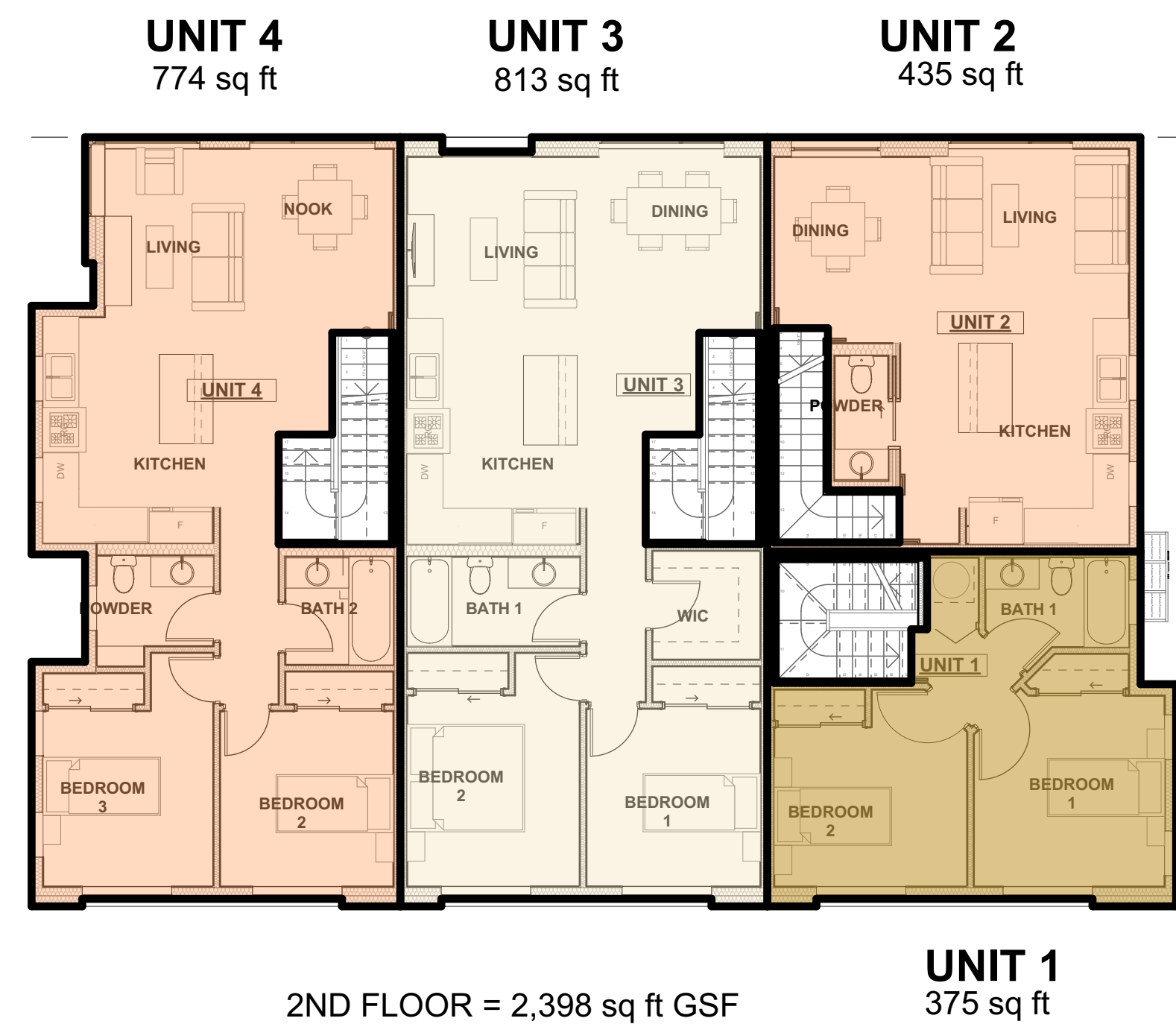
A.10x

Drawn By:
HS

AS-APPROVED



Building A - Conceptual 2nd Floor Plan
1/4" = 1'-0"



2
Area Calculations -2nd Level

PLAN KEY NOTES:

- 1 STRUCTURAL ENGINEERING BY OTHERS, SSD.
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ACCESSIBLE PATH OF TRAVEL PER
CHAPTER 11A, CBC. SEE A.05b & C3.1



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Revision:
Date: 05/29/2020 BDLG PERMIT SET CYC1
07/02/2020 BLDG PERMIT SET CYC2
08/13/2020 BDLG PERMIT SET CYC3

Project:
Baden Ave Condos

Project Address:
645 Baden Ave
South San Francisco, CA,
94080

Owner:
Baden Homes, LLC
c/o Rich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
**Building A - Second
Floor Plan**

Scale:

Date: 8/26/2020

Job Number:
2018_3

Drawn By:
HS

Drawing
Number:

A.11

PROPOSED



1

Building A - Conceptual 2nd Floor Plan
1/4" = 1'-0"

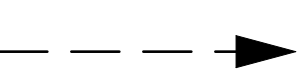


2

Area Calculations -2nd Level

PLAN KEY NOTES:

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ACCESSIBLE PATH OF TRAVEL PER
CHAPTER 11A, CBC. SEE A.05b & C3.1



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Stamp:



Revision:
Date: By:
05/29/2020 BDLG PERMIT SET CYC1
07/02/2020 BLDG PERMIT SET CYC2
08/13/2020 BDLG PERMIT SET CYC3

Project:
Baden Ave Condos

Project Address:
645 Baden Ave
South San Francisco, CA,
94080

Owner:
Baden Homes, LLC
c/oRich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
Building A - Second
Floor Plan

Scale:

Date: **10/27/2020**

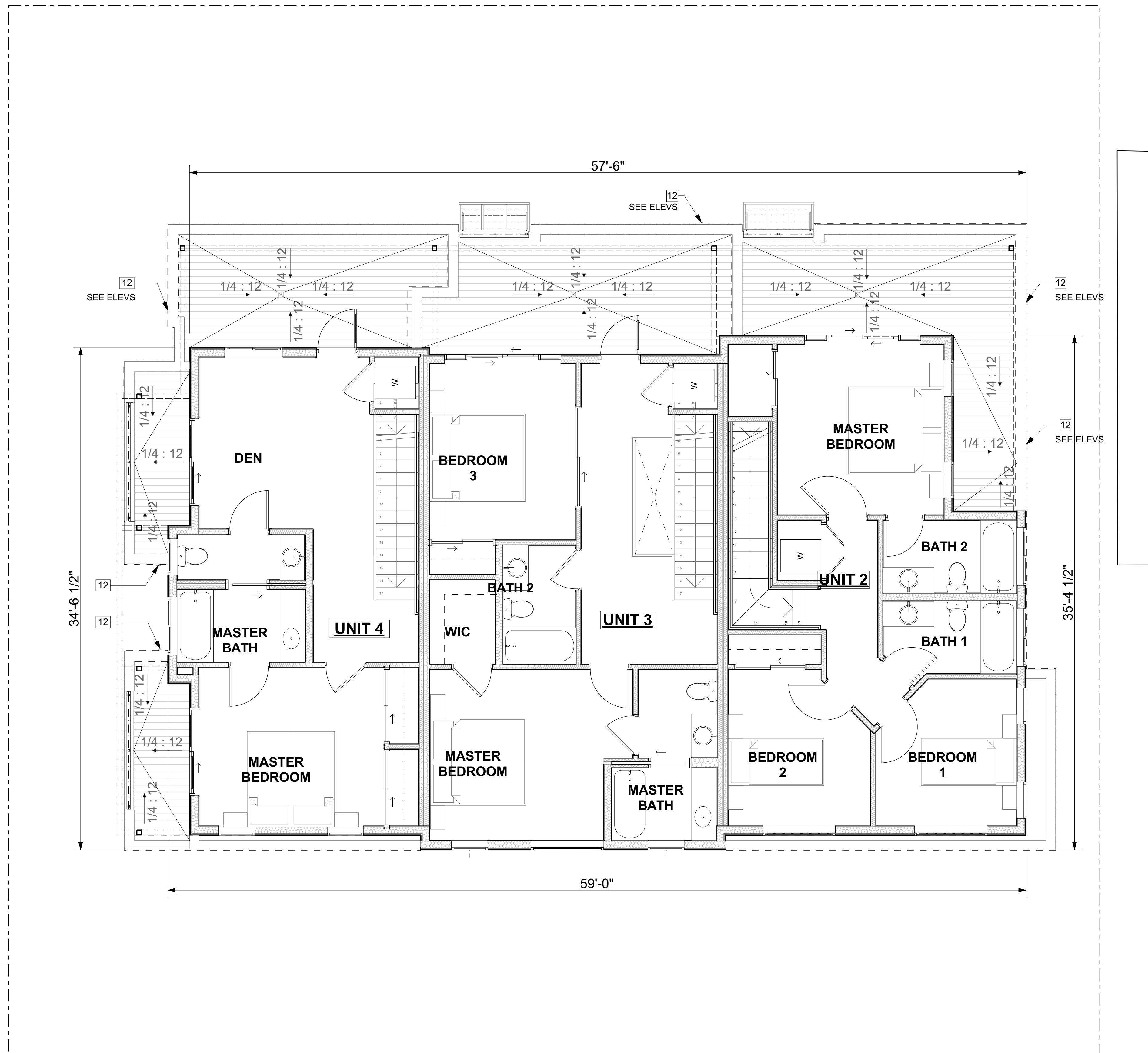
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Job Number:
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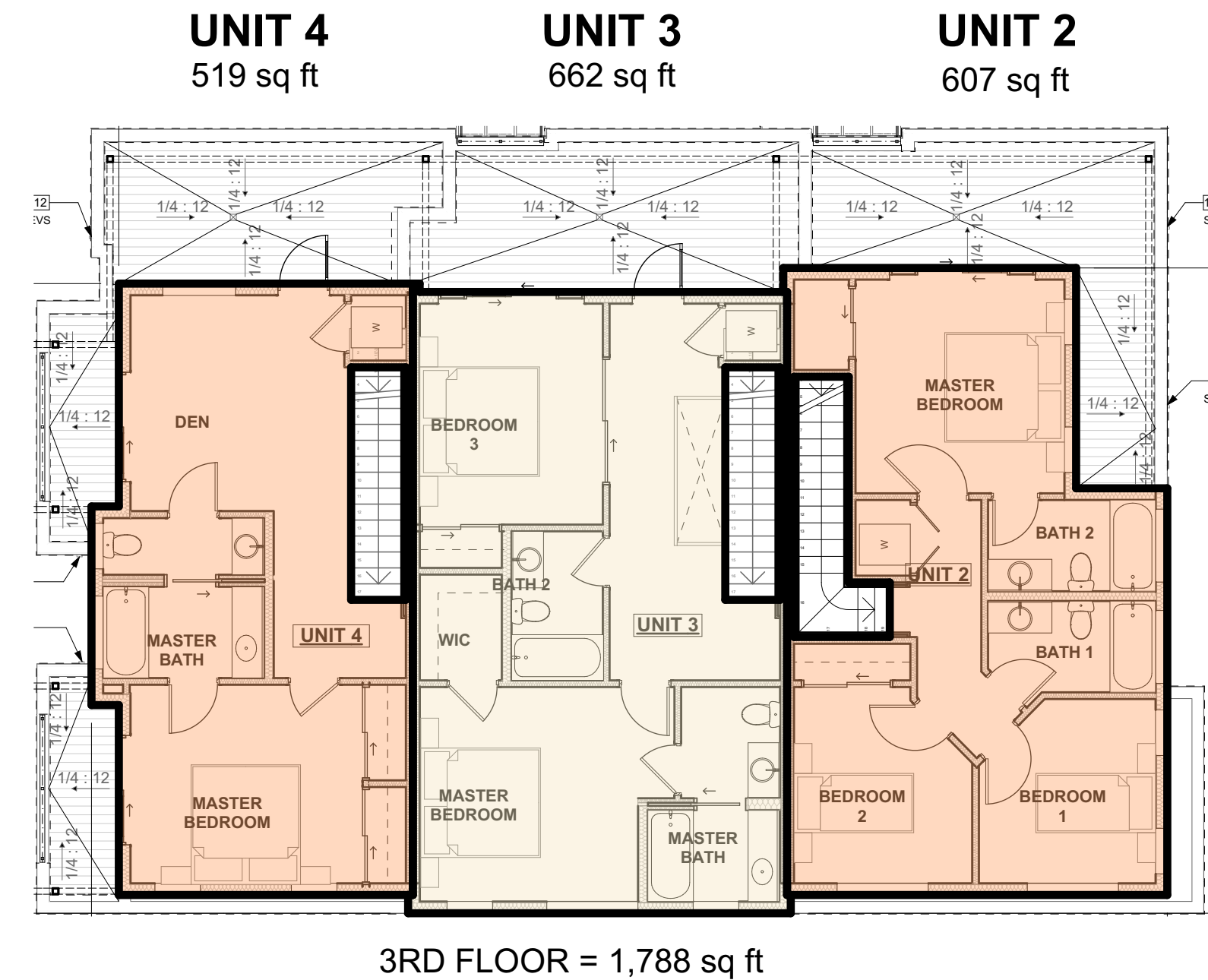
Drawn By:
HS

A.11x

AS-APPROVED



Building A - Conceptual 3rd Floor Plan
1/4" = 1'-0"



Area Calculations -3rd Level

PLAN KEY NOTES:

- 1 STRUCTURAL ENGINEERING BY OTHERS, SSD.
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ACCESSIBLE PATH OF TRAVEL PER
CHAPTER 11A, CBC. SEE A.05b & C3.1

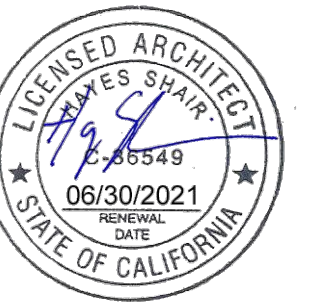


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Stamp:



Revision:
Date: 05/29/2020 BDLG PERMIT SET CYC1
By:
07/02/2020 BLDG PERMIT SET CYC2
08/13/2020 BDLG PERMIT SET CYC3

Project:
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Project Address:
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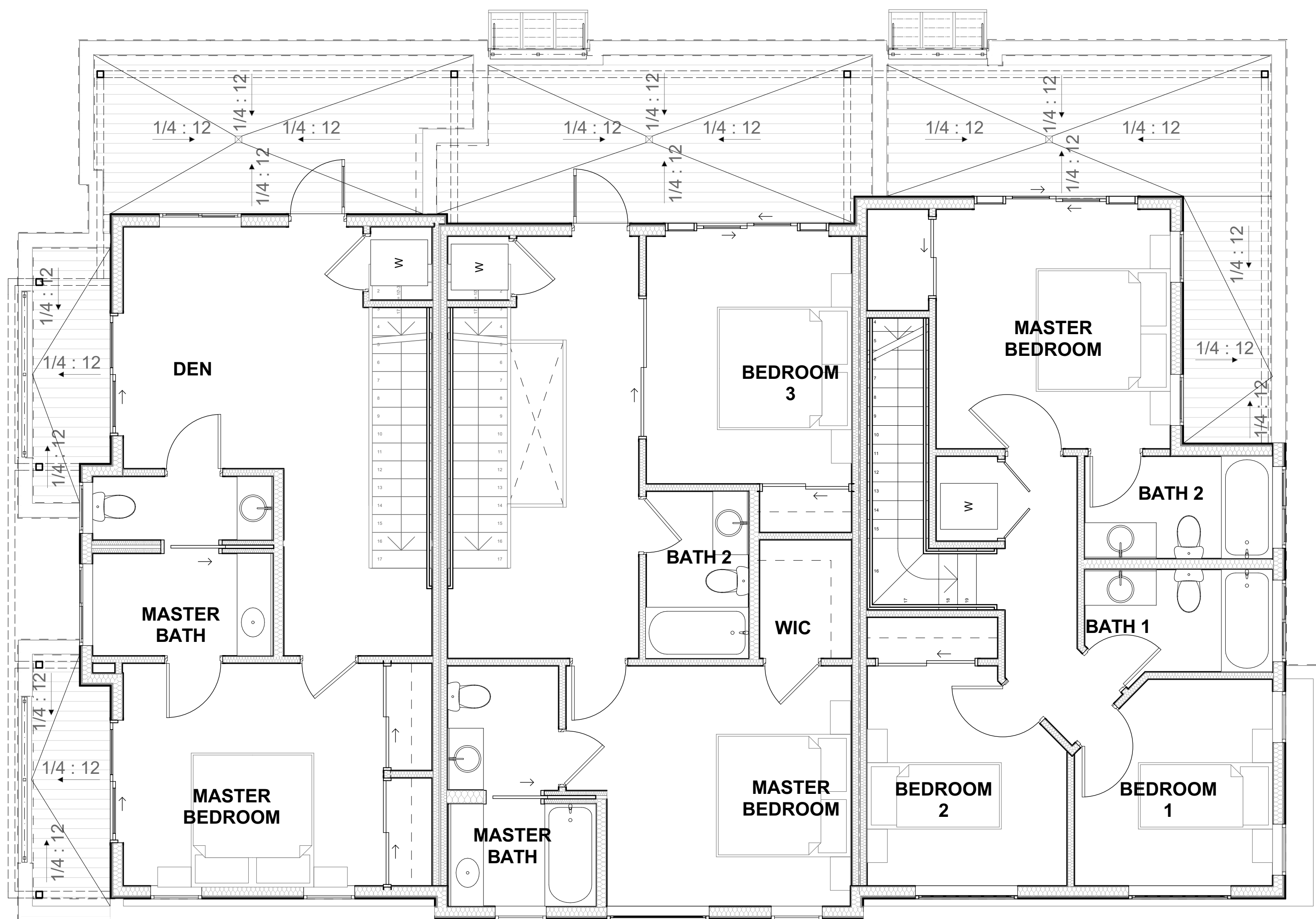
Owner:
Baden Homes, LLC
c/o Rich Kwok

Issue:
DESIGN REVIEW SET

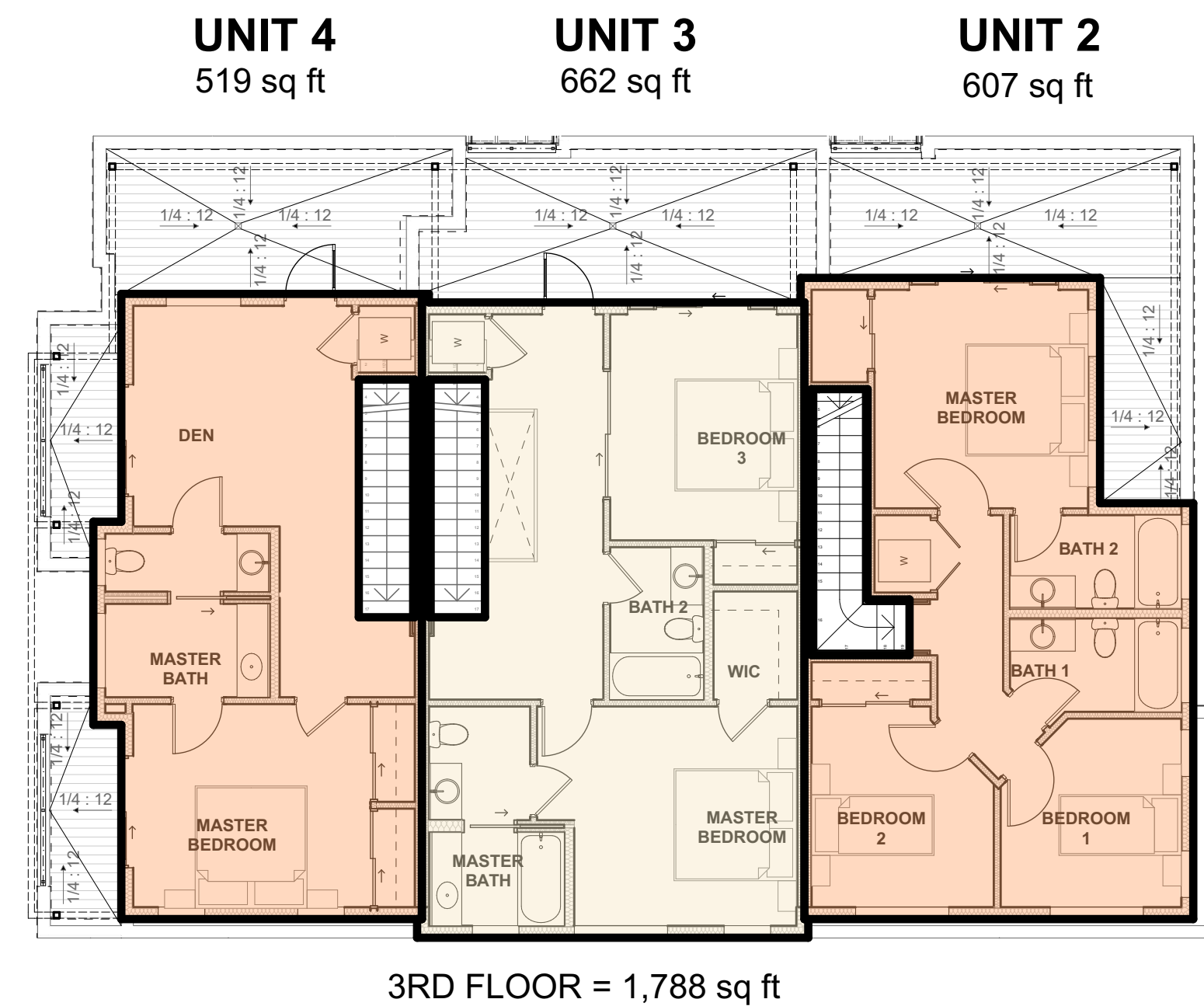
Drawing Title:
Building A - Third Floor Plan

Scale:
Date: 8/26/2020 Drawing Number:
Job Number: 2018_3
A.12
Drawn By: HS

PROPOSED



Building A - Conceptual 3rd Floor Plan
1/4" = 1'-0"



Area Calculations -3rd Level

PLAN KEY NOTES:

- 1 STRUCTURAL ENGINEERING BY OTHERS, SSD.
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ACCESSIBLE PATH OF TRAVEL PER
CHAPTER 11A, CBC. SEE A.05b & C3.1



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05/29/2020 BDLG PERMIT SET CYC1
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08/13/2020 BDLG PERMIT SET CYC3

Project:
Baden Ave Condos

Project Address:
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94080

Owner:
Baden Homes, LLC
c/oRich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
Building A - Third Floor Plan

Scale:

Date: **10/27/2020**

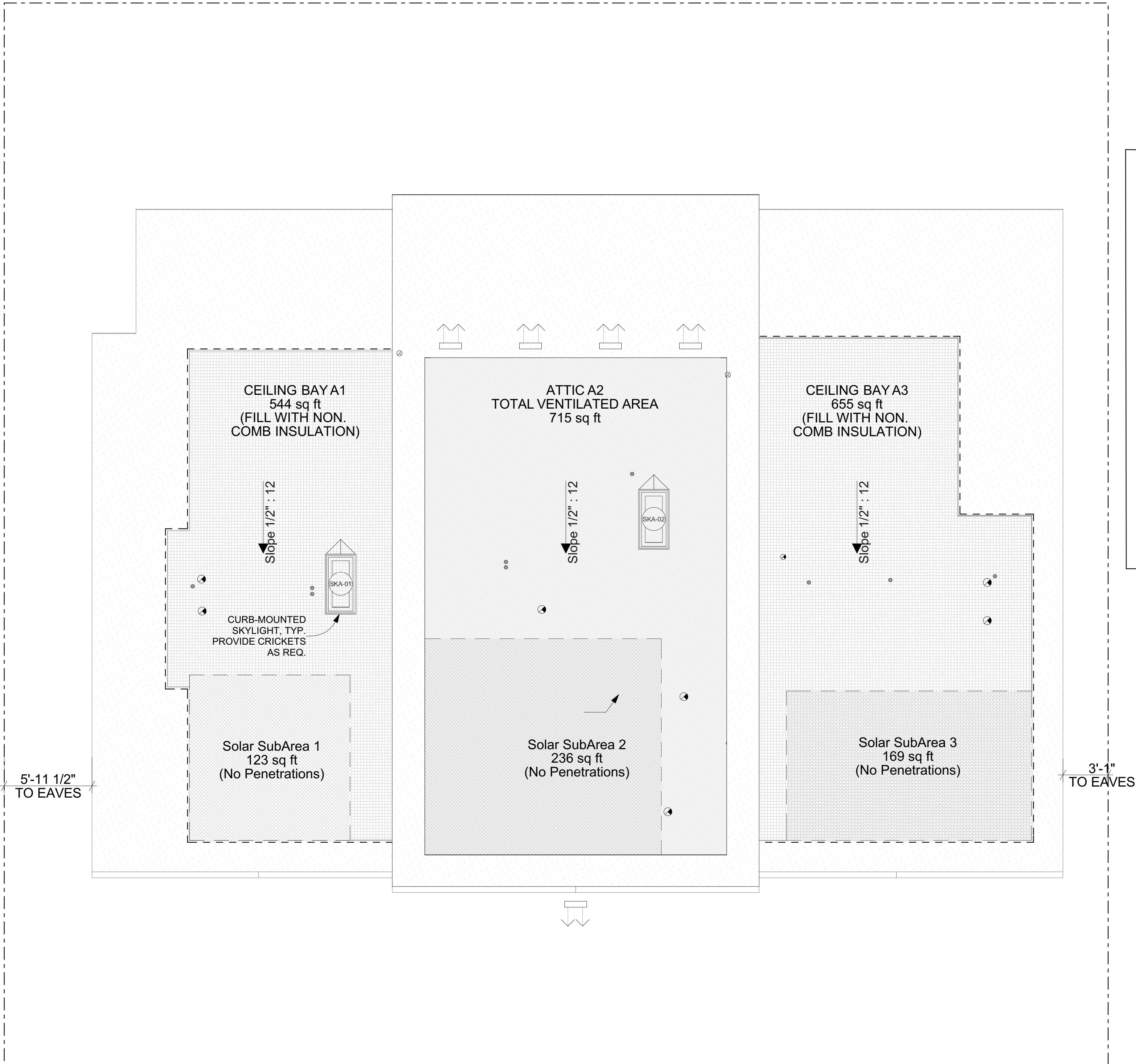
Job Number:
2018_3

Drawn By:
HS

Drawing Number:

A.12x

AS-APPROVED



ATTIC VENTING CALCULATION

ATTIC A2

AREA VENTILATED	=	715 SF ²
RATE	=	1/150
TOTAL REQ. OPEN AREA	=	686 IN ²

VENT TYPE	AREA PER UNIT	COUNT	TOTAL AREA
WALL LOUVER (18X24)	140 IN ² / EA	5	700 IN ²
TOTAL PROVIDED:			700 IN ²

SOLAR - READY ZONE

TOTAL ROOF AREA:	2994.22
TOTAL REQUIRED ZONE (15% ROOF AREA):	200 SF

TOTAL PROVIDED:	529 SF
-----------------	--------

VENTING LEGEND

WIRE SCREEN AT BLOCKING, 2" DIA HOLES

WALL LOUVER (12X24)

MECH PENETRATIONS

PLUMBING VENT STACK, SPD

MECHANICAL ROOF CAP, SMD

COOL ROOF REQUIREMENTS

PROVIDE "COOL ROOF" PER CALIFORNIA TITLE-24, PART 6, FOR LOW-SLOPE ROOFS.

SINGLE-PLY MEMBRANE ROOFING PROVIDES PRESCRIPTIVE CONFORMANCE PATHWAY. SEE 4/A.98b FOR SAMPLE PERFORMANCE SPEC.

ACCEPTABLE MANUFACTURERS INCLUDE: DUROLAST, GAF, JOHN MANSVILLE, & FIBERTITE

COOL ROOF VALUES = 0.77 REFLECTANCE / 0.87 EMITTANCE

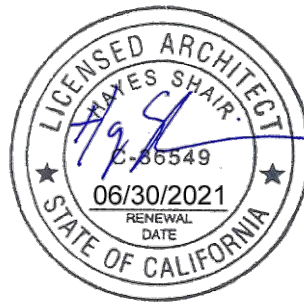


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Stamp:



Revision:

Date:

By:

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08/13/2020 BDLG PERMIT SET CYC3

Project:

Baden Ave Condos

Project Address:

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South San Francisco, CA,
94080

Owner:

Baden Homes, LLC
c/oRich Kwok

Issue:

DESIGN REVIEW SET

Drawing Title:

Building A - Roof Plan

Scale:

Date: 8/26/2020

Job Number: 2018_3

Drawn By: HS

Drawing Number:

A.13

PROPOSED



ATTIC VENTING CALCULATION

ATTICA2

AREA VENTILATED	=	715 SF ²
RATE	=	1/150
TOTAL REQ. OPEN AREA	=	686 IN ²

VENT TYPE	AREA PER UNIT	COUNT	TOTAL AREA
WALL LOUVER (18X24)	140 IN ² / EA	5	700 IN ²
TOTAL PROVIDED:			700 IN ²

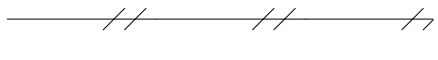
SOLAR - READY ZONE

TOTAL ROOF AREA:	2994.22
TOTAL REQUIRED ZONE (15% ROOF AREA):	200 SF

TOTAL PROVIDED:	529 SF
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VENTING LEGEND

WIRE SCREEN AT BLOCKING, 2" DIA HOLES



WALL LOUVER (12X24)



MECH PENETRATIONS

PLUMBING VENT STACK, SPD



MECHANICAL ROOF CAP, SMD



COOL ROOF REQUIREMENTS

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Issue:

DESIGN REVIEW SET

Drawing Title:

Building A - Roof Plan

Scale:

Date: 10/27/2020

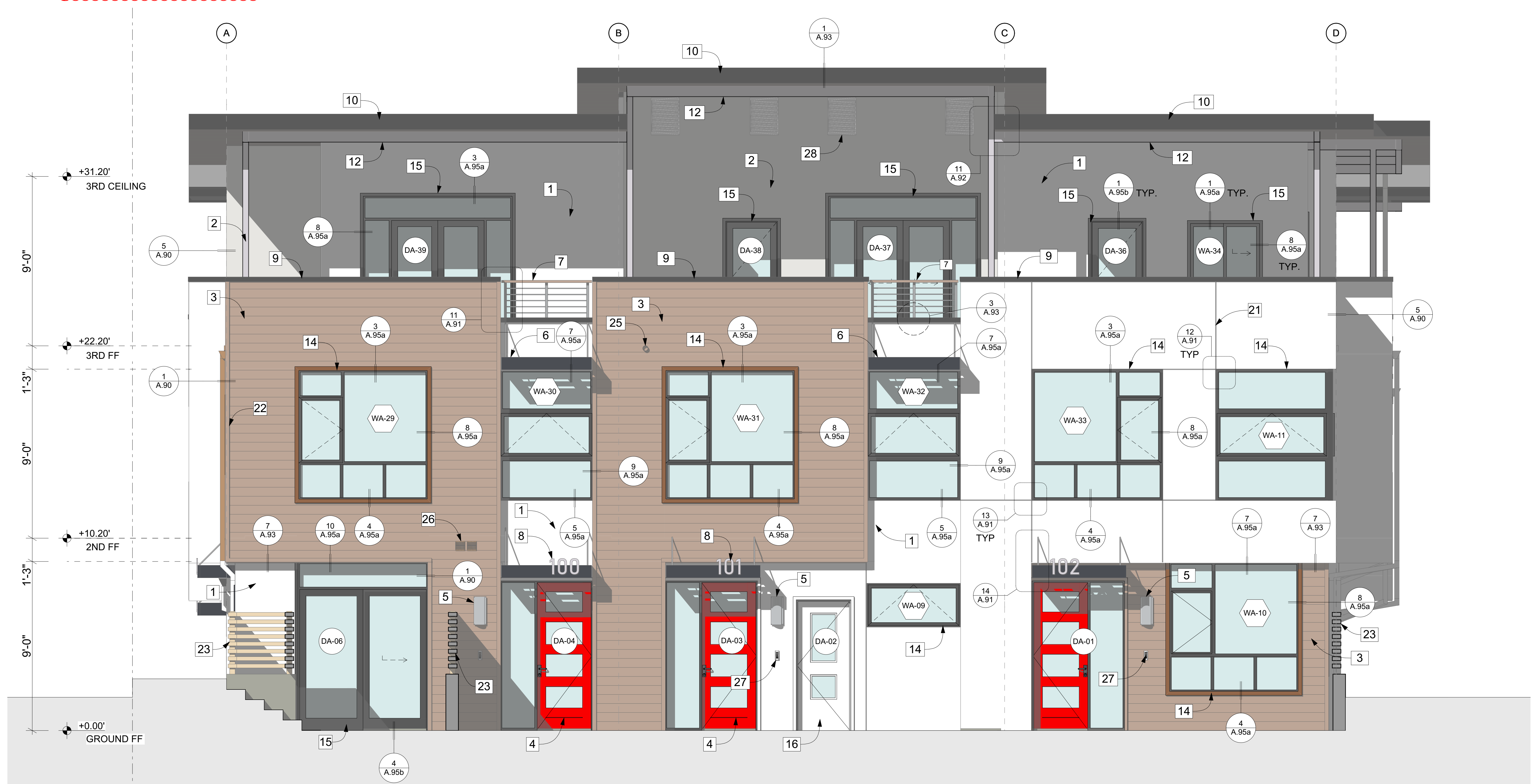
Drawing Number:

Job Number:
2018_3

Drawn By:
HS

A.13x

AS-APPROVED



BLDG A - Front Elevation

ELEVATION KEY NOTES:

- | | | | | | |
|---|------------------------------|----|----------------------------------|----|--|
| 1 | WHITE STUCCO, SAND FLOAT | 8 | ENTRY SUNSHADE W/ UNIT LETTERING | 15 | THIN-PROFILE FIBERGLASS DOORS |
| 2 | BEIGE STUCCO, SAND FLOAT | 9 | PARAPET COPING | 16 | SERVICE DOORS |
| 3 | NATURAL STAINED WOOD SIDING | 10 | EAVE COPING | 17 | GSM GUTTERS |
| 4 | ACCENTED ENTRY DOORS | 11 | SINGLE-MEMBRANE ROOFING | 18 | DOWNSPOUTS TO MATCH WALL COLOR, GSM STRAPS @ 4' O.C. |
| 5 | MODERN STYLE EXTERIOR SCENCE | 12 | EXPOSED STEEL COLUMNS | 19 | NATURAL STAINED WOOD GARAGE DOORS |
| 6 | STEEL SUNSHADE, SEE 4/A.98a | 13 | COVERED CARPORT, SSD | 20 | SKYLIGHTS |
| 7 | STEEL GUARDRAIL, SEE 3/A.98a | 14 | THIN-PROFILE FIBERGLASS WINDOWS | 21 | STUCCO REVEAL SCREED, SEE 11/A.90 |

ELEVATION LEGEND:

- # WINDOW TAG, SEE SCHED.
- # DOOR TAG, SEE SCHED.
- DETAIL KEY



Architect:
Envisuality Group, Inc.
Hayes Shair
2443 Fillmore St. #380-6740
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**Civil Engineer:
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(415) 930-7905**

Landscape Architect:
April Philips
April Philips Design
Works, Inc.
819 Fifth Avenue
San Rafael, CA 94901
(415) 457-2774

tamp:



Revision: _____
Date: _____ By: _____

05/29/2020 BDLG PERMIT SET CYC1

07/02/2020 BLDG PERMIT SET CYC2

08/13/2020 BDLG PERMIT SET CYC3

Baden Ave Condos

Project Address:

**645 Baden Ave
South San Francisco, CA,
94080**

Baden Homes, LLC
c/o Rich Kwok

Sue:

DESIGN REVIEW SET

Enlarged Elevations -
Building A

scale:

ate: **8/26/2020**

Drawing
lumber

Job Nu

A.30

PROPOSED



BLDG A - Front Elevation

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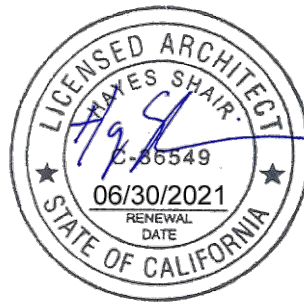


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