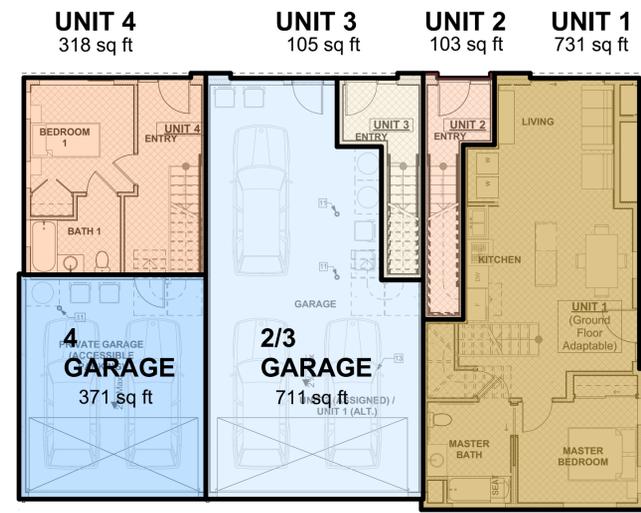
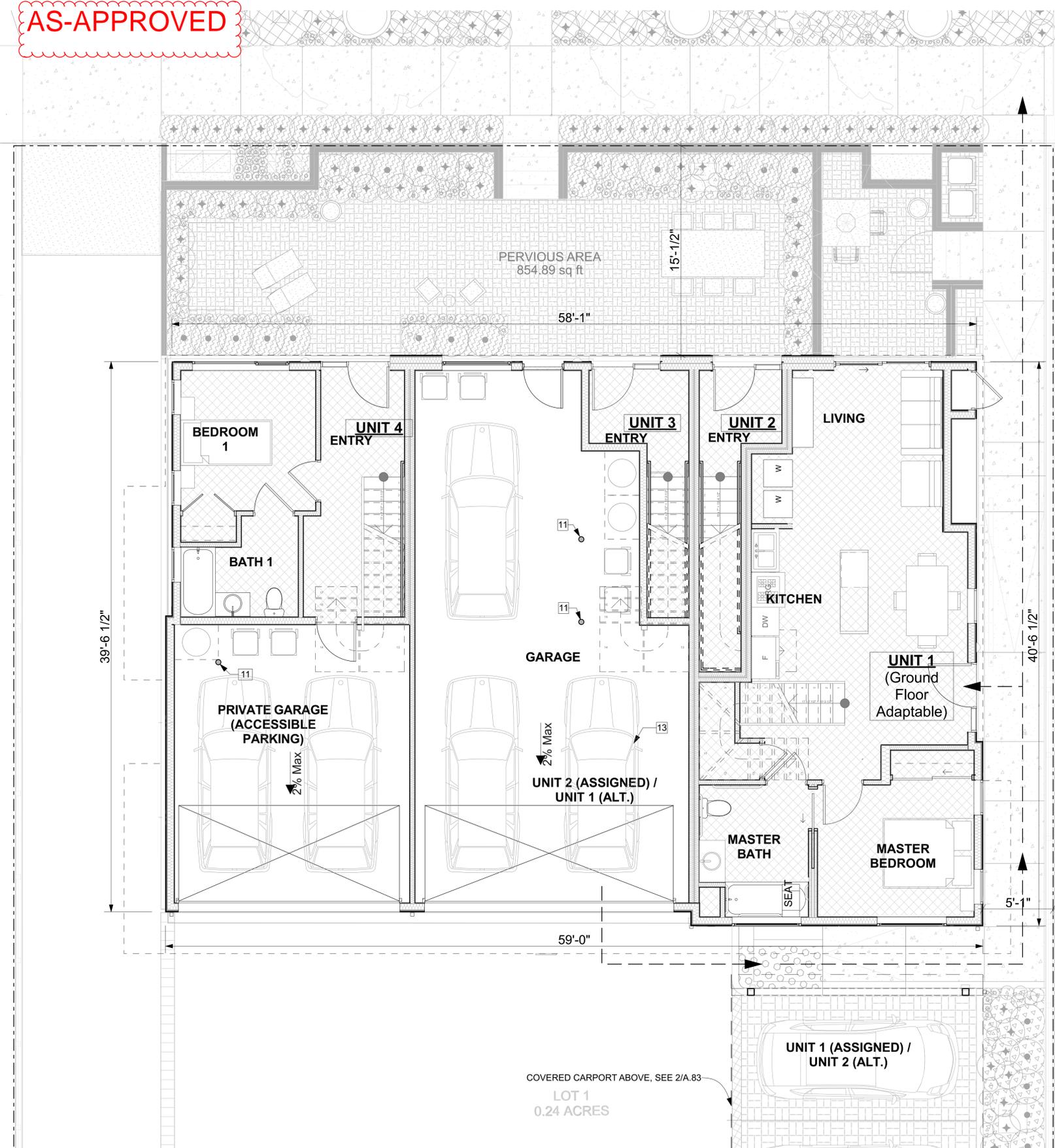


AS-APPROVED



GROUND FLOOR = 2,339 sq ft GSF

Area Calcs - Ground Floor

2

PLAN KEY NOTES:

- 1 STRUCTURAL ENGINEERING BY OTHERS, SSD.
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- 5 MIN. 30 X 30 ATTIC ACCESS.
- 6 MINIMUM 36" DEEP LANDING AT ALL EXTERIOR DOORS
- 7 FOR DOORS ON OCCUPANCY SEPARATIONS, PROVIDE MINIMUM 1-3/8" THICK SOLID CORE DOOR WITH SELF-CLOSING, SELF-LATCHING DOOR (W/ FIRE RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO ASTM E 2014
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- 9 PROVIDE VAPOR RETARDER UNDER SLAB AT ALL OCCUPIED AREAS. SEE HATCH
- 10 UNITS LABELED AS "GROUND FLOOR ADAPTABLE" SHALL CONFORM TO CBC 1102A.3.1.
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- 12 SECONDARY DRAINAGE SCUPPER W/ THROUGHWALL FLASHING
- 13 ALTERNATIVE PARKING ASSIGNMENT FOR GROUND FLOOR ADAPTABLE UNITS, TO BE RE-ASSIGNED VIA SPECIFIC REQUEST FOR ACCESSIBLE PARKING, PER CBC 1109A.6.

---> ACCESSIBLE PATH OF TRAVEL PER CHAPTER 11A, CBC. SEE A.05b & C3.1



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Landscape Architect:
April Phillips
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 Works, Inc.
 819 Fifth Avenue
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Stamp:



Revision:
 Date: 05/29/2020 BDLG PERMIT SET CYC1
 07/02/2020 BLDG PERMIT SET CYC2
 08/13/2020 BDLG PERMIT SET CYC3

Project:
Baden Ave Condos

Project Address:
645 Baden Ave
 South San Francisco, CA,
 94080

Owner:
Baden Homes, LLC
 c/o Rich Kwok

Issue:
DESIGN REVIEW SET

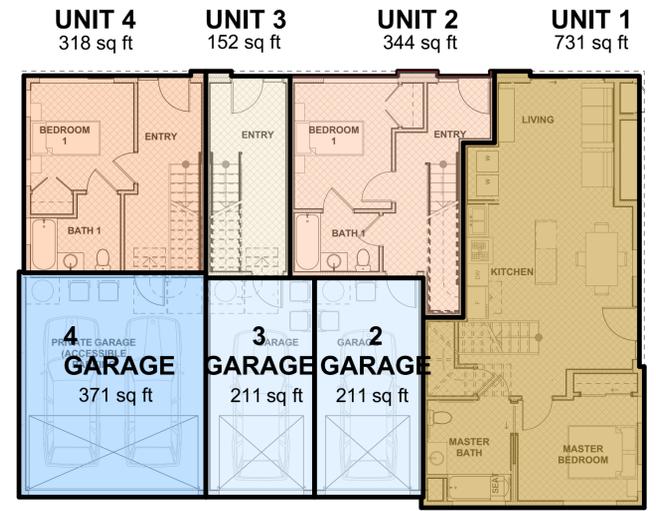
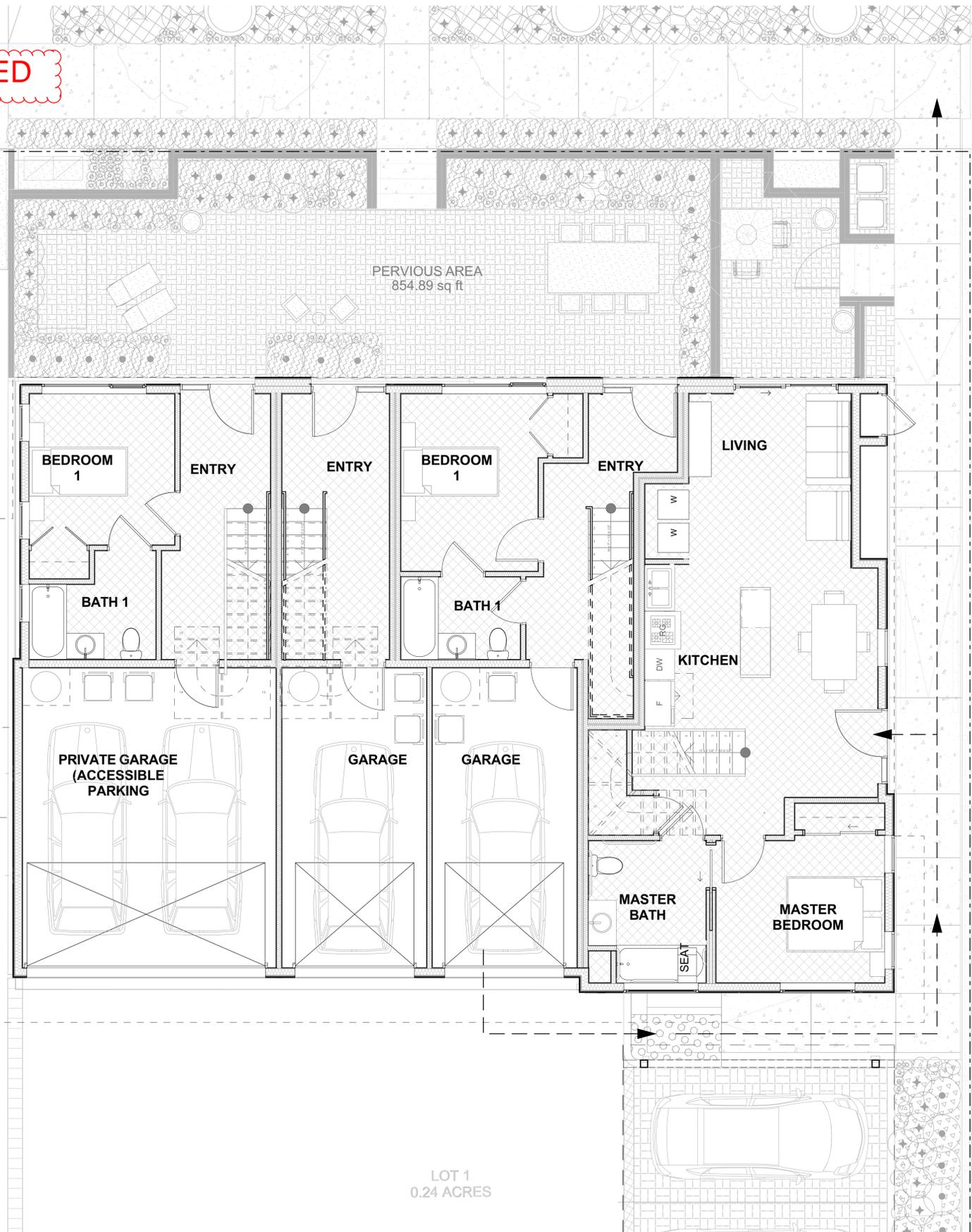
Drawing Title:
Building A - Ground Floor Plans

Scale:
 Date: 8/26/2020 Drawing Number:
 Job Number: 2018_3
 Drawn By: HS
A.10

1

Building A - Conceptual Ground Floor Plan
 1/4" = 1'-0"

PROPOSED



GROUND FLOOR = 2,339 sq ft GSF

2 - Area Calcs - Ground Floor

PLAN KEY NOTES:

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---> ACCESSIBLE PATH OF TRAVEL PER CHAPTER 11A, CBC. SEE A.05b & C3.1



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Project:
Baden Ave Condos

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Owner:
Baden Homes, LLC
 c/o Rich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
Building A - Ground Floor Plans

Scale:
 Date: **10/28/2020** Drawing Number:
 Job Number: **2018_3** **A.10x**
 Drawn By: HS

1 -

Building A - Conceptual Ground Floor Plan
 1/4" = 1'-0"

AS-APPROVED



2ND FLOOR = 2,398 sq ft GSF

2 - Area Calculations -2nd Level

PLAN KEY NOTES:

- 1 STRUCTURAL ENGINEERING BY OTHERS, SSD.
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ACCESSIBLE PATH OF TRAVEL PER CHAPTER 11A, CBC. SEE A.05b & C3.1



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 94080

Owner:
Baden Homes, LLC
 c/o Rich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
**Building A - Second
 Floor Plan**

Scale:
 Date: 8/26/2020 Drawing Number:
 Job Number: 2018_3
 Drawn By: HS

A.11

1

Building A - Conceptual 2nd Floor Plan
 1/4" = 1'-0"

PROPOSED



Architect:
Envisuality Group, Inc.
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 San Francisco, CA, 94115
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Landscape Architect:
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2ND FLOOR = 2,398 sq ft GSF

UNIT 1
375 sq ft



2

Area Calculations -2nd Level

PLAN KEY NOTES:

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--- - - - -> ACCESSIBLE PATH OF TRAVEL PER CHAPTER 11A, CBC. SEE A.05b & C3.1

1

Building A - Conceptual 2nd Floor Plan
 1/4" = 1'-0"

Stamp:



Revision:

- | | |
|------------|----------------------|
| Date: | By: |
| 05/29/2020 | BDLG PERMIT SET CYC1 |
| 07/02/2020 | BDLG PERMIT SET CYC2 |
| 08/13/2020 | BDLG PERMIT SET CYC3 |

Project:

Baden Ave Condos

Project Address:

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 South San Francisco, CA,
 94080

Owner:

Baden Homes, LLC
 c/o Rich Kwok

Issue:

DESIGN REVIEW SET

Drawing Title:

**Building A - Second
 Floor Plan**

Scale:

Date: 10/27/2020

Drawing Number:

Job Number:

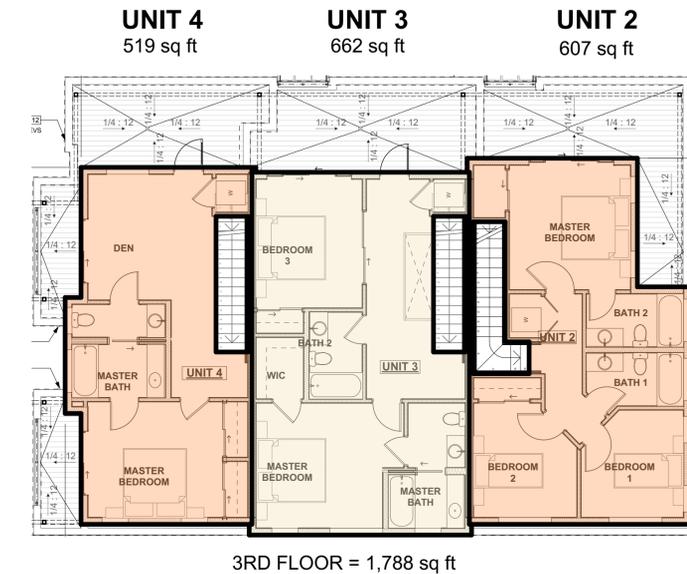
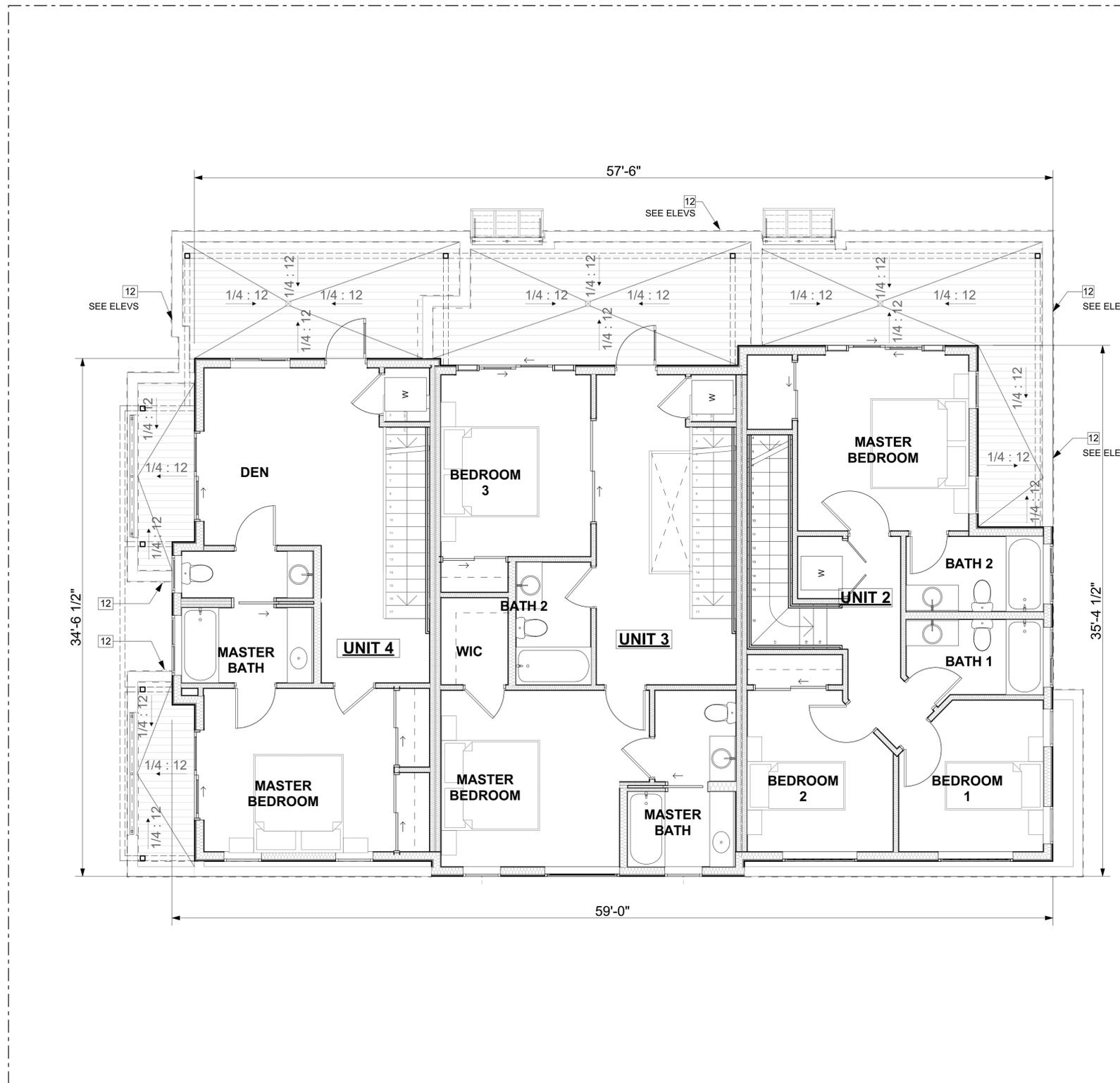
2018_3

Drawn By:

HS

A.11x

AS-APPROVED



Area Calculations -3rd Level

PLAN KEY NOTES:

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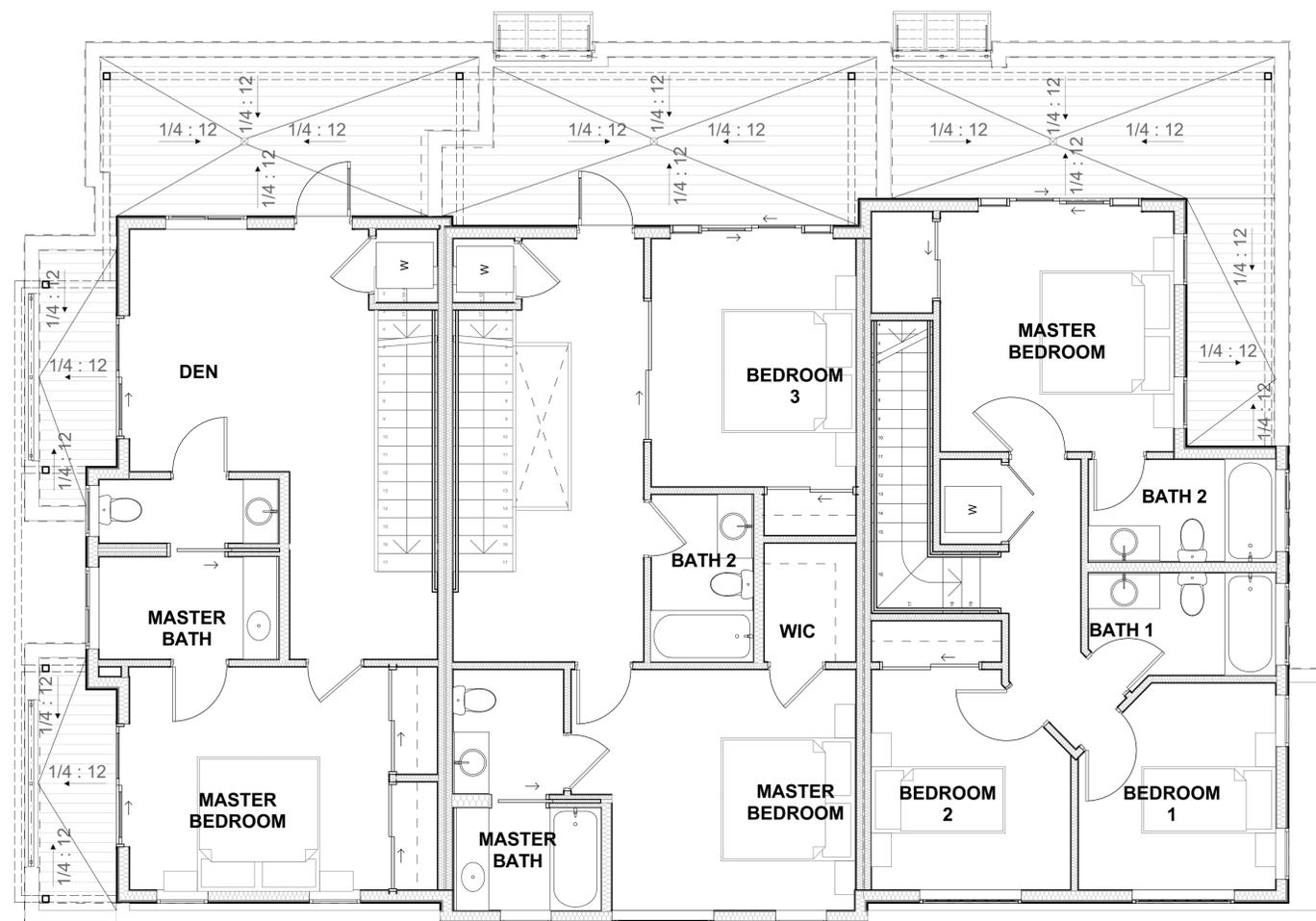
Owner:
Baden Homes, LLC
 c/o Rich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
Building A - Third Floor Plan

Scale:
 Date: 8/26/2020 Drawing Number:
 Job Number: 2018_3
 Drawn By: HS
A.12

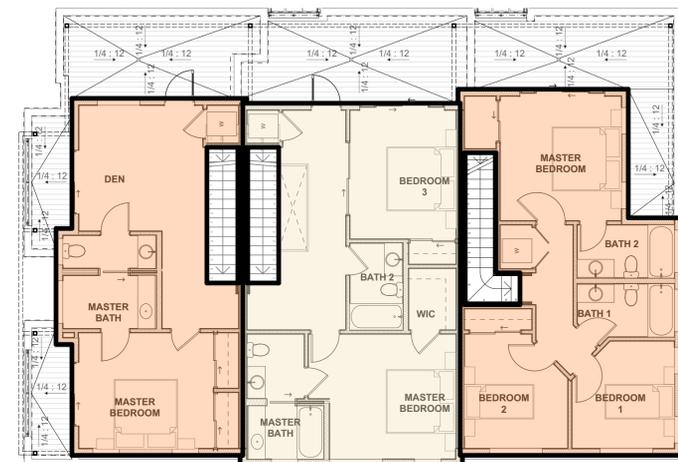
PROPOSED



UNIT 4
519 sq ft

UNIT 3
662 sq ft

UNIT 2
607 sq ft



3RD FLOOR = 1,788 sq ft

3 - Area Calculations -3rd Level

PLAN KEY NOTES:

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By:
07/02/2020 BLDG PERMIT SET CYC2
08/13/2020 BDLG PERMIT SET CYC3

Project:

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Project Address:

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South San Francisco, CA,
94080

Owner:

Baden Homes, LLC
c/o Rich Kwok

Issue:

DESIGN REVIEW SET

Drawing Title:

**Building A - Third Floor
Plan**

Scale:

Date: 10/27/2020

Job Number: 2018_3

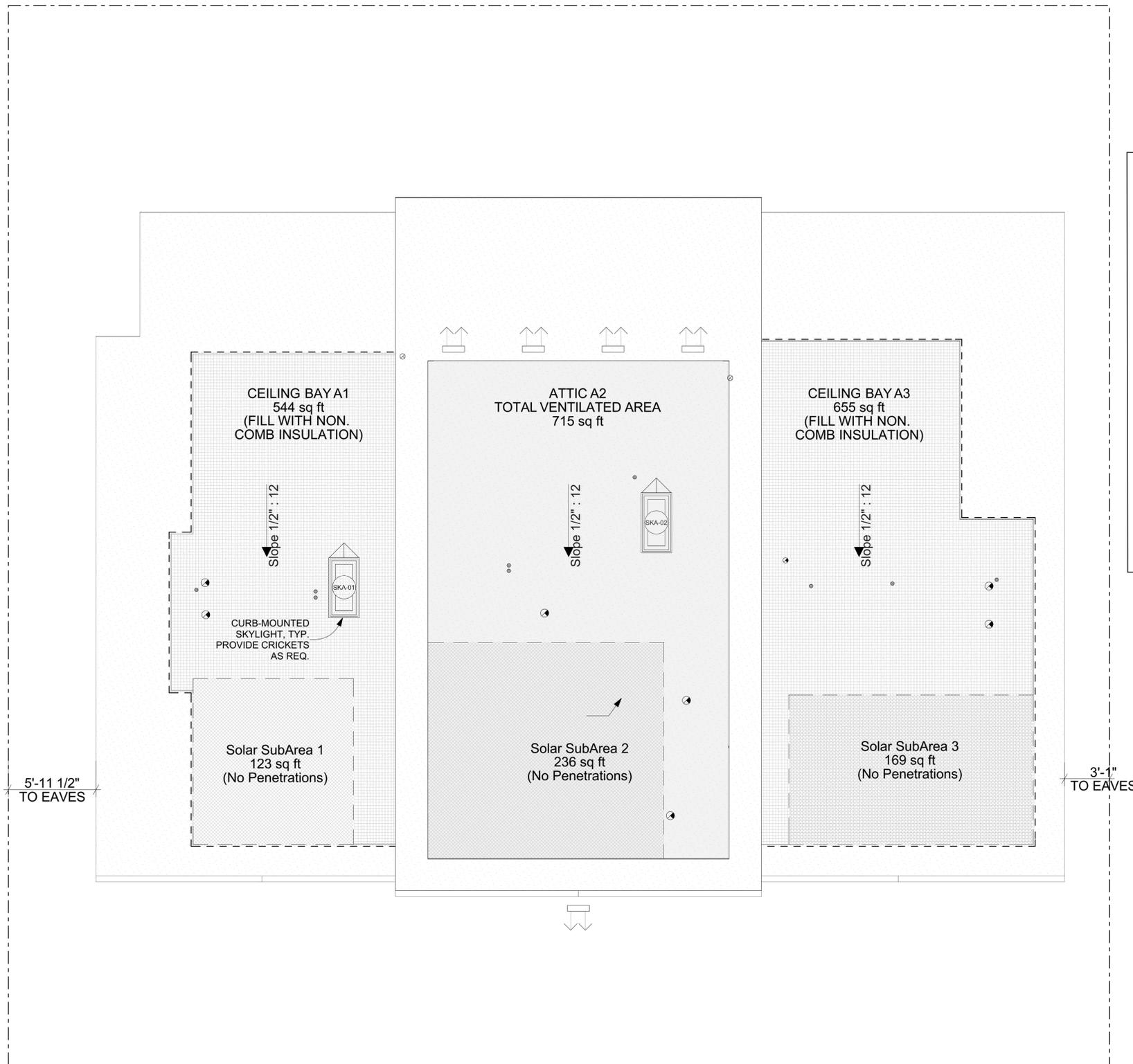
Drawn By: HS

A.12x

1

Building A - Conceptual 3rd Floor Plan
1/4" = 1'-0"

AS-APPROVED



Building A - Conceptual Roof Level Plan
1/4" = 1'-0"

ATTIC VENTING CALCULATION

ATTIC A2

AREA VENTILATED = 715 SF²
 RATE = 1/150
 TOTAL REQ. OPEN AREA = 686 IN²

VENT TYPE	AREA PER UNIT	COUNT	TOTAL AREA
WALL LOUVER (18X24)	140 IN ² / EA	5	700 IN ²
TOTAL PROVIDED:			700 IN²

SOLAR - READY ZONE

TOTAL ROOF AREA: 2994.22
 TOTAL REQUIRED ZONE (15% ROOF AREA): 200 SF

TOTAL PROVIDED: 529 SF

VENTING LEGEND

WIRE SCREEN AT BLOCKING, 2" DIA HOLES

WALL LOUVER (12X24)

MECH PENETRATIONS

PLUMBING VENT STACK, SPD

MECHANICAL ROOF CAP, SMD

COOL ROOF REQUIREMENTS

PROVIDE "COOL ROOF" PER CALIFORNIA TITLE-24, PART 6, FOR LOW-SLOPE ROOFS.

SINGLE-PLY MEMBRANE ROOFING PROVIDES PRESCRIPTIVE CONFORMANCE PATHWAY. SEE 4/A.98b FOR SAMPLE PERFORMANCE SPEC.

ACCEPTABLE MANUFACTURERS INCLUDE: DUROLAST, GAF, JOHN MANSVILLE, & FIBERTITE

COOL ROOF VALUES = 0.77 REFLECTANCE / 0.87 EMITTANCE



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 c/o Rich Kwok

Issue:

DESIGN REVIEW SET

Drawing Title:

Building A - Roof Plan

Scale:

Date: 8/26/2020

Drawing Number:

Job Number:
 2018_3

A.13

Drawn By:
 HS

PROPOSED



ATTIC VENTING CALCULATION

ATTIC A2			
AREA VENTILATED	=	715 SF ²	
RATE	=	1/150	
TOTAL REQ. OPEN AREA	=	686 IN ²	
VENT TYPE	AREA PER UNIT	COUNT	TOTAL AREA
WALL LOUVER (18X24)	140 IN ² / EA	5	700 IN ²
TOTAL PROVIDED:			700 IN²
SOLAR - READY ZONE			
TOTAL ROOF AREA:		2994.22	
TOTAL REQUIRED ZONE (15% ROOF AREA):		200 SF	
TOTAL PROVIDED:			529 SF

VENTING LEGEND

WIRE SCREEN AT BLOCKING, 2" DIA HOLES 

WALL LOUVER (12X24) 

MECH PENETRATIONS

PLUMBING VENT STACK, SPD 

MECHANICAL ROOF CAP, SMD 

COOL ROOF REQUIREMENTS

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c/oRich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
Building A - Roof Plan

Scale:

Date: **10/27/2020**

Drawing Number:

Job Number:
2018_3

A.13x

Drawn By:
 HS

AS-APPROVED



BLDG A - Front Elevation

ELEVATION KEY NOTES:

- | | | |
|--------------------------------|------------------------------------|---|
| 1 WHITE STUCCO, SAND FLOAT | 8 ENTRY SUNSHADE W/ UNIT LETTERING | 15 THIN-PROFILE FIBERGLASS DOORS |
| 2 BEIGE STUCCO, SAND FLOAT | 9 PARAPET COPING | 16 SERVICE DOORS |
| 3 NATURAL STAINED WOOD SIDING | 10 EAVE COPING | 17 GSM GUTTERS |
| 4 ACCENTED ENTRY DOORS | 11 SINGLE-MEMBRANE ROOFING | 18 DOWNSPOUTS TO MATCH WALL COLOR, GSM STRAPS @ 4' O.C. |
| 5 MODERN STYLE EXTERIOR SCONCE | 12 EXPOSED STEEL COLUMNS | 19 NATURAL STAINED WOOD GARAGE DOORS |
| 6 STEEL SUNSHADE, SEE 4/A.98a | 13 COVERED CARPORT, SSD | 20 SKYLIGHTS |
| 7 STEEL GUARDRAIL, SEE 3/A.98a | 14 THIN-PROFILE FIBERGLASS WINDOWS | 21 STUCCO REVEAL SCREED, SEE 11/A.90 |

ELEVATION LEGEND:

- # WINDOW TAG, SEE SCHED.
- # DOOR TAG, SEE SCHED.
- DETAIL KEY



Architect:
Envisuality Group, Inc.
 Hayes Shair
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Landscape Architect:
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 April Phillips Design
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Stamp:



Revision:
 Date: 05/29/2020 BDLG PERMIT SET CYC1
 07/02/2020 BDLG PERMIT SET CYC2
 08/13/2020 BDLG PERMIT SET CYC3

Project:
Baden Ave Condos

Project Address:
645 Baden Ave
South San Francisco, CA,
94080

Owner:
Baden Homes, LLC
c/o Rich Kwok

Issue:
DESIGN REVIEW SET

Drawing Title:
Enlarged Elevations -
Building A

Scale:
 Date: 8/26/2020 Drawing Number:
 Job Number: 2018_3
 Drawn By: HS
A.30

PROPOSED



Architect:
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Issue:
DESIGN REVIEW SET

Drawing Title:
**Enlarged Elevations -
 Building A**

Scale:
 Date: **10/27/2020** Drawing Number:
 Job Number: **2018_3** **A.30x**
 Drawn By: HS

1

BLDG A - Front Elevation

ELEVATION KEY NOTES:

- | | | |
|--------------------------------|------------------------------------|---|
| 1 WHITE STUCCO, SAND FLOAT | 8 ENTRY SUNSHADE W/ UNIT LETTERING | 15 THIN-PROFILE FIBERGLASS DOORS |
| 2 BEIGE STUCCO, SAND FLOAT | 9 PARAPET COPING | 16 SERVICE DOORS |
| 3 NATURAL STAINED WOOD SIDING | 10 EAVE COPING | 17 GSM GUTTERS |
| 4 ACCENTED ENTRY DOORS | 11 SINGLE-MEMBRANE ROOFING | 18 DOWNSPOUTS TO MATCH WALL COLOR, GSM STRAPS @ 4' O.C. |
| 5 MODERN STYLE EXTERIOR SCONCE | 12 EXPOSED STEEL COLUMNS | 19 NATURAL STAINED WOOD GARAGE DOORS |
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ELEVATION LEGEND:

- # WINDOW TAG, SEE SCHED.
- # DOOR TAG, SEE SCHED.
- DETAIL KEY

- | | |
|---|-----------------------|
| 22 WOOD TRIM, STAINED TO MATCH SIDING, SEE 1/A.90 & 7/A.93. | 28 ATTIC VENT (12X24) |
| 23 EXTERIOR RAILING, SLD | |
| 24 RAINWATER COLLECTOR W/ THROUGHWALL FLASHING | |
| 25 SECONDARY DRAINAGE SCUPPER W/ THROUGHWALL FLASHING | |
| 26 WALL EXHAUST LOUVER, SMD | |
| 27 DOORBELL, MOUNT AT 48" AFF, UON | |