

# Orange Memorial Park Aquatic Center

Budget Sub-Committee  
Tuesday, September 28, 2021



# BACKGROUND

## Pool Feasibility Study 2017

### Scenarios

A -Renovate the Existing Facility: \$10,522,275 (2017)

B -Construct a Separate New Warm Pool Facility: \$21,380,835 (2017)

C -Construct a New Two-Pool Facility: \$22,363,600 (2017)

## April 2021 - Budget Sub Committee Presentation

Construct a New Two-Pool Facility: \$22,363,600 (2017)

## Explore Alternative Pool Location

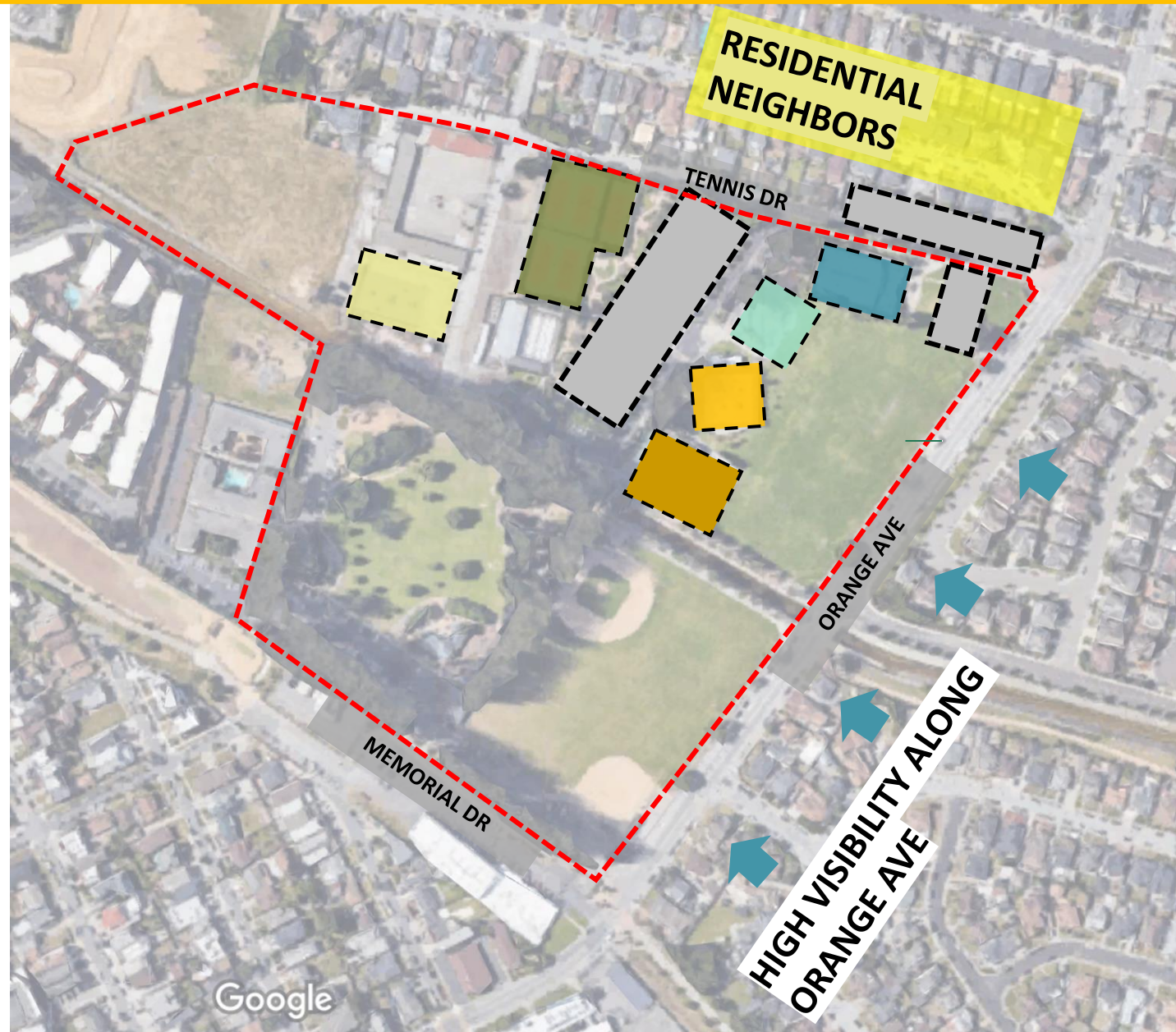
Group4 Architects





# GROUP 4 ARCHITECTURE RESEARCH + PLANNING



Prepare a focused Feasibility Study to explore alternative locations for the Orange Memorial Park Swimming Pool Facility

# SITE PLAN



-  Site Boundary
-  Parking Lots
-  Existing Orange Pool
-  Playground
-  Basketball Courts
-  Recreation Building
-  Tennis Courts
-  Skate Park



# SITE OPTIONS



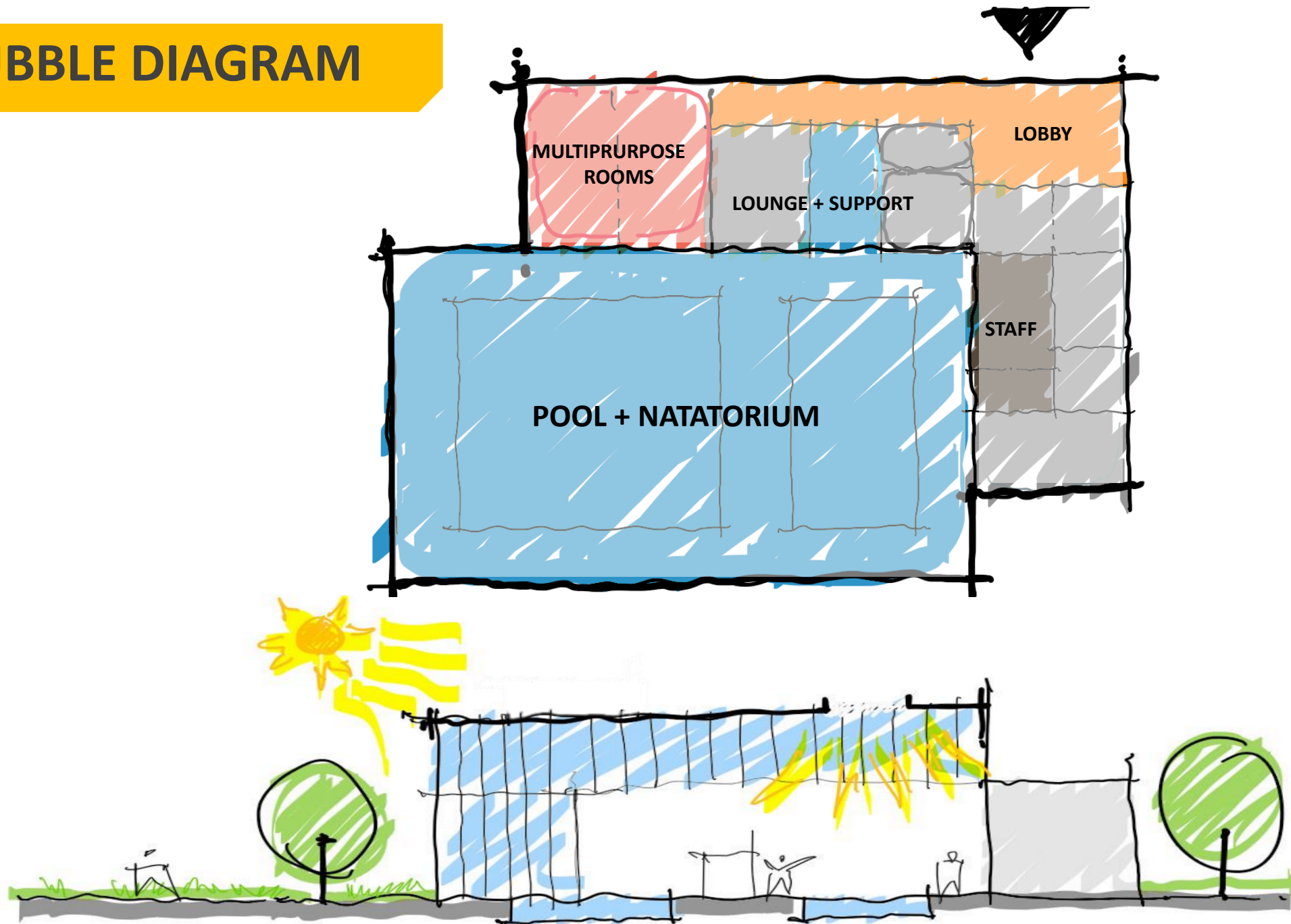
- E** Current location
- 1** Tennis / Orange
- 2** Existing Playground
- 3** North End of Parking Lot
- 4** South End of Parking Lot
- 5** Artists' Studios
- 6** Mazzanti Property

# EVALUATION CRITERIA

								
		CURRENT LOCATION	TENNIS / ORANGE	EXISTING PLAYGROUND	NORTH PARKING LOT	SOUTH PARKING LOT	EXIST ARTIST STUDIO	MAZZANTI PROPERTY
FACILITY	OPERATIONS	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
	SYNERGY	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
	FLEXIBILITY	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
SITE	VISIBILITY	— ○ +	— ○ ++	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
	PLACEMAKING	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
	ACCESS	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
	PARKING	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
	COMMUNITY IMPACT	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
	SITE SOLAR ORIENTATION	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
	FIT/ UTILIZATION	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +	— ○ +
OTHER	COMMENTS			Factor in expense of replacing playground in a new location	Takes away parking and needs to be placed at another location	Takes away parking and needs to be placed at another location		

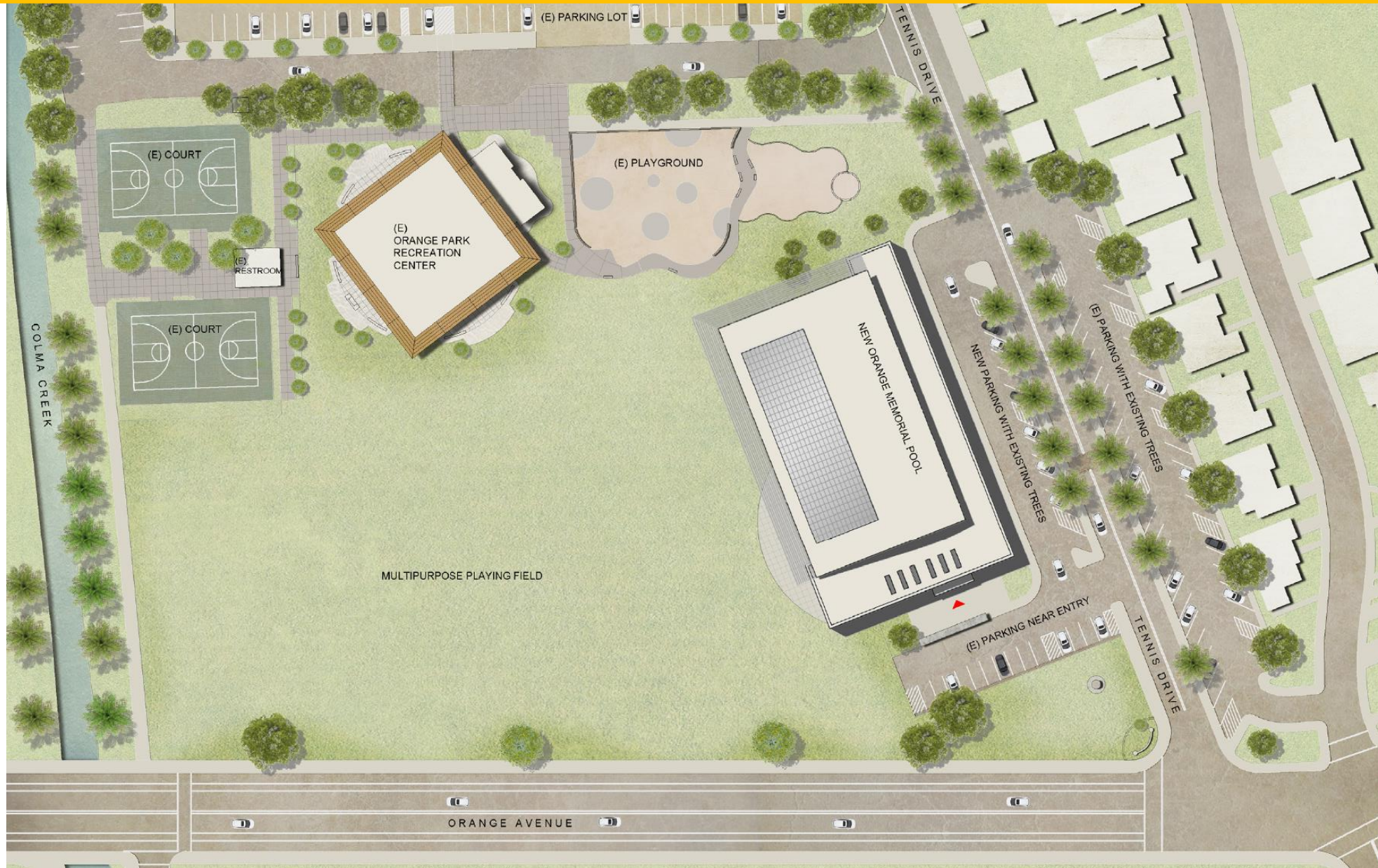


# BUBBLE DIAGRAM





# 2017 STUDY





# PREFERRED SITE OPTION: FINAL PHASE - ROOF





# 2021 SITE OPTION





## PREFERRED OPTION: ADDITIONAL CONSIDERATIONS

- Create landmark, strengthen civic presence
- Synergy between park buildings and elements
- Relocation of sculpture and memorial
- Minimal disruption to operations anticipated, phased construction will allow existing pool to remain operational during construction of new facility with minimal closure due to move, commissioning and training

# PRECEDENT IMAGES





# PRECEDENT IMAGES





# PRECEDENT IMAGES





# SCHEDULE

## Overall Project Schedule

Programming and Planning	July 2021 – March 2022
Design	April – December 2022
Bid	January – March 2023
Construction	April 2023 – September 2021
Close-Out	October – December 2024

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## Programming and Planning Schedule

Budget Sub-Committee	September 2021
City Council Study Session	October 2021
Selection of Architect	November – December 2021
Preliminary Design & Outreach	January – March 2022

# PROJECT BUDGET

<b>Orange Pool Building (28,500 SF) Hard Costs</b> (Includes demolition, furniture, fixtures, equipment, signage, technology)	\$18,316,980
<b>Hard Costs Contingency</b>	\$2,683,020
<b>Site Costs</b> (Includes site preparation, hardscape and landscape, parking)	\$1,526,250
<b>Site Costs Contingency</b>	\$273,750
<b>Soft Costs</b>	\$7,500,000
<b>Project Budget</b> (08/2021)	\$30,300,000
<b>Total Project Budget</b>	<b>\$33,756,000*</b>

\* Similar construction budget for new building at existing site or corner of Tennis/Orange Ave



# PARK IMPACT FEE & PROJECT COSTS

- **Mitigation Fee Act → Parks Impact Fees**
- **Total Parks Impact Fee Available (6/30/21) = \$5.73 million**
  - Parks Construction = \$5.17 million
  - Parks Acquisition = \$0.56 million

- **5-Year Forecast for Parks Impact Fees**

Fiscal Year	Estimated Park Impact Fee
21-22	\$ 4,278,364
22-23	\$ 3,664,986
23-24	\$ 3,640,800
24-25	\$ 4,701,362
25-26	\$ 7,322,383

- **Projected \$29.3 million by June 30, 2026**
- **Subject to Development Risk**

# PROJECT COSTS AND CONSIDERATIONS

- **Sports Field Project**
  - Considerations
    - Projected Cost = \$14 million
    - Timing = Project Completion by Summer/Fall 2023
- **Orange Memorial Aquatic Center**
  - Considerations
    - Projected Cost = \$34 million
    - Timing = Project Completion by Fall/Winter 2024
- **Sports Field + Aquatic Center**
  - Total Cost = \$48 Million
  - Funding Recommendations
    - Measure W Lease Revenue Bonds (\$41 million)
    - Parks Impact Fee (\$5.3 million)
    - Caltrans Grant (\$1.7 million)



# OVERVIEW OF MEASURE W

- Voters approved Measure W ½ cent Sales Tax in 2015
- Measure W revenues and expenditures outside of General Fund

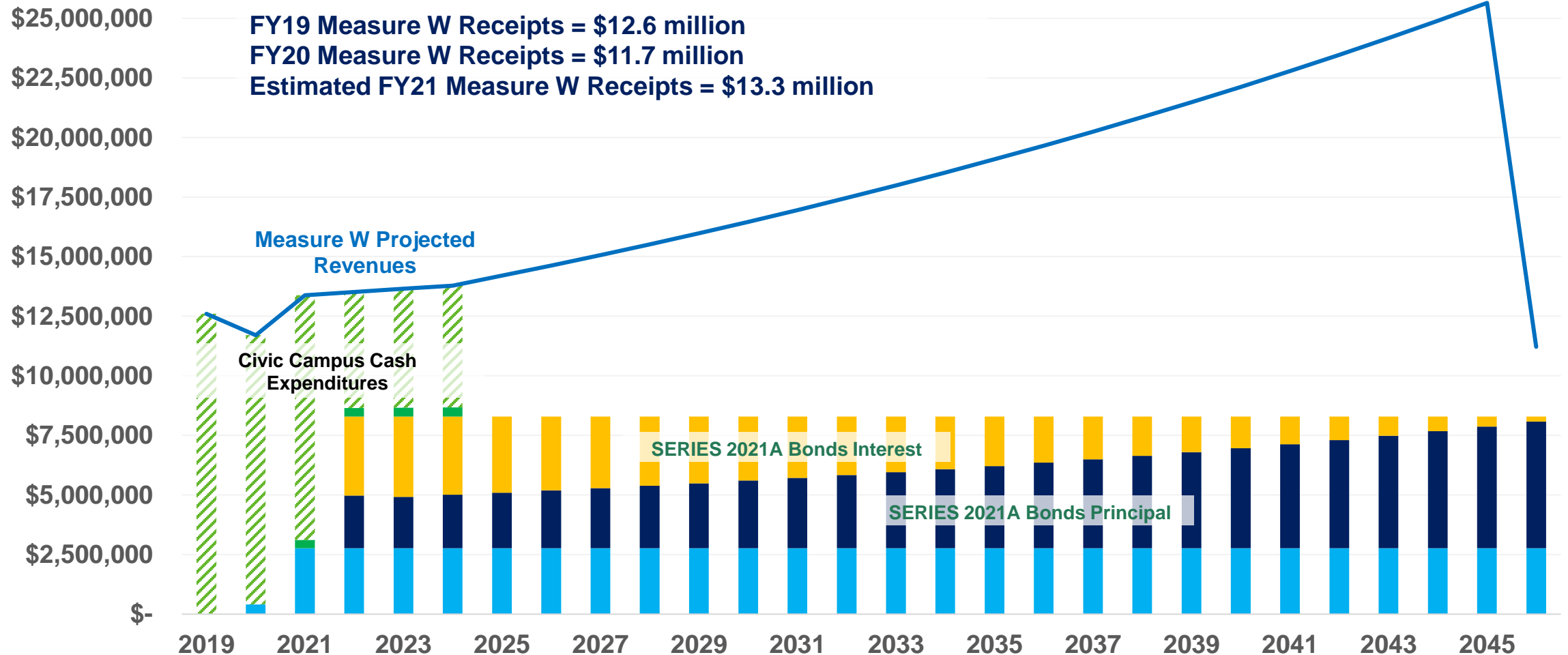
Fiscal Year Ended	6/30/2016	6/30/2017	6/30/2018	6/30/2019	6/30/2020	6/30/2021
<b>REVENUES</b>	<b>\$1,493,425</b>	<b>\$8,886,653</b>	<b>\$11,162,238</b>	<b>\$12,644,947</b>	<b>\$11,704,090</b>	<b>\$13,379,292</b>
<b>EXPENDITURES</b>						
Civic Campus	211,992	382,776	4,925,872	8,793,377	10,255,536	16,440,209
Street Paving Program	-	495,162	4,122,270	1,189,851	127,882	949,678
Debt Service	-	-	-	-	407,156	2,767,200
Payroll	-	-	-	-	-	267,867
<b>TOTAL EXPENDITURES</b>	<b>\$211,992</b>	<b>\$877,938</b>	<b>\$9,048,241</b>	<b>\$9,983,229</b>	<b>\$10,790,573</b>	<b>\$20,424,954</b>
<b>Revenues Less Expenditures</b>	<b>\$1,281,433</b>	<b>\$8,008,716</b>	<b>\$2,113,996</b>	<b>\$2,661,719</b>	<b>\$913,518</b>	<b>-\$7,045,662</b>
<b>FUND BALANCE</b>	<b>\$1,281,433</b>	<b>\$9,290,149</b>	<b>\$11,404,145</b>	<b>\$14,065,864</b>	<b>\$14,979,381</b>	<b>\$7,933,719</b>

# MEASURE W FUND MONTHLY REVENUE COMPARISON

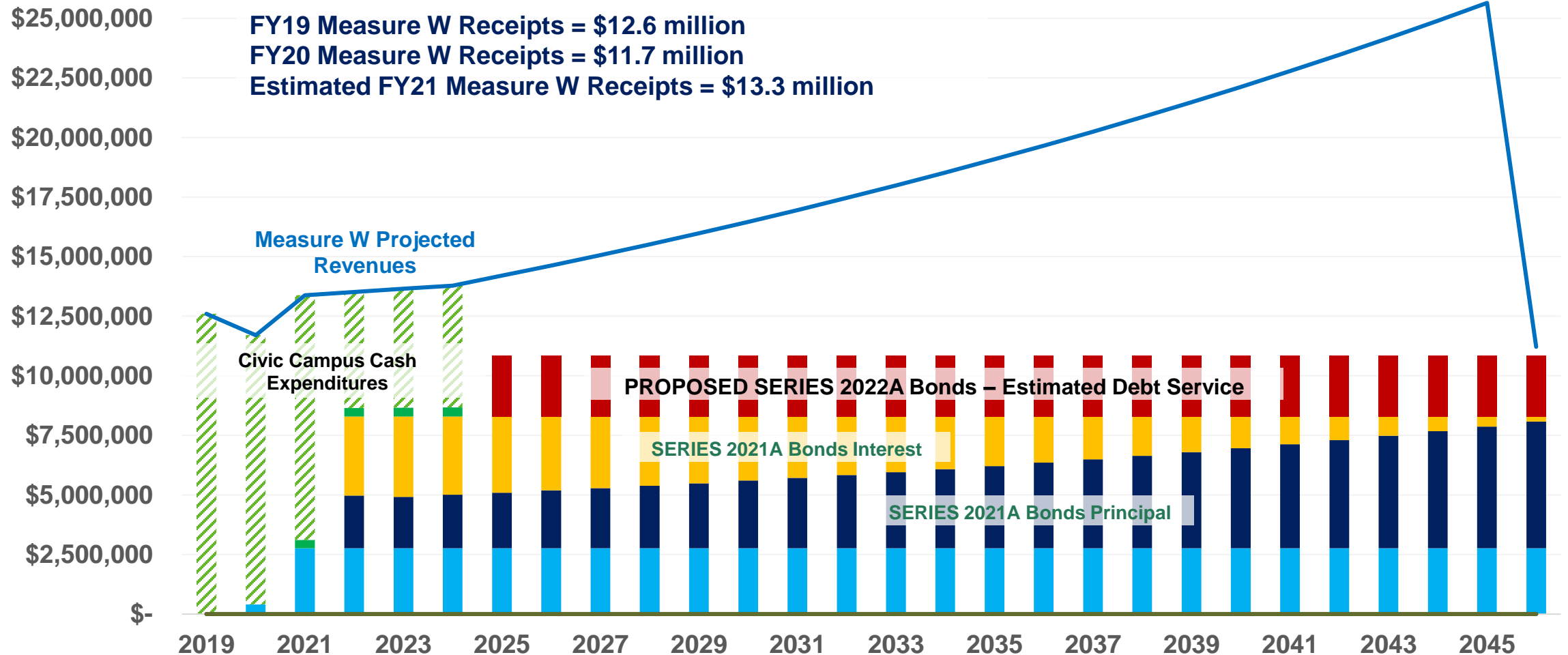
Month	FY 2019-2020	FY 2020-2021	Difference
July	\$ 930,148	\$ 1,025,771	\$ 95,623
August	1,450,260	1,527,732	77,472
September	821,445	498,476	(322,969)
October	958,425	1,017,094	58,669
November	1,056,673	1,389,937	333,264
December	1,239,905	932,921	(306,984)
January	790,642	885,528	94,886
February	1,186,204	1,424,181	237,977
March	713,987	870,466	156,479
April	714,606	924,602	209,996
May	1,397,081	1,507,996	110,915
June	444,714	1,374,588	929,874
<b>TOTAL</b>	<b>\$ 11,704,090</b>	<b>\$ 13,379,292</b>	<b>\$ 1,675,202</b>



# MEASURE W CASHFLOW (REVENUE LESS EXPENDITURE)



# MEASURE W CASHFLOW (REVENUE LESS EXPENDITURE)





# PROJECTED CASHFLOW DETAIL

Date	Estimated Sales Tax Receipts (Measure W) <sup>1</sup>	Series 2020A: Debt Service (Police Station)	Series 2021A: Debt Service (LPR, Street Paving, Solar Roofs)	PROPOSED Series 2022A: Debt Service (Ballfield and Pool) <sup>2</sup>	Remaining Measure W Funds	Debt Service Coverage Ratio
6/30/22	\$ 13,513,085	\$ 2,765,450	\$ 5,522,383	-	\$ 5,225,252	1.63x
6/30/23	13,648,216	2,766,450	5,523,000	-	5,358,766	1.65x
6/30/24	13,784,698	2,764,950	5,521,800	-	5,497,948	1.66x
6/30/25	14,198,239	2,765,950	5,522,200	2,544,700	3,365,389	1.31x
6/30/26	14,624,187	2,764,200	5,524,000	2,543,100	3,792,887	1.35x
6/30/27	15,062,912	2,764,700	5,522,000	2,543,500	4,232,712	1.39x
6/30/28	15,514,799	2,762,200	5,526,200	2,541,200	4,685,199	1.43x
6/30/29	15,980,243	2,764,800	5,521,200	2,543,600	5,150,643	1.48x
6/30/30	16,459,651	2,765,200	5,519,200	2,544,000	5,631,251	1.52x
6/30/31	16,953,440	2,763,400	5,523,800	2,542,300	6,123,940	1.56x

<sup>1</sup> Assumes no growth in sales tax receipts from FY 2021 – 2024 and 3.00% CAGR thereafter

<sup>2</sup> Assumes all-in true interest cost of 3.00%.








## CONCLUSION/SUMMARY

- Possible to fund Sports Field with Park Impact Fees
- Current economic climate makes timing of Impact Fees uncertain
- 50+ year old pool beyond useful life
- Extraordinary opportunity to provide two legacy projects
- Measure W Revenues expected to safely exceed debt service obligations
- Staff recommends sale of \$41M Lease Revenue Bonds



THANK YOU

# EVALUATION CRITERIA

								
		CURRENT LOCATION	TENNIS / ORANGE	EXISTING PLAYGROUND	NORTH PARKING LOT	SOUTH PARKING LOT	EXIST ARTIST STUDIO	MAZZANTI PROPERTY
CAPITAL COSTS	COST DIFFERENTIATORS		<ul style="list-style-type: none"> <li>Replace existing parking (22 spaces)</li> <li>Relocate sculpture and memorial</li> </ul>	<ul style="list-style-type: none"> <li>Replace existing playground</li> <li>Potentially relocate sewer line</li> </ul>	<ul style="list-style-type: none"> <li>Replace existing parking (Approx. 50 spaces)</li> </ul>	<ul style="list-style-type: none"> <li>Replace existing parking (Approx. 50 spaces)</li> </ul>	<ul style="list-style-type: none"> <li>Additional parking required, because of distance to existing lots</li> </ul>	<ul style="list-style-type: none"> <li>Additional parking required, because of distance to existing lots</li> </ul>
		\$ \$ \$	\$ \$ \$	\$ \$ \$ \$	\$ \$ \$ \$	\$ \$ \$ \$	\$ \$ \$	\$ \$ \$
	CONSTRUCTION	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +
	PHASING	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +
OPERATIONAL COST	COST	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +
	INTERRUPTION OF SERVICE	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +	- 0 +
COMMENTS								



# PROGRAM

DRAFT PROGRAM			QTY	SF/ SPACE	PROPOSED SF
1	ENTRY				800 SF
	1a	Lobby	1	550 SF	600 SF
	1b	Reception	1	250 SF	200 SF
2	MULTIPURPOSE ROOM				2,100 SF
	2a	Rentable Multi-use/Party room	1	2,100 SF	2,100 SF
3	AQUATICS				15,980 SF
	5a	8-Lanes 25 yd. lap pool	1	5,025 SF	5,025 SF
	5b	Teaching pool	1	2,400 SF	2,400 SF
	5c	Deck	1	7,755 SF	7,755 SF
	5d	Swimmer's Lounge	1	800 SF	800 SF
4	STAFF				740 SF
	6a	Staff + Pool Director Offices	1	740 SF	740 SF
5	SUPPORT SPACES				4,905 SF
	Men’s and Women’s locker rooms, Family restroom, showers, Lobby restroom, Staff restrooms, Pool storage, Pool mechanical room, Building mechanical room, Electrical room				
8	NON-ASSIGNABLE				3,475 SF
TOTAL					28,500 SF
PARKING					11 Spaces
	Additional spaces needed			16,718 SF	56
	Excess Parking on Site				(45)