

Exhibit B - Improvement Agreement

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

City of South San Francisco
400 Grand Avenue
South San Francisco, California 94080
Attention: City Clerk

This Space For Recorder's Use Only

OFF-SITE IMPROVEMENT AGREEMENT BETWEEN THE CITY OF SOUTH SAN FRANCISCO AND SHAC 988 ECR APARTMENTS LLC IN CONNECTION WITH PARCEL MAP NO. 17-0004

This OFF-SITE IMPROVEMENT AGREEMENT (“Agreement”) is dated _____, 2019 by and between the City of South San Francisco, a municipal corporation, hereinafter designated “City,” and SHAC 988 ECR Apartments LLC, a Delaware limited liability company, collectively hereinafter designated “Developer.”

RECITALS

WHEREAS, the Developer is the owner of the real property located in the City of South San Francisco, County of San Mateo, State of California, more particularly described on Exhibit A attached hereto (the “**Property**”), and Developer is proposing to construct a high-density mixed-use residential development at the Property (“**Project**”); and

WHEREAS, in conjunction with the Project, Developer is required, and proposes, to construct various improvements in and adjacent to the Property. The improvements are described generally in the approved civil improvement plan set, attached here to as Exhibit B (collectively, the “**Improvements**”) and incorporated herein. The Improvements are required by the South San Francisco Municipal Code and the vesting tentative parcel map approved by the City; and

WHEREAS, to construct the Improvements, Developer has requested to utilize a portion of the site of a project commonly known as the Centennial Trail, as described more particularly in Exhibit C, attached hereto and incorporated herein, for temporary construction access and staging. A majority of the Centennial Trail area is located in the public right-of-way owned by the Bay Area Rapid Transit District (“**BART**”), over which the City has a Permit to Enter issued by BART (Permit No. W-20.0-001SSF) (“**Entry Permit**”). Pursuant to a separate permit (Permit No. W-19-6-005-SSF) to enter issued by BART to Developer, both BART and the City have consented to Developer utilizing a portion of the Centennial Trail area as indicated in Exhibit C for construction access and staging; and

WHEREAS, Developer has presented to the City a parcel map for approval, hereinafter designated “map”, entitled Parcel Map No. 17-0004 988 El Camino Real, and which map dedicates to public use, easements for Public Utilities across those areas designated on the map as “**PUE**”; and

WHEREAS, Developer has requested approval of the map prior to the construction and completion of various improvements and utility connections, which are appurtenant to the Property designated in the map, all in accordance with, and as required by, the plans and specifications for all or any of the improvements in, appurtenant to, or outside the limits of the Property; and

Exhibit B - Improvement Agreement

WHEREAS, this Agreement is executed pursuant to the provisions of the Subdivision Map Act of the State of California and Title 19 of the South San Francisco Municipal Code; and

WHEREAS, the City wishes to ensure that the Improvements will be completed in a good workmanlike manner and in accordance with the conditions of approval and applicable law.

NOW, THEREFORE, for and in consideration of the approval of the maps, and of the acceptance of the dedications and easements for street and highway purposes and public facility and utility easements therein offered, excepting those dedicated to other agencies, and in order to ensure satisfactory performance by Developer and Developer's obligations under the Subdivision Map Act and Title 19 of the South San Francisco Municipal Code, the parties agree as follows:

AGREEMENT

1. Performance of Work

Developer shall, at its sole cost and expense, furnish or cause to be furnished, all labor supplies, equipment and materials, and do or cause to be done, in a good and workmanlike manner all of the Improvements as shown on the approved improvement plans for the Property, and attached hereto as **Exhibit B**. The cost of such improvements and required items of work is estimated to be **Four Hundred Forty Thousand Dollars (\$440,000.00)**. Developer shall also do all the work and shall, at its sole cost and expense, furnish all materials necessary in the opinion of the City Engineer to complete the Improvements in accordance with the plans and specifications.

The City and Developer acknowledge that the City and BART has consented to allow, under the BART Permit W-20.0-001-SSF held by the City and the BART Permit W-19-6-005-SSF held by Developer, the Developer to utilize a portion of the Centennial Trail adjacent to the Project site, as depicted in **Exhibit C**, for construction access and staging. Developer shall, prior to the issuance of a certificate of occupancy by the City, restore such area used for construction access and staging to the same condition prior to use, and shall replace the pedestrian walkways, landscaping, and irrigation system in such area as described in **Exhibit C**. Developer shall complete the foregoing work at its sole cost and expense, furnish all materials necessary in the opinion of the City Engineer.

All of the work described herein is to be done at the places, and with the necessary materials, in the manner and at the grades shown on the plans and specifications to be approved by the City Engineer. All work shall be done to the satisfaction of the City Engineer.

2. Time for Commencement and Performance

City hereby fixes the time for the commencement of the work to be done on or before the later of April 31, 2019 or the date this Agreement is recorded in the Official Records, and for its completion to be within 36-months thereafter commencement. At least fifteen (15) calendar days prior to the commencement of work hereunder, Developer shall notify the City Engineer in writing of the date fixed for commencement thereof, so that the City Engineer shall be able to provide inspection services.

3. Injury to Public Improvements, Public Property or Public Utilities Facilities

Developer shall replace or repair, or have replaced or repaired, all public improvements, public utility facilities, and surveying or subdivision monuments which are destroyed or damaged in the

Exhibit B - Improvement Agreement

performance of any work under this Agreement. Developer shall bear the entire cost of replacement or repairs of any and all public or private utility property damaged or destroyed in the performance of any work done under this Agreement. Any repair or replacement shall be to the satisfaction of the City.

4. Time of Essence - Extension

Time is of the essence in this Agreement, and the dates for commencement and completion of the Improvements herein may not be extended except as provided in this paragraph. In the event good cause is shown, the City Engineer in its reasonable discretion may extend the time for completion of the Improvements hereunder. Requests for extension of Dates shall be in writing and delivered to City in the manner hereinafter specified for service of notices. Any such extension may be granted without notice to Developer's sureties, and extensions so granted without notice to the Developer's sureties shall not relieve the sureties' liability on the bonds to secure the faithful performance of this Agreement and to assure payment of all persons performing labor and materials in connection with this Agreement. The City Engineer shall be the sole and final judge as to whether or not good cause has been shown to entitle Developer to an extension. In granting any extension of the dates set forth under this Agreement for commencement and completion of the Improvements, City may require a new or amended improvement security in amounts to reflect increases in the costs of constructing the Improvements, and/or impose other conditions to protect City's interests and ensure the timely completion of the Improvements.

5. Repairs and Replacements

Developer shall replace or have replaced, or repair or have repaired, all pipes and monuments which are destroyed or damaged by reason of improvements constructed hereunder, and Developer shall replace or have replaced, repair or have repaired, or pay to the owner the entire cost of replacement or repairs, of any and all property damaged or destroyed by reason of any work done hereunder, whether such property be owned by the United States or any agency thereof, by the State of California, or any agency or political subdivision thereof, or by any combination of such owners. Any such repair or replacement shall be to the satisfaction, and subject to the approval of, the City Engineer or the corporation, person or agency.

6. Utility Deposits - Statement

Developer shall file with the City Clerk, on or before December 31, 2019, a written statement signed by Developer and each public utility corporation involved, to the effect that Developer has made all deposits legally required by such public utility corporation for the connection of any and all public utilities to be supplied by such public utility corporation within the Property.

7. Permits, Compliance with Laws

Developer shall comply with all generally applicable laws and regulations in the performance of this Agreement and constructing the improvements herein and shall, at Developer's sole cost and expense, obtain all necessary permits and licenses for the construction of improvements, give all necessary notices and pay all fees and taxes required by law.

Exhibit B - Improvement Agreement

8. Superintendence by Developer

Developer shall personally supervise the work on the improvements, or have a construction contractor, competent foreman or superintendent on the work site at all times during construction, with authority to act for Developer.

9. Inspection by City

Developer shall at all times maintain proper facilities, and shall provide safe access, for inspection by City, to all parts of the work and to the shops wherein the work is in preparation.

10. Contract Security

(a) Concurrently with the execution hereof, Developer shall furnish: (1) a surety bond in an amount equal to at least one hundred percent (100%) of the estimated cost of the construction and completion of the works and improvements described in **Exhibit B**, as security for the faithful performance of this Agreement; and (2) a separate surety bond in an amount equal to at least one hundred percent (100%) of the estimated cost of the construction and completion of the work and improvements described in **Exhibit B** as security for the payment of all persons performing labor and providing materials in connection with this Agreement. Upon the written request of Developer, the City Engineer shall release a portion or portions of the security provided for hereunder as the Improvements or portions thereof are completed and approved by the City.

(b) The Developer may fulfill the requirements of subsection (a) of this section by providing a Standby Irrevocable Letter of Credit in favor of the City and in a form approved by the City Attorney.

(c) Developer may also file a cash deposit with the City.

11. Hold Harmless Agreement

(a) Developer shall hold harmless, indemnify and, at the City's request, defend City (with Counsel selected by City), its officers, employees, agents, boards and commissions, whether elected or appointed, from and against all claims, demands, actions, causes of action, losses, damages, liabilities, costs and expenses, including but not limited to reasonable attorney's fees or obligations, for or in connection with personal injury (including, but not limited to, death) or damage to property (both real and personal) to the extent arising out of or is in any way connected with the negligent act, error or omission of Developer, its agents, contractors, subcontractors, or employees in connection with the performance of this Agreement.

(b) In order to make certain that Developer has adequate resources to fully carry out its responsibilities pursuant to subparagraph (a) above, Developer shall file with the City proof that Developer's professional consultants (including any soils engineer or civil engineer) employed by Developer in connection with the work described herein, maintain professional liability (e.g. errors and omissions) insurance during the life of this Agreement. If the work is accomplished by contractors or subcontractors, Developer shall assure that the contractors and/or subcontractors carry general liability insurance. The insurance shall be in an amount of not less than One Million Dollars (\$1,000,000), shall contain a provision that such insurance shall not be reduced or canceled except

Exhibit B - Improvement Agreement

upon thirty (30) days written notice to City and shall be subject to the approval of the City Attorney as to form, amount and carrier, as such approval not to be unreasonably withheld.

(c) The foregoing hold harmless statement of Developer shall apply to all damages and claims for damages of every kind suffered or alleged to have been suffered by reason of the construction operations undertaken pursuant to this Agreement, regardless of whether or not City has approved the plans or specifications for the improvements, and regardless of whether or not such insurance policies have been determined to be applicable to any such damages or claims for damages. The foregoing hold harmless statement shall not apply to the extent that such damage and claims are the result of any negligent act, error or omission of City or its employees, agents or representatives.

12. Environmental Warranty.

Prior to City's acceptance of dedications or improvements, Developer shall certify and warrant that:

(a) The development and Developer are not in violation of any environmental law, and neither are subject to any existing, pending, or threatened investigation by any federal, state or local governmental authority under or in connection with any environmental law;

(b) Developer nor any third party, will not use, generate, manufacture, produce, or release, on, or under the Subdevelopment, any hazardous substance, except in compliance with all applicable environmental laws; and

(c) Developer has not caused or permitted the release of, and has no knowledge of the release or presence of, hazardous substance(s) on the Subdevelopment or the migration of any hazardous substance from or to any other property adjacent to, or in the vicinity of, the Subdevelopment.

13. Developer's Insurance

Developer shall not commence work under this Agreement until Developer has obtained all insurance required under this paragraph, and such insurance has been approved by the City Attorney as to form, amount and carrier, nor shall Developer allow any contractor or subcontractor to commence work until all similar insurance required of the contractor or subcontractor has been so obtained and approved, as such approval not to be unreasonably withheld. All requirements shall appear either in the body of the insurance policy or in endorsements and shall specifically bind the insurance carrier.

Developer shall take out and maintain during the life of this Agreement the following policies of insurance:

(a) Worker's Compensation and Employers' Liability Insurance in the statutory coverage. In signing this Agreement, Developer makes the following certification:

Exhibit B - Improvement Agreement

“I am aware of the provisions of Section 3700 of the California Labor Code which requires every employer to be insured against liability for Worker’s Compensation or to undertake self-insurance in accordance with the provisions of the Code, and I will comply with such provisions before commencing the performance of the work of this Agreement.”

(b) Commercial General Liability Insurance: In an amount not less than ONE MILLION DOLLARS (\$1,000,000) for injuries including, but not limited to, death to any one person and subject to the same limit for each person; in an amount not less than TWO MILLION DOLLARS (\$2,000,000) combined single limit per occurrence for bodily injury, personal injury and property damage.

(c) Automobile Liability (Code 1) Insurance: In an amount not less than ONE MILLION DOLLARS (\$1,000,000) combined single limit per accident for bodily injury and property damage.

(d) Contractual Liability Insurance: Developer shall take out and maintain during the life of this Agreement an insurance policy in the amount of at least TWO MILLION DOLLARS (\$2,000,000), insuring Developer against damages sustained as a result of any action or actions at law or in equity, any claims or demands brought as a result of any breach or alleged breach of any contract, or provisions thereof, and/or as a result of any contractual liability, or alleged contractual liability arising out of any contract entered into by Developer and/or any of its agents or employees in order to perform the work defined herein.

(e) It is agreed that the insurance required by Subsection (b) shall be in an aggregate amount of not less than Two Million Dollars (\$2,000,000) and shall be extended to include as additional insureds the City of South San Francisco, its elective and appointive boards, officers, agents, employees and volunteers, with respect to operations performed by the Developer as described herein. Evidence of the insurance described above shall be provided to City upon execution of this Agreement and shall be subject to approval by the City Attorney as to form, amount and carrier, as such approval not to be unreasonably withheld. The policy of insurance shall also contain a provision indicating that such insurance shall not be reduced or canceled except upon thirty (30) days written notice to City. In addition, the following endorsement shall be made on the policy of insurance:

“Notwithstanding any other provisions in this policy, the insurance afforded hereunder to the City of South San Francisco shall be primary as to any other insurance or reinsurance covering or available to the City of South San Francisco, and such other insurance or reinsurance shall not be required to contribute to any liability or loss until and unless the approximate limit of liability afforded hereunder is exhausted.”

14. Evidence of Insurance

Developer shall furnish City concurrently with the execution hereof, satisfactory evidence of the insurance required and evidence that each carrier is required to give City at least thirty (30) days prior notice of the cancellation or reduction in coverage of any policy during the effective period of this Agreement.

Exhibit B - Improvement Agreement

15. Title to Improvements

Title to, and ownership of, all improvements within a public easement constructed hereunder by Developer in accordance with this Agreement shall vest absolutely in City, or to such other public agencies, persons, partnerships, associations or corporations to which dedications of easements were made or reserved upon the completion and acceptance of such improvements by City or the agency, person, partnership, association or corporation. Such improvements shall be considered final and vested to City upon issuance of a certificate of acceptance from the City Engineer or the City Engineer otherwise determines,, that all work required hereunder has been completed in accordance with all laws and regulations.

16. Repair or Reconstruction of Defective Work

If, within a period of one (1) year after final acceptance of the work performed under this Agreement, the improvements installed or constructed, or caused to be installed or constructed by Developer, or any of the work done under this Agreement, fails to fulfill any of the requirements of this Agreement or the specifications referred to herein, or proves to be defective or become damaged because of differential settlement, action of the elements, or ordinary usage, except for catastrophic events and ordinary wear and tear, Developer shall without delay and without any cost to City repair or replace or reconstruct any defective or otherwise unsatisfactory part or parts of the work or structure. Should Developer fail to act promptly or in accordance with this requirement, or should the exigencies of the case require repairs or replacements to be made before Developer can be notified, City may, at its option, make the necessary repairs or replacements or perform the necessary work, and Developer shall pay to City the actual cost of such repair plus fifteen (15%) percent. Developer shall at the time of acceptance of the improvements by City or other public agency, provide the City with a corporate surety bond in the principal sum of One Hundred and Fifty One Thousand Dollars (\$151,000.00) to secure the undertaking and obligations set forth in this provision for a period of one (1) year after final acceptance of the work.

17. Trenching and Backfilling

Developer shall require that all trenching and backfilling within and outside the property lines for utility lines, including sanitary, storm, water and any other purposes, shall be done under the inspection of a soils engineer who shall test the trenching and backfilling with a sufficient number of soil tests to secure the proper compaction. If required as a condition to any permit issued by City, Developer shall further require that a certificate be filed with the City stating that said trenching and backfilling has been performed in accordance with the soils engineer's recommendations.

18. Developer not Agent of City

Neither Developer nor any of Developer's agents or contractors shall be considered agents of City in connection with the performance of Developer's obligations under this Agreement.

19. Cost of Engineering and Inspection

Developer shall pay City the actual cost to City for all inspections and other services furnished by City in connection with the construction of the above-required improvements, plus twenty-two

Exhibit B - Improvement Agreement

percent thereof for administrative overhead. City shall furnish periodic statements of all charges for services performed by City, and Developer shall complete payment of such charges within ten (10) days after receipt thereof.

20. Notice of Breach and Default

If Developer refuses or fails to obtain prosecution of the work, or any severable part thereof, with such diligence as will insure its completion within the time specified, or any extensions thereof, or fails to obtain completion of the work within such time, or if the Developer should be adjudged as bankrupt, or if Developer should make a general assignment for the benefit of Developer's creditors, or if a receiver should be appointed in the event of Developer's insolvency, or if Developer or any of Developer's contractors, subcontractors, agents or employees should violate any of the provisions of the Agreement, the City Engineer or City Manager may serve written notice upon Developer and Developer's sureties of breach of this Agreement, or of any portion thereof, and default of Developer, and Developer shall have thirty (30) days thereafter to cure or substantially commence such cure.

21. Breach of Agreement; Performance by Sureties or City

In the event of such notice which is not cured by Developer, Developer's sureties shall have the duty to take over the work and complete the work and the improvement herein specified; provided, however, that if the sureties, within five (5) days after being served notice of such breach, do not give City written notice of their intention to take over the performance of the Agreement, and do not commence performance thereof within five (5) days after notice to the City of such election, City may take over the work and prosecute the same to completion, by contract or by any other method City may deem advisable, for the account and at the expense of Developer. In such event, in addition to any legal or equitable remedies or claims available to it, City, without liability for so doing, may take possession of, and use in completing the work, such materials, appliances, plant and other property belonging to Developer as may be on site of the work and necessary therefor.

22. Erosion Control

If applicable, Developer shall furnish landscape plans and adequately provide for erosion control. Landscaping and irrigation improvements shall be installed to the satisfaction of the City's Landscape Architect.

23. Trenching and Backfilling

Developer shall require that all trenching and backfilling within and outside the property lines for utility lines, including sanitary, storm, water and any other purposes, shall be done under the inspection of a soils engineer who shall test the trenching and backfilling with a sufficient number of soil tests to secure the proper compaction. Developer shall further require that a certificate be filed with the City stating that said trenching and backfilling has been performed in accordance with the soils engineer's recommendations.

24. Water Lines

Developer shall dedicate to the California Water Service (CWS) the easements required for the water lines, facilities and appurtenant works, unless the lines, facilities and appurtenant works are to

Exhibit B - Improvement Agreement

be installed within existing easements or the Public Utility Easements on the Parcel Map. Developer shall construct and install, at its sole cost and expense, the improvements in the easements as set forth on the approved improvement plans, subject to the approval of the CWS.

25. Notices

All notices herein required shall be in writing, and delivered in person or sent by certified mail, postage prepaid. Notices required to be given to City shall be addressed as follows:

City Clerk
City of South San Francisco
P.O. Box 711
South San Francisco, CA 94083

Notices required to be given to Developer shall be addressed as follows:

SHAC 988 ECR Apartments
3000 Executive Parkway, Suite 450
San Ramon, CA 94583
ATTN: COO

Copy to:
SHAC 988 ECR Apartments
777 California Avenue
Palo Alto, CA 94304
ATTN: General Counsel

Any party may change such address by notice in writing to the other party and thereafter notices shall be addressed and transmitted to the new address.

26. As-Built Drawings

Developer shall furnish City reproducible plastic film as-built drawings of the public improvements of a quality acceptable to the City Engineer together with a certification by Developer's engineer that the improvements have been constructed in accordance with the approved plans and specifications. Developer shall furnish City with the as-built drawings concurrently with Developer's request for acceptance of the improvements by the City.

27. Parties Obligated

Developer agrees that this Agreement shall bind Developer and Developer's successors in interest, heirs and assigns.

28. Attorneys' Fees

If a party to this Agreement brings any action, including an action for declaratory relief, to enforce or interpret the provision of this Agreement, the prevailing party shall be entitled to reasonable

Exhibit B - Improvement Agreement

attorneys' fees in addition to any other relief to which that party may be entitled. The court may set such fees in the same action or in a separate action brought for that purpose.

29. Governing Law

The laws of the State of California shall govern this Agreement.

30. Severability

If a court of competent jurisdiction finds or rules that any provision of this Agreement is invalid, void, or unenforceable, the provisions of this Agreement not so adjudged shall remain in full force and effect. The invalidity in whole or in part of any provision of this Agreement shall not void or affect the validity of any other provision of this Agreement.

31. Release

After acceptance of the Improvements and completion of the one (1) year maintenance period in Section 16, the City shall within 60 days thereafter record a release of this Agreement in the Official Records of San Mateo County.

32. Liens Not Impaired. No breach of the covenants or terms of this Agreement or any enforcement thereof shall defeat or render invalid the lien of any mortgage or deed of trust made in good faith and for value, now or hereafter executed upon the Property or any portion thereof. None of the covenants or terms of this Agreement shall supersede or in any way reduce the security or affect the validity of any such mortgage or deed of trust; provided, however, that any such covenant or term shall be binding upon and effective against the owner of the Property or any portion thereof whose title to the Property or such portion thereof is acquired by foreclosure, trustee's sale or otherwise.

[signatures on following page]

Exhibit B - Improvement Agreement

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed.

CITY OF SOUTH SAN FRANCISCO,
a municipal corporation

By: _____
Charles M. Futrell, City Manager

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Exhibit B - Improvement Agreement

SHAC 988 ECR Apartments LLC,
a Delaware limited liability company

By: SHAC 988 ECR Apartments Venture LLC,
a Delaware limited liability company, its manager

By: SHAC 988 ECR Apartments Member LLC
a Delaware limited liability company, its manager

By: SummerHill Apartment Communities,
A California corporation, its managing member

By: _____

Name: _____

Its: _____

By: _____

Name: _____

Its: _____

Exhibits

Exhibit A – Legal Description

Exhibit B – Improvement Plans

Exhibit C – Centennial Trail Area/Construction Access And Staging Restoration Work

Exhibit B - Improvement Agreement

EXHIBIT A

Legal Description of Property

Real property in the City of South San Francisco, County of San Mateo, State of California, described as follows:

LEGAL DESCRIPTION

Real property in the City of South San Francisco, County of San Mateo, State of California, described as follows:

PARCEL ONE:

BEGINNING AT A POINT ON THE DIVIDING LINE BETWEEN LANDS FORMERLY OF JAMES L. FLOOD AND THE LANDS OF THE UNITED RAILROAD RIGHT-OF WAY DISTANT THEREON SOUTH 55° 30' EAST 215.23 FEET FROM THE MOST NORTHERLY CORNER OF THE LANDS DESCRIBED IN PARCEL 2 IN DEED FOR HIGHWAY PURPOSES FROM JAMES L. FLOOD TO COUNTY OF SAN MATEO, DATED MARCH 10, 1913 AND RECORDED MAY 19, 1913 IN BOOK 225 OF DEEDS AT PAGE 14, RECORDS OF SAN MATEO COUNTY, CALIFORNIA; RUNNING THENCE FROM SAID POINT OF BEGINNING ALONG SAID DIVIDING LINE SOUTH 55° 30' EAST 193.77 FEET; THENCE SOUTH 47° 20' WEST 68.60 FEET TO THE EASTERLY LINE OF THE RIGHT-OF-WAY OF THE STATE HIGHWAY (NOW EL CAMINO REAL); THENCE NORTHWESTERLY, ALONG SAID RIGHT-OF-WAY LINE, ALONG THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 3033 FEET, A CENTRAL ANGLE OF 3° 11' 49", AN ARC DISTANCE OF 169.23 FEET TO THE SOUTHEASTERLY LINE OF CHESTNUT AVENUE, AT WHICH POINT THE RADIAL BEARING BEARS SOUTH 44° 36' 58" WEST; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF CHESTNUT AVENUE, TANGENT TO THE PROCEEDING COURSE, ALONG THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 20 FEET, A CENTRAL ANGLE OF 102° 06' 02", AN ARC DISTANCE OF 35.64 FEET AND NORTH 56° 43' EAST 5.70 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM, THAT PORTION THEREOF CONVEYED TO THE CITY OF SOUTH SAN FRANCISCO, A MUNICIPAL CORPORATION IN THAT CERTAIN DEED OF DEDICATION RECORDED SEPTEMBER 19, 1955 IN BOOK 2878, PAGE 166 OF OFFICIAL RECORDS.

PARCEL TWO:

PORTIONS OF PARCELS 5 AND 6, SAN MATEO COUNTY LANDS, DESCRIBED IN THE DEED FROM THE MARKET STREET RAILWAY COMPANY TO THE CITY AND COUNTY OF SAN FRANCISCO, RECORDED IN BOOK 1161 OF OFFICIAL RECORDS AT PAGE 1 AND A PORTION OF PARCEL 24 DESCRIBED IN THE DEED FROM THE SPRING VALLEY WATER COMPANY TO THE CITY AND COUNTY OF SAN FRANCISCO RECORDED IN BOOK 491 OF OFFICIAL RECORDS AT PAGE 1 IN THE SAN MATEO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERLY CORNER OF PARCEL D-3106-4C DESCRIBED IN EXHIBIT A-15 ATTACHED TO THE FINAL ORDER OF CONDEMNATION FILED IN THE SUPERIOR COURT OF THE STATE OF CALIFORNIA IN AND FOR THE COUNTY OF SAN MATEO, ENTITLED "SAN MATEO COUNTY TRANSIT DISTRICT, PLAINTIFF, VS. CITY AND COUNTY OF SAN FRANCISCO, DEFENDANT," CASE NO. 405695 AND RECORDED FEBRUARY 11, 2004 UNDER RECORDER'S SERIES NO. 2004-025111 IN THE SAN MATEO COUNTY RECORDS; THENCE THROUGH THE FOLLOWING NUMBERED COURSES:

- 1) NORTH 54° 47' 38" WEST FOR 362.58 FEET TO A CURVE TO THE RIGHT HAVING A RADIUS OF 3859.53 FEET,
- 2) ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 00° 39' 27" FOR AN ARC LENGTH OF 44.29 FEET TO THE SOUTHEASTERLY LINE OF CHESTNUT AVENUE, 112 FEET WIDE,

Exhibit B - Improvement Agreement

- 3) SOUTH 57° 58' 43" WEST ALONG SAID AVENUE FOR 91.58 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 3944.52 FEET FROM WHICH THE RADIUS POINT BEARS NORTH 36° 21' 52" EAST, 4) SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 01° 09' 30" FOR AN ARC LENGTH OF 79.75 FEET,
- 5) SOUTH 54° 47' 38" EAST FOR 175.96 FEET TO THE FORMER CENTERLINE OF MISSION ROAD,
- 6) SOUTH 21° 23' 10" EAST ALONG SAID LINE FOR 9.08 FEET,
- 7) SOUTH 54° 47' 38" EAST FOR 179.03 FEET TO THE NORTHWESTERLY LINE OF PARCEL D-3108-4 DESCRIBED IN SAID FINAL ORDER OF CONDEMNATION,
- 8) NORTH 35° 12' 22" EAST ALONG SAID PARCEL AND ALONG SAID PARCEL D-3106-4C FOR 89.99 FEET TO THE POINT OF BEGINNING.

PARCEL THREE:

PARCEL 3, AS SHOWN ON THAT CERTAIN PARCEL MAP ENTITLED, "PARCEL MAP OF LANDS OF GIGLI AND LANDS OF PETROCCHI SOUTH SAN FRANCISCO, CALIFORNIA", RECORDED IN DECEMBER 20, 1983 IN THE OFFICIAL RECORDS OF THE COUNTY RECORDER, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, IN BOOK 54 OF PARCEL MAPS, AT PAGES 15 AND 16.

PARCEL FOUR:

BEING PORTIONS OF EL CAMINO REAL AND MISSION ROAD AS EXISTING ON DECEMBER 31, 1983 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING FOR REFERENCE ON THE CENTER LINE OF MISSION ROAD (66 FEET WIDE) AT THE INTERSECTION THEREOF WITH THE SOUTHWESTERLY PROLONGATION OF THE LINE DIVIDING LOTS 39 AND 40, BLOCK 1, AS SAID ROAD, LOTS AND BLOCK ARE SHOWN ON THAT CERTAIN MAP ENTITLED, "SECTION, WEST OF RAILROAD, OF THE TOWN OF BADEN, PART OF RANCHO BURI BURI, SAN MATEO CO., CAL.", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY ON NOVEMBER 30, 1891, IN BOOK "E" OF MAPS, AT PAGE 62; THENCE ALONG SAID SOUTHWESTERLY PROLONGATION OF THE LINE DIVIDING LOTS 39 AND 40, SOUTH 63° 38' 30" WEST, 38.65 FEET TO THE NORTHEASTERLY LINE OF THE STATE HIGHWAY, KNOWN AS EL CAMINO REAL AND THE TRUE POINT OF COMMENCEMENT; THENCE ALONG SAID NORTHEASTERLY LINE NORTH 40° 36' 30" WEST, 12.17 FEET; THENCE SOUTH 83° 14' 30" WEST 13.00 FEET; THENCE, FROM A TANGENT THAT BEARS SOUTH 38° 13' 19" EAST, ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 3033.00 FEET, THROUGH AN ANGLE OF 0° 18' 42", AN ARC DISTANCE OF 16.50 FEET TO SAID PROLONGATION OF LINE BETWEEN LOTS 39 AND 40; THENCE ALONG SAID PROLONGATION NORTH 63° 38' 30" EAST, 11.89 FEET TO THE TRUE POINT OF COMMENCEMENT.

PARCEL FIVE:

SO MUCH OF THE HEREIN DESCRIBED PARCEL "A" AS LIES WITHIN THE HEREIN DESCRIBED PARCEL "B"

PARCEL "A":

ALL THAT REAL PROPERTY IN THE CITY OF SOUTH SAN FRANCISCO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BOUNDED ON THE NORTHEAST BY THAT CERTAIN PARCEL CONVEYED BY JAMES L. FLOOD, ET AL, TO JOHN FLOURNOY, BY DEED DATED NOVEMBER 2, 1900 AND RECORDED DECEMBER 13, 1900 IN BOOK 88 OF DEEDS AT PAGE 219 (MARKET STREET RAILWAY LINE); ON THE NORTHWEST BY THE SOUTHEASTERLY BOUNDARY OF THAT CERTAIN PARCEL OF LAND CONVEYED BY ALVINA M. BORTIS TO KAISER FOUNDATION HOSPITALS BY DEED DATED SEPTEMBER 12, 1966 AND RECORDED SEPTEMBER 14, 1966 IN BOOK 5214 OF OFFICIAL RECORDS AT PAGE 708 (FILE NO. 95676-Z), RECORDS OF SAN MATEO COUNTY, CALIFORNIA; AND ON THE SOUTHWEST BY THAT CERTAIN PARCEL OF LAND CONVEYED BY JAMES L.

Exhibit B - Improvement Agreement

FLOOD, TO COUNTY OF SAN MATEO BY DEED DATED MARCH 10, 1913 AND RECORDED MAY 19, 1913 IN BOOK 225 OF DEEDS AT PAGE 14 (EL CAMINO REAL).

PARCEL "B":

A PORTION OF PARCEL 24 AS SET FORTH IN DEED FROM SPRING VALLEY WATER COMPANY, A CORPORATION, TO CITY AND COUNTY OF SAN FRANCISCO, A MUNICIPAL CORPORATION, DATED MARCH 3, 1930 AND RECORDED MARCH 3, 1930 IN BOOK 491 OF OFFICIAL RECORDS AT PAGE 1, RECORDS OF SAN MATEO COUNTY, CALIFORNIA, AND A PORTION OF THE LANDS CONVEYED FROM THE MARKET STREET RAILWAY COMPANY TO THE CITY AND COUNTY OF SAN FRANCISCO BY THAT CERTAIN DEED RECORDED SEPTEMBER 29, 1944 IN BOOK 1161 OF OFFICIAL RECORDS AT PAGE 1, SAN MATEO COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS A WHOLE AS FOLLOWS:

THAT PORTION OF SAID ABOVE LANDS WHICH IS BOUNDED NORTHEASTERLY BY THE NORTHWESTERLY LINE OF OLD MISSION ROAD; BOUNDED SOUTHERLY BY THE NORTHERLY LINE OF THE LANDS DESCRIBED IN THAT CERTAIN QUITCLAIM DEED FROM FLOOD REALTY COMPANY, A CORPORATION, TO EMILIO A. PETROCCHI, ET AL, RECORDED JANUARY 22, 1954 IN BOOK 2527 OF OFFICIAL RECORDS AT PAGE 491, SAN MATEO COUNTY, CALIFORNIA; (FILE NO. 31864-L); AND BOUNDED NORTHWESTERLY BY THE SOUTHWESTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF CHESTNUT AVENUE EXTENSION AS ESTABLISHED BY DEED TO THE CITY OF SOUTH SAN FRANCISCO, A MUNICIPAL CORPORATION, RECORDED FEBRUARY 8, 1971 IN BOOK 5892 OF OFFICIAL RECORDS AT PAGE 452, SAN MATEO COUNTY, CALIFORNIA (FILE NO. 80162-AD).

APN: 011-325-030 (Affects Parcel One)
011-325-070 (Affects Parcels Two and Five)
014-011-260 (Affects Parcel Three)
014-011-280 (Affects Parcel Four)

JPN:
011-032-325-03A
093-033-331-04A

014-001-011-01.01A, 11.02A, 13.01A and 15A

014-001-011-17A

Exhibit B - Improvement Agreement

EXHIBIT B

Improvement Plans

[SEE ATTACHED]

Exhibit B - Improvement Agreement

988 EL CAMINO REAL

CITY OF SOUTH SAN FRANCISCO SAN MATEO COUNTY CALIFORNIA

PUBLIC IMPROVEMENT PLANS



GENERAL NOTES:

- OWNER/DEVELOPER: SUMMERHILL APARTMENT COMMUNITIES
JOHN PARKER
777 S. CALIFORNIA AVENUE
PALO ALTO, CA 94304
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
(925) 866-0322
RYAN HANSEN
- GEOTECHNICAL ENGINEER: ROCKRIDGE GEOTECHNICAL
270 GRAND AVENUE
OAKLAND, CA 94610
(925) 420-5738
KRISTIAN SAMLIK
- BASIS OF BEARING: THE BASIS OF BEARINGS FOR THIS SURVEY IS DETERMINED BY FOUND IRON PIPE MONUMENTS ON THE SOUTH EASTERLY LINE OF THE SUBJECT PROPERTY SHOWN HEREON, THE BEARING BEING N35°12'35"E PER RECORD OF SURVEY NO.2066 FILED IN BOOK 33 OF L.L.S. MAPS AT PAGE 39 (33 LLS 39)
- BENCHMARK: CITY OF SOUTH SAN FRANCISCO BENCHMARK NO. 1966A MONUMENT AT THE INTERSECTION OF MISSION ROAD AND OAK AVENUE.ELEVATION: 38.39 FEET (NGVD29)

ENGINEER'S GENERAL NOTES:

- THESE PLANS SHOW EXISTING FEATURES INCLUDING BUT NOT LIMITED TO TREES, UTILITIES, AND STRUCTURES THAT MAY BE AFFECTED BY THE CONSTRUCTION OR PLACEMENT OF THE PROPOSED ENGINEERED IMPROVEMENTS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY NOTIFY THE ENGINEER IF THERE ARE ANY EXISTING FEATURES, WHETHER SHOWN OR NOT SHOWN ON THESE PLANS, THAT COULD IN ANY WAY BE IN POTENTIAL CONFLICT WITH THE DESIGN ON THESE PLANS. ALL WORK WITHIN THE VICINITY OF A POTENTIAL CONFLICT SHALL CEASE UNTIL AN ADEQUATE AND APPROPRIATE SOLUTION IS DETERMINED BY THE ENGINEER AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE CIVIL ENGINEER AND THE COUNTY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CIVIL ENGINEER.
- EXCAVATION SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM LACK OF ADEQUATE SHORING, BRACING AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT, TRENCH, STRUCTURE AND/OR BORING OR JACKING PIT IS REQUIRED THE CONTRACTOR SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDER.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE REQUIREMENTS OF THE DIVISION OF INDUSTRIAL SAFETY PERTAINING TO "CONFINED SPACES." ANY MANHOLE, CULVERT, DROP INLET OR TRENCH (WHICH COULD CONTAIN AIR), THAT IS NOT READILY VENTILATED, MAY BE CONSIDERED A "CONFINED SPACE."
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS AT THE JOB SITE FOR PUBLIC WORKS, AMBULANCE, POLICE AND FIRE DEPARTMENTS. CONTRACTOR SHALL POST SIGN AT JOB SITE BEARING OWNER'S NAME AND SITE ADDRESS. PROPERTY CORNERS SHALL BE CLEARLY MARKED.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY AND TO MAINTAIN TRAFFIC CONTROL AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR ANY PRIVATE PROPERTY ADJACENT TO THE WORK AREA THROUGHOUT THE PERIOD OF CONSTRUCTION.
- ENCROACHMENT PERMITS ARE REQUIRED FOR WORK WITHIN THE EXISTING PUBLIC RIGHTS-OF-WAY. ENCROACHMENT PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- THE OWNER'S ENGINEER WILL PROVIDE THE CONSTRUCTION STAKES. THE NUMBER AND LOCATION OF STAKES REQUIRED SHALL BE DETERMINED BEFORE THE CONSTRUCTION BEGINS. ALL STAKING REQUESTS SHALL BE DIRECTED TO THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO ACTUAL NEED. ANY ADDITIONAL STAKING OR RESTAKING WILL ONLY BE DONE AS DIRECTED AND AUTHORIZED BY THE OWNER OR HIS AUTHORIZED AGENT. THE COUNTY ENGINEER HAS THE AUTHORITY TO REQUIRE THE OWNER OR HIS AUTHORIZED AGENT TO PLACE ADDITIONAL STAKES OR RESTAKES AS HE DEEMS NECESSARY FOR PROPER CONSTRUCTION OR TO AVOID CONFLICTS. ALL CONSTRUCTION STAKING SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- ALL EXISTING ELEVATIONS SHOWN ARE AS MEASURED IN THE FIELD UNLESS OTHERWISE NOTED.
- ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL GRADE OF CONCRETE UNLESS FORMS ARE CHECKED BY ENGINEER PRIOR TO POURING.
- OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) FOR THE UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION (800-227-2600). NEITHER THE OWNER NOR THE ENGINEER ASSUMES RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL BE THE OBSTRUCTIONS ENCOUNTERED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER AND BUILDING INSPECTION DEPARTMENT OF ANY DIFFERENCES IN LOCATIONS OF EXISTING UTILITIES SHOWN, OR ANY CONFLICTS WITH THE DESIGN, BEFORE CONTINUING WITH WORK IN THAT AREA.
- THE CONTRACTOR SHALL NOT DESTROY ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF THE COUNTY ENGINEER. ANY PERMANENT MONUMENTS OR POINTS DESTROYED SHALL BE REPLACED BY A LICENSED ENGINEER OR SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR PERPETUATION OF ALL EXISTING MONUMENTS (THAT CONTROL SUBDIVISIONS, TRACTS, STREETS, OR HIGHWAYS, OR PROVIDE SURVEY CONTROL), WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTOR'S WORK. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE TO PROJECT ENGINEER/SURVEYOR, PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS. PROJECT ENGINEER/SURVEYOR SHALL COORDINATE WITH THE CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR, PER BUSINESS AND PROFESSIONS CODE SECTION 8771.
- DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON SITE AND ON HAUL ROUTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AN AIRBORNE DUST NUISANCE FROM THE CONSTRUCTION SITE BY WATERING AND/OR TREATING THE SITE IN SUCH A MANNER TO LIMIT THE EXTENT OF AIRBORNE DUST PARTICLES.

- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE SITE OR SURROUNDING AREA DUE TO DUST OR EROSION, RESULTING FROM WORK DONE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR MUNICIPAL, CONSTRUCTION AND INDUSTRIAL ACTIVITIES AS PROMULGATED BY THE CALIFORNIA STATE WATER RESOURCE CONTROL BOARD OR ANY OF ITS REGIONAL WATER QUALITY CONTROL BOARDS. REFER TO THE GRANT ROAD STORM WATER POLLUTION PREVENTION PLAN FOR EROSION CONTROL MEASURES.
- THESE PLANS SHOW EXISTING FEATURES INCLUDING BUT NOT LIMITED TO TREES, UTILITIES, AND STRUCTURES THAT MAY BE AFFECTED BY THE CONSTRUCTION OR PLACEMENT OF THE PROPOSED ENGINEERED IMPROVEMENTS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY NOTIFY THE ENGINEER IF THERE ARE ANY EXISTING FEATURES, WHETHER SHOWN OR NOT SHOWN ON THESE PLANS, THAT COULD IN ANY WAY BE IN POTENTIAL CONFLICT WITH THE DESIGN ON THESE PLANS. ALL WORK WITHIN THE VICINITY OF A POTENTIAL CONFLICT SHALL CEASE UNTIL AN ADEQUATE AND APPROPRIATE SOLUTION IS DETERMINED BY THE ENGINEER AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT CARLSON, BARBEE & GIBSON, INC. AT (925) 866-0322. ANY REVISIONS REQUIRE BUILDING DEPARTMENT APPROVAL BEFORE PROCEEDING WITH REVISED PLANS.
- PRIOR TO ANY TREES BEING REMOVED ALL TREES INDICATED TO BE PRESERVED SHALL BE PROTECTED IN PLACE UNDER SUPERVISION AND RECOMMENDATION BY ARBORIST.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL NECESSARY UTILITY RELOCATIONS. ALL GRADING WORK SHALL BE COORDINATED WITH THE DEMOLITION PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE COVER FOR THE PROTECTION OF ALL INSTALLED UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
- ALL GRADING, EROSION CONTROL, SITE PREPARATION, AND PLACING AND COMPACTION OF FILL SHALL BE DONE IN ACCORDANCE WITH THE CITY SPECIFICATIONS AND THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT. THIS WORK SHALL BE UNDER THE OBSERVATION OF THE SOILS ENGINEER SUBSEQUENT TO COMPLETION OF THE WORK. THE SOILS ENGINEER SHALL SUBMIT A REPORT TO THE CITY BUILDING INSPECTION DEPARTMENT STATING THAT ALL WORK HAS BEEN DONE TO HIS SATISFACTION.
- THE CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER AND THE CITY AT LEAST TWO WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY CARLSON, BARBEE & GIBSON, INC. IN WRITING IMMEDIATELY OF ANY DIFFERENCES IN TOPOGRAPHY FROM THAT SHOWN ON THIS PLAN WHICH MAY REQUIRE CHANGES IN DESIGN. THE CITY WILL ALSO NEED TO BE NOTIFIED, TO APPROVE DESIGN GRADING CHANGES PRIOR TO ANY CHANGES OCCURRING IN THE FIELD.
- THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPING AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC., AND TO AVOID THE CREATION OF ANY LOW SPOTS OR HAZARDOUS CONDITIONS OR ANY ABRUPT OR APPARENT CHANGES IN APPEARANCE, GRADES, OR CROSS SLOPES.
- MANHOLE, VALVE, AND METER BOX RIM ELEVATIONS (IF SHOWN) ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE RIMS AND COVERS TO THE FINISH PAVEMENT GRADE.
- THE CONTRACTOR SHALL COORDINATE THE SEWER, WATER, AND STORM DRAIN CONSTRUCTION IN A MANNER TO PREVENT ANY CONFLICTS WHERE UTILITY LINES CROSS EACH OTHER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PLANS FOR ALL OTHER UTILITIES FOR THIS PROJECT AND SHALL FAMILIARIZE HIMSELF THEREWITH, AND SHALL NOTIFY THE CIVIL ENGINEER IMMEDIATELY OF ANY CONFLICT WITH THIS PLAN PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR PERPETUATION OF ALL EXISTING MONUMENTS (THAT CONTROL SUBDIVISIONS, TRACTS, STREETS, OR HIGHWAYS, OR PROVIDE SURVEY CONTROL), WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTOR'S WORK. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE TO PROJECT ENGINEER/SURVEYOR, PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS. PROJECT ENGINEER/SURVEYOR SHALL COORDINATE WITH THE CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR, PER BUSINESS AND PROFESSIONS CODE SECTION 8771.
- NO CONSTRUCTION, DELIVERY, SERVICING OR OPERATION OF TOOL AND EQUIPMENT, SHALL BE CONDUCTED ON WEEKDAYS BETWEEN THE HOURS OF 8:00 P.M. AND 8:00 A.M., ON SATURDAYS BETWEEN THE HOURS OF 8:00 P.M. AND 9:00 A.M., AND ON SUNDAYS AND HOLIDAYS BETWEEN THE HOURS OF 6:00 P.M. AND 10:00 A.M. THE CONTRACTOR SHALL NOT WORK ON THE PROJECT OUTSIDE THE NORMAL WORKING HOURS, UNLESS PRIOR APPROVAL IS OBTAINED FROM THE CITY OR WHEN SPECIFICALLY REQUIRED BY THE CITY.

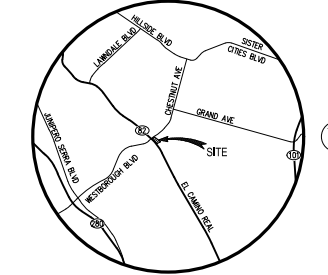
CITY CONSTRUCTION & OPERATION NOTES

- ACCESSIBLE PEDESTRIAN PATH OF TRAVEL SHALL BE MAINTAINED DURING CONSTRUCTION AT ALL TIMES.
- ALL EXCAVATION SPOILS SHALL BE LADED DIRECTLY INTO TRUCKS AND DISPOSED OF AT AN APPROVED DUMPSITE.
- STORAGE OF CONSTRUCTION MATERIALS AND EQUIPMENT WILL NOT BE ALLOWED IN OR UPON THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS INTENDED FOR USE ON ANY PROJECT SHALL BE OFF LOADED DIRECTLY FROM DELIVERY VEHICLES AND PLACED AS REQUIRED DURING THE COURSE OF CONSTRUCTION. SHOULD THE PERMIT HOLDER OR HIS/HER CONTRACTORS WISH TO STOCKPILE MATERIALS NEAR THE WORK SITE, THEY SHALL MAKE ARRANGEMENTS IN ADVANCE FOR STORAGE. ALL STORAGE SITES SHALL BE SECURE, INACCESSIBLE TO THE GENERAL PUBLIC AND KEPT FREE OF CONSTRUCTION SPOILS, DEBRIS AND TRASH AT ALL TIMES STORAGE SITES SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY ENGINEER.
- CONSTRUCTION SITES SHALL BE KEPT CLEAN AT ALL TIMES. AT NO TIME SHALL THE CONTRACTOR OR PERMIT HOLDER BE ALLOWED TO LEAVE THE SITE PRIOR TO THOROUGHLY CLEANING SIDEWALKS, CURBS, GUTTERS, AND STREET SURFACES. CLEANING SHALL BE ACCOMPLISHED BY EITHER HAND OR MACHINE SWEEPING AS REQUIRED. IN NO EVENT SHALL THE CONTRACTOR BE ALLOWED TO FLUSH THE STREETS WITH WATER UNTIL SUCH TIME AS THE AREA HAS BEEN COMPLETELY AND THOROUGHLY SWEEPED AND ALL DEBRIS PICKED UP AND PROPERLY DISPOSED OF.
- ALL EXCAVATIONS SHALL BE BACKFILLED AND COMPACTED AT DAY'S END. A MINIMUM OF TWO INCHES OF TEMPORARY PAVING SHALL BE INSTALLED AND COMPACTED BY MECHANICAL MEANS TO PRODUCE A SMOOTH SURFACE FOR PEDESTRIAN AND VEHICULAR TRAFFIC. TRAFFIC PLATES WILL NOT BE ALLOWED EXCEPT AS APPROVED BY THE ENGINEER DURING THE PERMIT APPLICATION PROCESS. INSTALLATION OF PLATES WILL ONLY BE ALLOWED IF A BONA FIDE EMERGENCY HAS BEEN DECLARED. IN THIS EVENT, PLATES WILL BE ALLOWED PROVIDED THEY ARE ANCHORED EITHER BY WELDING OR PINNED. ALL EDGES SHALL BE SECURED TO PREVENT RATTLING AND MOVEMENT AS WELL AS PROTECTED WITH TEMPORARY ASPHALT (MIN TWO FOOT TAPER). LONG TERM INSTALLATIONS, THOSE IN EXCESS OF FIVE DAYS, WILL BE ALLOWED, IF APPROVED BY THE CITY ENGINEER, PROVIDING THAT EXISTING SURFACES ARE GROUND TO ACCEPT PLATE INSTALLATIONS AND PROVIDE FOR A MATCHING SURFACE WHERE PLATE MEETS ROADWAY SURFACE.
- EQUIPMENT SHALL NOT BE STORED ON OR WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY ENGINEER. IF PERMITTED, EQUIPMENT SHALL BE SECURED AND LOCKED WITH PROTECTIVE COVERS IN PLACE. ADEQUATE BARRICADES WITH OPERABLE FLASHERS SHALL BE INSTALLED AROUND THE EQUIPMENT AND REMAIN IN WORKING ORDER AT ALL TIMES.
- IN THE EVENT OF NON-COMPLIANCE WITH PERMIT, PROJECT CONDITIONS AND/OR CITY STANDARDS FOR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, THE CITY WILL EXERCISE ITS RIGHT TO SUSPEND PROJECT PERMITS OR HALT WORK IN PROGRESS UNTIL SUCH TIME AS THE PERMIT HOLDER OR HIS CONTRACTOR IS IN COMPLIANCE. SHOULD THE CITY

- HAVE TO OBTAIN OUTSIDE SERVICES FOR CLEANING EQUIPMENT, TRANSPORT SERVICES, TOWING, CONTRACT PERSONNEL OR UTILIZE CITY FORCES FOR CLEANUP, THE CITY WILL BILL FOR ITS SERVICES AND EXPENSES INCLUDING ALL INCIDENTALS AND ADMINISTRATIVE OVERHEAD COSTS.
- AIR QUALITY DUST CONTROL: ALL CONSTRUCTION PROJECTS ARE REQUIRED TO COMPLY WITH THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT'S (BAAQMD) DUST CONTROL MEASURES. THESE MEASURES ARE LEVIED BY THE ENGINEERING DIVISION AS A CONDITION OF BUILDING PERMIT ISSUANCE AND ARE MONITORED FOR COMPLIANCE BY STAFF AND/OR SPECIAL CITY ENGINEERING AND/OR PLANNING INSPECTORS. THE MEASURES INCLUDE:
 - WATER ALL ACTIVE CONSTRUCTION SITES AT LEAST TWICE DAILY.
 - COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
 - PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT CONSTRUCTION SITES.
 - SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
 - SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
 - HYDROSEED OR APPLY (NON-TOXIC) SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS INACTIVE FOR TEN DAYS OR MORE).
 - ENCLOSE, COVER, WATER TWICE DAILY, OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILED MATERIALS.
 - INSTALL SANDBAGS OR OTHER EROSION-CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
 - REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
 - WATERING SHOULD BE USED TO CONTROL DUST GENERATION DURING THE BREAK-UP OF PAVEMENT.
 - COVER ALL TRUCKS HAULING DEMOLITION DEBRIS FROM THE SITE.
 - USE DUST-PROOF CHUTES TO LOAD DEBRIS INTO TRUCKS WHENEVER FEASIBLE.
 - WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
 - ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE IN PROPER RUNNING ORDER PRIOR TO OPERATION.
 - DIESEL POWERED EQUIPMENT SHALL NOT BE LEFT INACTIVE AND IDLING FOR MORE THAN FIVE MINUTES, AND SHALL COMPLY WITH APPLICABLE BAAQMD RULES.
 - USE ALTERNATIVE FUELED CONSTRUCTION EQUIPMENT, IF POSSIBLE.
 - ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MPH.
 - POST A VISIBLE SIGN WITH THE TELEPHONE NUMBER AND PERSON TO CONTACT AT THE LEAD AGENCY REGARDING DUST COMPLAINTS. THIS PERSON SHALL RESPOND AND TAKE CORRECTIVE ACTION WITHIN 24 HOURS. THE AIR DISTRICT PHONE NUMBER SHALL ALSO BE VISIBLE TO ENSURE COMPLIANCE WITH APPLICABLE REGULATIONS.
- CONTRACTORS MUST HAVE A CLASS A LICENSE FOR ANY WORK IN THE STREET (BEYOND THE FACE OF CURB). CONTRACTORS WITH A CLASS A LICENSE MAY PERFORM ANY AND ALL WORK ASSOCIATED WITH BUILDING PERMIT REQUIREMENTS. FOR CONCRETE WORK BETWEEN THE CURB AND THE BUILDING, A CLASS C-8 LICENSE IS SUFFICIENT. FOR PLUMBING WORK BETWEEN THE CURB AND THE BUILDING, A CLASS C-36 LICENSE IS SUFFICIENT. AN EXEMPTION MAY BE GRANTED BY THE CITY IF A RELATIVELY MINOR PORTION OF THE WORK IS NOT COVERED BY THE CONTRACTORS LICENSE.
- UPON COMPLETION OF THE SITE IMPROVEMENTS, THE DEVELOPER SHALL CLEAN, REPAIR, OR RECONSTRUCT THE CURB, GUTTER AND SIDEWALK ALONG THE ENTIRE FRONTAGE OF THE DEVELOPMENT AS MAY BE REQUIRED BY THE CITY ENGINEER TO CONFORM TO CITY STANDARDS, PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FOR THE BUILDING.
- DEVELOPER SHALL SUBMIT A VIDEO SURVEY OF ADJACENT STREETS (PERIMETER OF PROPOSED PROPERTY LOCATION) TO DETERMINE THE PRE-CONSTRUCTION CONDITION OF THE STREETS. THE DEVELOPER WILL BE RESPONSIBLE TO ENSURE THAT THE CONDITION OF THE STREET WILL REMAIN IN ITS EXISTING CONDITION, OR, IF DAMAGED REPAIR DAMAGE ON OR BEFORE OCCUPANCY.
- A HAUL ROUTE PERMIT IS REQUIRED PRIOR TO ISSUANCE ON A ENCROACHMENT PERMIT.

GEOTECHNICAL REPORT RECOMMENDATIONS

- GEOTECHNICAL RECOMMENDATIONS LISTED BELOW ARE PER THE "FINAL GEOTECHNICAL INVESTIGATION PROPOSED MIXED USE DEVELOPMENT 988 EL CAMINO REAL" DATED JUNE 7, 2018.
- UTILITY TRENCH BACKFILL & COMPACTION - EXCAVATIONS FOR UTILITY TRENCHES CAN BE READILY MADE WITH A BACKHOE. ALL TRENCHES SHOULD CONFORM TO THE CURRENT CAL-OSHA REQUIREMENTS. TO PROVIDE UNIFORM SUPPORT, PIPES OR CONDUITS SHOULD BE BEDDED ON A MINIMUM OF FOUR INCHES OF SAND OR FINE GRAVEL. AFTER THE PIPES AND CONDUITS ARE TESTED, INSPECTED (IF REQUIRED) AND APPROVED, THEY SHOULD BE COVERED TO A DEPTH OF SIX INCHES WITH SAND OR FINE GRAVEL, WHICH SHOULD BE MECHANICALLY TAMPED. BACKFILL FOR UTILITY TRENCHES AND OTHER EXCAVATIONS IS ALSO CONSIDERED FILL, AND SHOULD BE PLACED AND COMPACTED AS ACCORDING TO THE RECOMMENDATIONS PREVIOUSLY PRESENTED. IF IMPORTED CLEAN SAND OR GRAVEL (DEFINED AS SOIL WITH LESS THAN 10 PERCENT FINES) IS USED AS BACKFILL, IT SHOULD BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. JETTING OF TRENCH BACKFILL SHOULD NOT BE PERMITTED. SPECIAL CARE SHOULD BE TAKEN WHEN BACKFILLING UTILITY TRENCHES IN PAVEMENT AREAS. POOR COMPACTION MAY CAUSE EXCESSIVE SETTLEMENTS, RESULTING IN DAMAGE TO THE IMPROVEMENTS ABOVE THE FILL.



VICINITY MAP NOT TO SCALE

SHEET INDEX	
SHEET NO.	SHEET DESCRIPTION
CIVIL	
1	CONSTRUCTION BEST MANAGEMENT PRACTICES
2	CITY NOTES & CONDITIONS OF APPROVAL
3	CONDITIONS OF APPROVAL
4	LEGEND, STREET SECTIONS, STRUCTURE SCHEDULE, & DETAILS
5	APPLICABLE CITY STANDARD DETAILS
6	APPLICABLE CITY & CALTRANS STANDARD DETAILS
7	CHESTNUT AVENUE & EL CAMINO REAL INTERSECTION DETAIL
8	PRIVATE SANITARY SEWER CONNECTION DETAIL
9	DEMOLITION PLAN
10	EL CAMINO REAL (STATE ROUTE 82)
11	CHESTNUT AVENUE & CENTENNIAL WAY TRAIL
11A	EL CAMINO REAL & CHESTNUT AVENUE TC PLAN
12	UTILITY CROSSING & CURB RETURN PROFILES
13	SIGNING AND STRIPING PLAN
14	EROSION CONTROL NOTES
15	EROSION CONTROL PLAN
16	CONSTRUCTION BEST MANAGEMENT PRACTICES
LANDSCAPE	
L000	SHEET INDEX, KEY PLAN, NOTES
L100	MATERIALS PLAN
L101	MATERIALS PLAN & LEGEND
L200	PLANTING PLAN
L201	PLANTING PLAN & LEGEND
L300	IRRIGATION PLAN
L301	IRRIGATION PLAN
L302	IRRIGATION NOTES & LEGEND
L303	IRRIGATION DETAILS
L304	IRRIGATION DETAILS
L305	IRRIGATION DETAILS
L306	IRRIGATION WATER CALCULATIONS
L400	CONSTRUCTION DETAILS
L500	PLANTING DETAILS
TRAFFIC SIGNAL	
TS-1	GENERAL ELECTRIC NOTES
TS-2	TRAFFIC SIGNAL MODIFICATION
TS-3	TRAFFIC SIGNAL SCHEDULES
JOINT TRENCH	
JT1	COMPOSITE TITLE SHEET
JT2	GENERAL NOTES & DETAILS
JT3	SECTIONS & DETAILS
JT4	COMPOSITE PLAN
STREET LIGHT	
SL1	PUBLIC STREET LIGHTING TITLE SHEET
SL2	PUBLIC STREET LIGHTING SITE PLAN
PH1	PHOTOMETRIC PLAN
FIBER OPTIC	
FO1	FIBER OPTIC PLAN
TRAFFIC CONTROL	
TC-1	GENERAL NOTES & LEGEND
TC-2	FRONTAGE AND SANITARY SEWER LATERAL WORK
TC-3	SANITARY SEWER LATERAL WORK
TC-4	SANITARY SEWER LATERAL WORK
TC-5	SANITARY SEWER LATERAL WORK

CIVIL ENGINEER
PLANS PREPARED UNDER DIRECTION OF:
Ryan Hansen
RYAN T. HANSEN
RCE 80557
DATE: 03-01-2019

REVIEWED AND APPROVED BY:

CITY ENGINEER/PUBLIC WORKS DIRECTOR
DATE: _____

CITY OF SOUTH SAN FRANCISCO PUBLIC WORKS

REVIEWED AND APPROVED BY:

CITY OF SOUTH SAN FRANCISCO FIRE PREVENTION
DATE: _____

DATE: FEB 2019
DRAWN BY: RAB
PROJ ENGR: SOC
PROJ MGR: RTH
NO. BY DATE

REVISIONS

Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
www.cbgi.com
SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877

cbg

PUBLIC IMPROVEMENT PLANS
TITLE, GENERAL NOTES, SHEET INDEX & VICINITY MAP
CALIFORNIA
CITY OF SOUTH SAN FRANCISCO

988 EL CAMINO REAL

SHEET NUMBER
1
OF 16

JOB NUMBER
2718-000

F12718-000/ACAD/PP01.DWG

Exhibit B - Improvement Agreement

CITY SIDEWALK GENERAL NOTES

- SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% RELATIVE COMPACTION.
- WHERE UNSUITABLE SUBGRADE MATERIAL IS ENCOUNTERED, REMEDIAL WORK TO BE DONE UNDER THE DIRECTION OF THE CITY ENGINEER, INCLUDES BUT IS NOT LIMITED TO, REMOVING UNSUITABLE MATERIAL AND PLACING A LAYER OF CLASS II AGGREGATE BASE UNDER THE INSTALLATION.
- UNDERCUT SUBGRADE FOR GUTTER OR SIDEWALK SHALL BE FILLED WITH APPROVED GRANULAR MATERIAL.
- EXISTING CONCRETE SHALL BE REMOVED AT EXPANSION OR WEAKENED PLANE JOINTS OR AT SAWCUTS.
- SAWCUTS MUST BE FULL DEPTH.
- NO UTILITY BOXES, POLES, POSTS OR ANY OTHER FACILITIES OR DEVICES WILL BE PERMITTED IN THE SIDEWALK AREA WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER.
- NEW WORK SHALL MATCH EXISTING IN SCORE AND COLOR.
- SUBGRADE SHALL BE THOROUGHLY WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE STATE CLASS A-6 SACK MIX – WITH 1-INCH MAXIMUM AGGREGATE. 1/2 TO 3/4 LB. OF LAMPBLACK SHALL BE ADDED PER CUBIC YARD OF CONCRETE MIX.
- CONCRETE SHALL HAVE A SLUMP OF NOT MORE THAN 4 INCHES.
- NO ADMIXTURES SHALL BE USED WITHOUT THE PERMISSION OF THE CITY ENGINEER.
- 1/2-INCH THICK EXPANSION JOINTS SHALL BE PLACED ON BOTH SIDES OF DRIVEWAY APPROACHES, CURB, GUTTER, AND SIDEWALK RETURN POINTS AND AT 20' FEET ON CENTER.
- WEAKENED PLANE JOINTS AT LEAST 1-1/2 INCHES DEEP SHALL BE PLACED AT THE CENTER OF DRIVEWAYS AND 20' ON CENTER.
- 1/4-INCH DEEP SCORE MARKS SHALL BE PLACED AS DESCRIBED IN THE STANDARD SPECIFICATIONS OR AS DIRECTED BY THE CITY ENGINEER.
- NO CONCRETE SHALL BE PLACED UNTIL THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE HAS INSPECTED AND APPROVED FORMS AND SUBGRADE.
- ALL EXPOSED EDGES SHALL BE ROUNDED WITH 1/2-INCH RADIUS TOOL.
- ALL SURFACES SHALL BE BROOM FINISHED.
- CURBS, SIDEWALKS AND DRIVEWAY APPROACHES SHALL BE BACKFILLED WITHIN 7 DAYS AFTER PLACING CONCRETE. THIS SHALL INCLUDE ANY REQUIRED AC PATCHWORK.
- FORM FACES SHALL NOT VARY FROM THE DIMENSIONS SHOWN BY MORE THAN .02 FEET. FORMS SHALL MEET GRADE.
- UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS, CONCRETE SHALL BE CURED BY MEANS OF THE IMPERVIOUS MEMBRANE METHOD.
- ALL SIDEWALK CONSTRUCTED ADJACENT TO CURBS SHALL BE POURED MONOLITHIC WITH CURB UNLESS OTHERWISE APPROVED BY CITY ENGINEER.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A STATE LICENSED "CLASS A" CONTRACTOR. A CONCRETE CONTRACTOR WITH A "C" LICENSE MAY PERFORM CONCRETE FLATWORK.
- ALL PAVING SHALL BE COMPLETED NO LATER THAN 5 DAYS AFTER INSTALLATION OF UTILITY.
- A MINIMUM OF 6" OF ASPHALT SHALL BE REMOVED ALONG THE GUTTER LIP FOR THE INSTALLATION OF FORMS. FOR CURB AND GUTTER INSTALLATIONS AC SHALL BE BROUGHT TO FINISH GRADE OF FORMS AND TRANSITIONED AS REQUIRED BY THE CITY ENGINEER.
- ALL ASPHALT REPAIRS SHALL BE FLUSH WITH THE ADJACENT SURFACES AT CONFORMS AND EDGES. MAXIMUM ALLOWABLE TOLERANCES SHALL BE .01" LONGITUDINALLY AND .02" TRANSVERSELY.
- ALL FACE ANGLE INSTALLATIONS IN RETURNS SHALL MATCH EXISTING RADIUS OF CURB.

CONDITIONS OF APPROVAL

PLANNING:

- THE APPLICANT SHALL COMPLY WITH THE PLANNING DIVISION'S STANDARD CONDITIONS AND LIMITATIONS FOR COMMERCIAL, INDUSTRIAL, MIXED-USE AND MULTI-FAMILY RESIDENTIAL PROJECTS, AS AMENDED AND ATTACHED TO THIS DOCUMENT, EXCEPT WHERE OTHERWISE AMENDED BY THE FOLLOWING CONDITIONS OF APPROVAL.
- THE PROJECT SHALL BE CONSTRUCTED AND OPERATED SUBSTANTIALLY AS INDICATED ON THE PLAN SET PREPARED BY SUMMERHILL APARTMENT COMMUNITIES, DATED DECEMBER 1, 2017 AND APPROVED BY THE CITY COUNCIL IN ASSOCIATION WITH P17-0960 AS AMENDED BY THE CONDITIONS OF APPROVAL. THE FINAL PLANS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY'S CHIEF PLANNER.
- THE CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE CITY COUNCIL APPROVED PLANS, AS AMENDED BY THE CONDITIONS OF APPROVAL, INCLUDING THE PLANS PREPARED BY SUMMERHILL APARTMENT COMMUNITIES, DATED DECEMBER 1, 2017.
- ANY MODIFICATION TO THE APPROVED PLANS SHALL BE SUBJECT TO SSMC SECTION 20.450.012 ("MODIFICATION"), WHEREBY THE CHIEF PLANNER MAY APPROVE MINOR CHANGES. ALL EXTERIOR DESIGN MODIFICATIONS, INCLUDING ANY AND ALL UTILITIES, SHALL BE PRESENTED TO THE CHIEF PLANNER FOR A DETERMINATION.
- THE PROJECT CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE FOLLOWING RECOMMENDATIONS OF THE ENVIRONMENTAL NOISE ASSESSMENT PREPARED BY CHARLES M. SALTER ASSOCIATES, DATED JULY 7, 2017, OR THE RECOMMENDATIONS OF A FUTURE NOISE ASSESSMENT IF APPROVED BY THE CHIEF PLANNER:
 - FOR COMMERCIAL SPACES, PROVIDE RECOMMENDED SOUND TRANSMISSION CLASS (STC) RATED EXTERIOR DOORS AND WINDOWS, AS ILLUSTRATED IN FIGURE 2 OF THE ASSESSMENT.
 - FOR RESIDENTIAL UNITS, PROVIDE RECOMMENDED STC RATED WINDOWS AND EXTERIOR DOORS, AS ILLUSTRATED IN FIGURE 3 OF THE ASSESSMENT.
 - INCORPORATE NOISE BARRIERS AT OUTDOOR OPEN SPACE LOCATIONS TO REDUCE NOISE LEVELS TO CNEL 70 DB. EFFECTIVE NOISE BARRIERS MAY BE COMPRISED OF VARIOUS MATERIALS INCLUDING CMU, PLASTER, WOOD (ENHANCED FENCING), GLASS AND PLASTIC. THEY SHOULD BE SOLID FROM BOTTOM TO TOP WITH NO CRACKS OR GAPS, AND SHOULD HAVE A MINIMUM SURFACE DENSITY OF APPROXIMATELY THREE POUNDS PER SQUARE FOOT.
 - THE PROJECT'S CONSTRUCTION DRAWINGS AND OPERATIONAL PLAN SHALL COMPLY WITH THE FOLLOWING RECOMMENDATIONS OF THE 988 EL CAMINO REAL TRAFFIC STUDY, PREPARED BY HEXAGON TRANSPORTATION CONSULTANTS, INC., DATED JANUARY 5, 2018:
 - RESIDENTIAL MOVE-IN AND MOVE-OUT OPERATIONS SHOULD BE RESTRICTED TO OUTSIDE OF THE PM PEAK TRAFFIC HOURS ON EL CAMINO REAL.
 - THE PROJECT WILL BE REQUIRED TO IMPLEMENT A TDM (TRAVEL DEMAND MANAGEMENT) PROGRAM THAT WILL ENCOURAGE RESIDENTS TO MEET THEIR DAILY NEEDS BY WALKING, BICYCLING OR TAKING TRANSIT TO

- SUPPORT A HEALTHY COMMUNITY, AND REDUCE TRAFFIC CONGESTION AND RESULTING GREENHOUSE GAS EMISSIONS. A FINAL TDM PLAN SHALL BE SUBMITTED TO THE CHIEF PLANNER FOR REVIEW AND APPROVAL DURING THE BUILDING PERMIT APPLICATION PROCESS. THE APPLICANT WILL SUBMIT ANNUAL REPORTS AS REQUIRED BY THE FINAL TDM PLAN TO DEMONSTRATE COMPLIANCE.
- INSTALL A PEDESTRIAN WARNING SYSTEM AT THE EL CAMINO REAL DRIVEWAY TO ALERT PEDESTRIANS WHEN A VEHICLE IS EXITING THE PROJECT.
 - CONTRIBUTE THE PROJECT'S FAIR SHARE TOWARDS MODIFYING THE SIGNAL TIMING TO OPTIMIZE THE CYCLE LENGTH AT THE INTERSECTION OF EL CAMINO REAL AND CHESTNUT AVENUE.
 - RESIDENTIAL PARKING SPACES SHALL BE ASSIGNED TO UNITS, TO MINIMIZE CONFLICT WITHIN THE PARKING AREA.
 - ANY TANDEM PARKING SPACES SHALL BE ASSIGNED TO THE SAME UNIT.
 - THE RESIDENTIAL PARKING AREAS SHALL BE SECURE, WITH ACCESS PROVIDED VIA KEY CARD OR FOB.
 - RESIDENTIAL, COMMERCIAL, AND VISITOR PARKING AREAS SHALL ALL BE CLEARLY SIGNED, TO HELP DIRECT VEHICLE TRAFFIC ON-SITE.
 - PRIOR TO THE ISSUANCE OF BUILDING PERMITS, THE APPLICANT'S PROJECT GEOTECHNICAL CONSULTANT SHALL COMPLETE A FINAL GEOTECHNICAL EVALUATION ADDRESSING RECOMMENDATIONS AS OUTLINED IN THE 988 EL CAMINO REAL PRELIMINARY GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY ROCKRIDGE GEOTECHNICAL, DATED MARCH 6, 2017.
 - IN CONFORMANCE WITH THE ECR/C AREA PLAN PROGRAM EIR AIR QUALITY SECTION, THE FOLLOWING MEASURES SHALL BE IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR:
 - BAAQMD REQUIRED FUGITIVE DUST CONTROL MEASURES: THE CONSTRUCTION CONTRACTOR SHALL REDUCE CONSTRUCTION-RELATED AIR POLLUTANT EMISSIONS BY IMPLEMENTING BAAQMD'S BASIC FUGITIVE DUST CONTROL MEASURES, INCLUDING:
 - ALL EXPOSED SURFACES (E.G., PARKING AREAS, STAGING AREAS, SOIL PILES, GRADED AREAS, AND UNPAVED ACCESS ROADS) SHALL BE WATERED TWO TIMES PER DAY.
 - ALL HAUL TRUCKS TRANSPORTING SOIL, SAND, OR OTHER LOOSE MATERIAL OFF SITE SHALL BE COVERED.
 - ALL VISIBLE MUD OR DIRT TRACK-OUT ONTO ADJACENT PUBLIC ROADS SHALL BE REMOVED USING WET POWER VACUUM STREET SWEEPERS AT LEAST ONCE PER DAY. THE USE OF DRY POWER SWEEPING IS PROHIBITED.
 - ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
 - ALL ROADWAYS, DRIVEWAYS, AND SIDEWALKS TO BE PAVED SHALL BE COMPLETED AS SOON AS POSSIBLE. BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.
 - A PUBLICLY VISIBLE SIGN SHALL BE POSTED WITH THE TELEPHONE NUMBER AND PERSON TO CONTACT AT THE LEAD AGENCY REGARDING DUST COMPLAINTS. THIS PERSON SHALL RESPOND AND TAKE CORRECTIVE ACTION WITH 48 HOURS. THE AIR DISTRICT'S PHONE NUMBER SHALL ALSO BE VISIBLE TO ENSURE COMPLIANCE WITH APPLICABLE REGULATIONS.
 - BAAQMD REQUIRED BASIC EXHAUST EMISSIONS REDUCTION MEASURES. THE CONSTRUCTION CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES DURING CONSTRUCTION TO REDUCE CONSTRUCTION-RELATED EXHAUST EMISSIONS:
 - IDLING TIMES SHALL BE MINIMIZED EITHER BY SHUTTING EQUIPMENT OFF WHEN NOT IN USE OR REDUCING THE MAXIMUM IDLING TIME TO FIVE MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXICS CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS). CLEAR SIGNAGE SHALL BE PROVIDED FOR CONSTRUCTION WORKERS AT ALL ACCESS POINTS.
 - ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
 - BAAQMD TOXIC AIR CONTAMINANTS (TAC) REQUIREMENTS. THE CONSTRUCTION CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES DURING DEMOLITION AND CONSTRUCTION TO REDUCE TAC EMISSIONS:
 - NOTIFY BAAQMD AT LEAST TEN BUSINESS DAYS BEFORE ANY DEMOLITION ACTIVITIES. THE PURPOSE OF THE NOTIFICATION PROCESS IS TO ASSURE THAT BUILDINGS ARE DEMOLISHED IN COMPLIANCE WITH PROCEDURES THAT ASSURE ASBESTOS IS NOT RELEASED INTO THE ENVIRONMENT.
 - REQUIRE SURVEYS AND REMOVAL OF LEAD-BASED PAINTS BY LICENSED CONTRACTORS CERTIFIED IN THE HANDLING METHODS REQUISITE TO PROTECT THE ENVIRONMENT, PUBLIC HEALTH, AND SAFETY.
 - BAAQMD ARCHITECTURAL COATING REQUIREMENT. THE CONSTRUCTION CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO REDUCE EMISSIONS OF VOLATILE ORGANIC COMPOUNDS (VOCs):
 - USE PAINTS AND SOLVENTS WITH A VOC CONTENT OF 100 GRAMS PER LITER OR LESS FOR INTERIOR AND 150 GRAMS PER LITER OR LESS FOR EXTERIOR SURFACES.
 - BAAQMD HEARTH EMISSIONS.
 - IF FIREPLACES OR WOOD BURNING STOVES ARE INSTALLED IN NEW RESIDENTIAL UNITS, REQUIRE CLEANER-BURNING (E.G., NATURAL GAS OR PROPANE) USEPA-CERTIFIED STOVES AND INSERTS.
 - EXHAUST EMISSIONS REDUCTION. THE CONSTRUCTION CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES DURING CONSTRUCTION TO FURTHER REDUCE CONSTRUCTION-RELATED EXHAUST EMISSIONS: ALL OFF-ROAD EQUIPMENT GREATER THAN 25 HORSEPOWER (HP) AND OPERATING FOR MORE THAN 20 TOTAL HOURS OVER THE ENTIRE DURATION OF CONSTRUCTION ACTIVITIES SHALL MEET THE FOLLOWING REQUIREMENTS:
 - WHERE ACCESS TO ALTERNATIVE SOURCES OF POWER ARE AVAILABLE, PORTABLE DIESEL ENGINES SHALL BE PROHIBITED; AND ALL OFF-ROAD EQUIPMENT SHALL HAVE:
 - ENGINES THAT MEET OR EXCEED EITHER USEPA OR CARB TIER 2 OFF-ROAD EMISSION STANDARDS, AND
 - ENGINES THAT ARE RETROFITTED WITH A CARB LEVEL 3 VERIFIED DIESEL EMISSIONS CONTROL STRATEGY (VOECS). ACCEPTABLE OPTIONS FOR REDUCING EMISSIONS INCLUDE THE USE OF LATE MODEL ENGINES, LOW-EMISSION DIESEL PRODUCTS, ALTERNATIVE FUELS, ENGINE RETROFIT TECHNOLOGY, AFTER-TREATMENT PRODUCTS, ADD-ON DEVICES SUCH AS PARTICULATE FILTERS, AND/OR OTHER OPTIONS AS SUCH ARE AVAILABLE.
 - IN CONFORMANCE WITH THE ECR/C AREA PLAN PROGRAM EIR BIOLOGICAL RESOURCES SECTION, THE FOLLOWING MEASURE SHALL BE IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR:
 - NESTING BIRDS: IF VEGETATION REMOVAL WERE TO OCCUR DURING THE FEBRUARY 1 THROUGH AUGUST 31 BIRD NESTING PERIOD, CONSTRUCTION WOULD BE REQUIRED TO COMPLY WITH APPLICABLE REGULATIONS IN THE CALIFORNIA FISH AND GAME CODE (SECTION 3503, 3513, OR 3500), WHICH WOULD PROTECT NESTING BIRDS FROM CONSTRUCTION DISTURBANCES AND COMPLIANCE WOULD BE REQUIRED IN CONFORMANCE WITH THE ECR/C AREA PLAN PROGRAM EIR CULTURAL RESOURCES SECTION, STATE LAW, AND GENERAL PLAN POLICIES, THE FOLLOWING MEASURES SHALL BE IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR:
 - IN THE EVENT THAT POTENTIALLY SIGNIFICANT CULTURAL RESOURCES ARE DISCOVERED, WORK SHALL HALT IN THE AREA UNTIL A QUALIFIED ARCHAEOLOGIST CAN ASSESS THE SIGNIFICANCE OF THE FIND, AND IF NECESSARY, DEVELOP APPROPRIATE TREATMENT MEASURES IN CONSULTANT WITH THE CITY AND OTHER APPROPRIATE AGENCIES AND INTERESTED PARTIES.
 - IN THE EVENT THAT ARCHAEOLOGICAL RESOURCES ARE UNCOVERED, REQUIRE THE PREPARATION OF RESOURCE MITIGATION AND MONITORING PROGRAM BY A QUALIFIED ARCHAEOLOGIST, IN ACCORDANCE WITH STATE LAW AND GENERAL PLAN POLICY 7.5-1-5.
 - IN THE EVENT THAT HUMAN REMAINS OR NATIVE AMERICAN ORIGIN ARE DISCOVERED DURING PROJECT CONSTRUCTION, THE PROJECT WOULD BE REQUIRED TO COMPLY WITH STATE LAWS RELATING TO THE DISPOSAL OF NATIVE AMERICAN BURIALS.

IN ADDITION, IN CONFORMANCE WITH THE CIVIC CENTER SUPPLEMENTAL EIR, THE FOLLOWING ARE INCLUDED AS

- CONDITIONS OF APPROVAL, AS THEY PROVIDE MORE DETAIL ABOUT IMPLEMENTATION OF STATE LAW.
- AN ARCHAEOLOGIST APPROVED BY THE CITY AND MEETING THE SECRETARY OF THE INTERIOR'S STANDARDS FOR ARCHAEOLOGY SHALL CONDUCT A PRECONSTRUCTION MEETING FOR ALL CONSTRUCTION WORKERS WHO WILL BE DISTURBING THE GROUND ON THE EASTERN PROJECT SITE. THE PRECONSTRUCTION MEETING SHALL COVER ARCHAEOLOGICAL AND TRIBAL CULTURAL RESOURCES SENSITIVITY, SAFETY, AND NEXT STEPS IF A RESOURCE IS IDENTIFIED, AND SHALL BE CONDUCTED ON THE FIRST DAY OF CONSTRUCTION.
 - IF DEPOSITS OF PREHISTORIC OR HISTORIC PERIOD ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED DURING PROJECT CONSTRUCTION ON THE PROJECT SITE, ALL WORK WITHIN 50 FEET WILL BE HALTED UNTIL AN ARCHAEOLOGIST CAN EVALUATE THE FINDINGS AND MAKE RECOMMENDATIONS. PREHISTORIC MATERIALS CAN INCLUDE FLAKED-STONE TOOLS (E.G., PROJECTILE POINTS, KNIVES, CHOPPERS) OR OBSIDIAN, CHERT, OR QUARTZITE TOOLMAKING DEBRIS; CULTURALLY DARKENED SOIL (I.E., MIDDEN SOIL OFTEN CONTAINING HEAT-AFFECTED ROCK, ASH, AND CHARCOAL, SHELLFISH REMAINS, AND CULTURAL MATERIALS); AND STONE MILLING EQUIPMENT (E.G., MORTARS, PESTLES, HANDSTONES). HISTORIC PERIOD MATERIALS MIGHT INCLUDE WOOD, STONE, OR CONCRETE FOOTINGS, WALLS, AND OTHER STRUCTURAL REMAINS; DEBRIS-FILLED WELLS OR PRIVIES; AND DEPOSITS OF WOOD, METAL, GLASS, CERAMICS, AND OTHER REFUSE. THE CITY SHALL CONSIDER THE MITIGATION RECOMMENDATIONS AND AGREE ON IMPLEMENTATION OF THE MEASURE(S) THAT ARE FEASIBLE AND APPROPRIATE. SUCH MEASURES MAY INCLUDE AVOIDANCE, PRESERVATION IN PLACE, EXCAVATION, DOCUMENTATION, CURATION, OR OTHER APPROPRIATE MEASURES. AFTER THE MEASURES HAVE BEEN PUT INTO PLACE, CONSTRUCTION ACTIVITIES MAY RESUME.
 - IF DEPOSITS OF PALEONTOLOGICAL RESOURCES ARE ENCOUNTERED DURING PROJECT CONSTRUCTION ON THE PROJECT SITE, ALL WORK WITHIN 50 FEET WILL BE HALTED UNTIL A QUALIFIED PALEONTOLOGIST CAN EVALUATE THE FINDINGS AND MAKE RECOMMENDATIONS. WORK WILL NOT COMMENCE UNTIL SIGNIFICANCE OF THE FIND HAS BEEN DETERMINED AND THE FIND HAS BEEN EVALUATED.
- TO CLARIFY THE ABOVE CONDITIONS OF APPROVAL, THE FOLLOWING IMPLEMENTATION MEASURES ARE REQUIRED, WHICH PROVIDE ADDITIONAL DETAIL ABOUT HOW TO MEET THE STATE LAW REQUIREMENTS:
- SITE MONITORING BY A QUALIFIED ARCHAEOLOGIST WHICH SHALL BE GOVERNED BY A WRITTEN ARCHAEOLOGICAL MONITORING AGREEMENT (AMA),
 - RECORDATION OF ARCHAEOLOGICAL PREHISTORIC SHELL MIDDEN DEPOSIT, SUBMITTED TO THE NORTHWEST INFORMATION CENTER (NWIC) TO CALIFORNIA HISTORICAL RESOURCES INFORMATION SYSTEM (CHRIS) STANDARDS,
 - SUBMITTAL OF A FINAL REPORT OF THE SITE MONITORING AND IMPACT MITIGATION EFFORTS TO THE NORTHWEST INFORMATION CENTER (NWIC) OF THE CHRIS.
 - PRIOR TO ISSUANCE OF ANY BUILDING OR CONSTRUCTION PERMITS FOR LANDSCAPING IMPROVEMENTS, THE APPLICANT SHALL SUBMIT FINAL LANDSCAPING AND IRRIGATION PLANS FOR REVIEW AND APPROVAL BY THE CITY'S LANDSCAPE ARCHITECT. THE PLANS SHALL INCLUDE DOCUMENTATION OF COMPLIANCE WITH SSMC § 20.300.007 "LANDSCAPING", INCLUDING WATER EFFICIENT LANDSCAPING AND IRRIGATION CALCULATIONS.
 - LANDSCAPED AREAS IN THE PROJECT AREA MAY CONTAIN TREES DEFINED AS PROTECTED BY THE SOUTH SAN FRANCISCO TREE PRESERVATION ORDINANCE, TITLE 13, CHAPTER 13.30. ANY REMOVAL OR PRUNING OF PROTECTED TREES SHALL COMPLY WITH THE TREE PRESERVATION ORDINANCE AND OBTAIN A PERMIT FOR ANY TREE REMOVALS OR ALTERATIONS OF PROTECTED TREES, AND AVOID TREE ROOTS DURING TRENCHING FOR UTILITIES.
 - PRIOR TO ISSUANCE OF ANY BUILDING PERMITS FOR VERTICAL CONSTRUCTION, THE DEVELOPER SHALL REVISE THE DEVELOPMENT PLANS TO ADDRESS THE DESIGN REVIEW BOARD COMMENTS FROM THE MEETING OF DECEMBER 19, 2017 SUBJECT TO REVIEW AND APPROVAL BY THE CHIEF PLANNER OR DESIGNEE:
 - ADD VISUAL INTEREST INTO THE PEDESTRIAN ENTRY AISLE TO CREATE A SENSE OF ARRIVAL TO THE SITE AND BUILDING.
 - PRIOR TO ISSUANCE OF ANY BUILDING PERMITS FOR VERTICAL CONSTRUCTION, THE DEVELOPER SHALL INCLUDE IN THE DEVELOPMENT PLANS THE FOLLOWING CLIMATE ACTION PLAN REQUIREMENTS, SUBJECT TO REVIEW AND APPROVAL BY THE CHIEF PLANNER OR DESIGNEE:
 - INSTALL CONDUIT TO ACCOMMODATE WIRING FOR SOLAR.
 - USE OF HIGH-ALBEDO SURFACES AND TECHNOLOGIES AS APPROPRIATE, AS IDENTIFIED IN THE VOLUNTARY CALGREEN STANDARDS.
 - IMPLEMENT THE WATER EFFICIENT LANDSCAPE ORDINANCE. ESTABLISH A VARIABLE-SPEED PUMP EXCHANGE FOR WATER FEATURES
 - RESTRICT HOURS OF IRRIGATION TO OCCUR BETWEEN 3:00 AM AND TWO HOURS AFTER SUNRISE
 - INSTALL IRRIGATION CONTROLLERS WITH RAINS SENSORS
 - LANDSCAPE WITH NATIVE, WATER-EFFICIENT PLANTS
 - INSTALL DRIP IRRIGATION SYSTEMS
 - REDUCE IMPERVIOUS SURFACES TO THE MAXIMUM EXTENT PRACTICAL
 - THE APPLICANT WILL COMPLY WITH ALL GREEN BUILDING MEASURES INCLUDED IN THE GREENPOINT SCORECARD, PREPARED BY KRANTZ CONSULTANTS. A CERTIFIED GREENPOINT RATER WILL BE ON-SITE DURING THE APPROPRIATE TIMES DURING THE CONSTRUCTION PROCESS, TO VERIFY COMPLIANCE.
 - INSTALL STREET LIGHTING ALONG THE SIDEWALK FRONTAGE ON EL CAMINO REAL, CONSISTENT WITH THE CITY'S GRAND BOULEVARD INITIATIVE PLANS, AND ON CHESTNUT AVENUE PER CITY SPECIFICATIONS AND SPACING REQUIREMENTS. LIGHTING OPTIONS SHALL BE SHARED WITH PLANNING DIVISION STAFF FOR REVIEW AND APPROVAL DURING THE BUILDING PERMIT PROCESS.
 - INSTALL STREET FURNITURE, TRASH RECEPTACLES, AND BICYCLE RACKS ALONG THE SIDEWALK FRONTAGES ON EL CAMINO REAL AND CHESTNUT AVENUE, AND ALONG THE CENTENNIAL WAY TRAIL, PER CITY SPECIFICATIONS AND SPACING REQUIREMENTS. ALL STREET FURNITURE, TRASH RECEPTACLES AND BICYCLE RACK OPTIONS SHALL BE SHARED WITH THE PLANNING DIVISION FOR REVIEW AND APPROVAL DURING THE BUILDING PERMIT PROCESS.
 - THE APPLICANT SHALL INSTALL THREE-INCH DIAMETER, PVC CONDUIT ALONG THE PROJECT FRONTAGE, IN THE RIGHT-OF-WAY, IF ANY TRENCHING IS TO TAKE PLACE. CONDUIT SHALL HAVE A PULL ROPE OR TAPE. A #8 STRANDED TRACE WIRE WILL BE INSTALLED IN THE CONDUIT OR OTHER TRACE WIRE SYSTEM APPROVED BY THE CITY.
 - ALL LANDSCAPING AND FITNESS EQUIPMENT INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.
 - APPLICANT SHALL SUBMIT FINAL DESIGN OF THE PUBLICLY ACCESSIBLE OPEN SPACE AND RECREATION AREAS TO THE CITY'S LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
 - IF ANY IMPROVEMENTS OR CONSTRUCTION OCCUR WITHIN THE BART RIGHT-OF-WAY, THE APPLICANT SHALL WORK WITH THE CITY AND BART TO OBTAIN ALL APPLICABLE PERMITS FROM BART.
 - THE APPLICANT SHALL OBTAIN APPROVAL FROM CALTRANS FOR ALL IMPROVEMENTS WITHIN THE CALTRANS RIGHT-OF-WAY.
 - THE APPLICANT SHALL SUBMIT FINAL DESIGNS OF ALL OFF-SITE IMPROVEMENTS FOR CITY REVIEW AND APPROVAL.
 - APPLICANT SHALL COMPLY WITH ALL RESTRICTIONS REQUIRED BY THE PG&E EASEMENT. ALL CONSTRUCTION AND MAINTENANCE ON-SITE MUST COMPLY WITH PG&E'S SAFETY REQUIREMENTS FOR WORK AROUND THE PIPELINE EASEMENT.
 - ALL PARKING AREAS ARE TO BE MAINTAINED FREE AND CLEAR OF LITTER AND STORAGE AND SHALL REMAIN CLEAR FOR PARKING AT ALL TIMES. NO OUTDOOR STORAGE OF MATERIALS OR PERSONAL ITEMS IS PERMITTED.
 - THE APPLICANT IS RESPONSIBLE FOR MAINTAINING SITE SECURITY PRIOR TO, AND THROUGHOUT THE CONSTRUCTION PROCESS. THIS INCLUDES INSTALLATION OF APPROPRIATE FENCING, LIGHTING, REMOTE

- MONITORS, OR ON-SITE SECURITY PERSONNEL AS NEEDED.
- ALL EQUIPMENT (EITHER ROOF, BUILDING, OR GROUND-MOUNTED) SHALL BE SCREENED FROM VIEW THROUGH THE USE OF INTEGRAL ARCHITECTURAL ELEMENTS, SUCH AS ENCLOSURES OR ROOF SCREENS, AND LANDSCAPE SCREENING OR SHALL BE INCORPORATED INSIDE THE EXTERIOR BUILDING WALL. EQUIPMENT ENCLOSURES AND/OR ROOF SCREENS SHALL BE PAINTED TO MATCH THE BUILDING. PRIOR TO ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL SUBMIT PLANS SHOWING UTILITY LOCATIONS, STAND-PIPES, EQUIPMENT ENCLOSURES, LANDSCAPE SCREENS, AND/OR ROOF SCREENS FOR REVIEW AND APPROVAL BY THE CHIEF PLANNER.
 - NO SIGNS ARE INCLUDED IN THIS PERMIT APPLICATION. PRIOR TO INSTALLATION OF ANY SIGNAGE, THE APPLICANT SHALL SUBMIT AN APPROPRIATE SIGN APPLICATION PER CHAPTER 20.360 OF THE ZONING ORDINANCE FOR REVIEW AND APPROVAL.
 - PRIOR TO ISSUANCE OF ANY BUILDING OR CONSTRUCTION PERMITS FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS, THE FINAL DESIGN FOR ALL PUBLIC IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER AND CHIEF PLANNER.
 - PRIOR TO ISSUANCE OF ANY BUILDING OR CONSTRUCTION PERMITS FOR GRADING IMPROVEMENTS, THE APPLICANT SHALL SUBMIT FINAL GRADING PLANS FOR REVIEW AND APPROVAL BY THE CITY ENGINEER AND CHIEF PLANNER.
 - THE APPLICANT IS RESPONSIBLE FOR PROVIDING SITE SIGNAGE DURING CONSTRUCTION, CONTAINING CONTACT INFORMATION FOR QUESTIONS FROM THE PUBLIC REGARDING THE CONSTRUCTION.
 - PRIOR TO THE ISSUANCE OF ANY BUILDING OR CONSTRUCTION PERMITS, THE APPLICANT SHALL CONTACT THE SOUTH SAN FRANCISCO SCAVENGER COMPANY TO PROPERLY SIZE ANY REQUIRED TRASH ENCLOSURES AND WORK WITH STAFF TO LOCATE THE TRASH ENCLOSURE IN ACCORDANCE WITH THE ZONING ORDINANCE, SSMC 20.300.014. AN APPROVAL LETTER FROM SOUTH SAN FRANCISCO SCAVENGER SHALL BE PROVIDED TO THE CHIEF PLANNER.
 - AFTER THE BUILDING PERMITS ARE APPROVED, BUT BEFORE BEGINNING CONSTRUCTION, THE APPLICANT SHALL HOLD A PRECONSTRUCTION CONFERENCE WITH CITY PLANNING, BUILDING, AND ENGINEERING STAFF AND OTHER INTERESTED PARTIES. THE DEVELOPER SHALL ARRANGE FOR THE ATTENDANCE OF THE CONSTRUCTION MANAGER, CONTRACTOR, AND ALL RELATED SUBCONTRACTORS.
 - THE APPLICANT SHALL SUBMIT A PARKING AND TRAFFIC CONTROL PLAN FOR CONSTRUCTION WITH THE APPLICATION FOR BUILDING PERMIT, FOR REVIEW AND APPROVAL BY THE CHIEF PLANNER AND CITY ENGINEER
 - THE APPLICANT SHALL PROVIDE A LARGE-SCALE MOCKUP OF A SECTION OF A REPRESENTATIVE EXTERIOR WALL THAT SHOWS THE CLADDING MATERIALS AND FINISHES, WINDOWS, TRIM, AND ANY OTHER ARCHITECTURAL FEATURES OF THE BUILDING TO FULLY ILLUSTRATE TYPICAL BUILDING FENESTRATION. A SITE INSPECTION BY PLANNING DIVISION STAFF WILL BE REQUIRED PRIOR TO PROCEEDING WITH EXTERIOR CONSTRUCTION. UPON INSPECTION AND APPROVAL, THE APPLICANT MAY REMOVE THE MOCK-UP WALL.
 - THE FINAL PARCEL MAP SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF SSMC TITLE 19 (SUBDIVISIONS) AND TITLE 20 (ZONING ORDINANCE), TO BE REVIEWED AND FILED BY THE ENGINEERING DIVISION.
 - PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR RESIDENTIAL USES, THE APPLICANT SHALL PAY ANY APPLICABLE CHILD CARE FEES IN ACCORDANCE WITH SOUTH SAN FRANCISCO MUNICIPAL CODE CHAPTER 20.115. THIS FEE IS SUBJECT TO ANNUAL ADJUSTMENT, AND CURRENTLY IS ASSESSED AT \$1,851.00 PER HIGH DENSITY RESIDENTIAL UNIT, BASED ON THE PLANS DATED DECEMBER 1, 2017, THE CHILD CARE IMPACT FEE ESTIMATE FOR THE RESIDENTIAL UNITS IS:
 - RESIDENTIAL: \$1,851 X 172= \$318,372
 - PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR NON-RESIDENTIAL USES, THE APPLICANT SHALL PAY ANY APPLICABLE CHILD CARE FEES IN ACCORDANCE WITH SOUTH SAN FRANCISCO MUNICIPAL CODE CHAPTER 20.115. THIS FEE IS SUBJECT TO ANNUAL ADJUSTMENT, AND PRESENTLY IS ASSESSED AT \$0.68 PER GROSS SQUARE FOOT OF COMMERCIAL AND RETAIL USES. BASED ON THE PLANS DATED DECEMBER 1, 2017, THE CHILD CARE IMPACT FEE ESTIMATE FOR THE NON-RESIDENTIAL USES IS:
 - COMMERCIAL: .68 X 10,900= \$7,412
 - THE APPLICANT SUBMITTED A COMPLETE APPLICATION JULY 5, 2017, AND THEREFORE SHALL PAY THE PARKLAND ACQUISITION FEE AND PARKLAND CONSTRUCTION FEE THAT WAS IN EFFECT AS OF THAT DATE. THE FEE SHALL BE PAID PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AND SHALL BE CALCULATED AS FOLLOWS, PER SOUTH SAN FRANCISCO MUNICIPAL CODE CHAPTER 8.67:
 - ACQUISITION FEE: # OF UNITS X AVG. RESIDENTS X AC. REQUIRED PER UNIT X MARKET VALUE OF LAND X DISCOUNT RATE
 - CONSTRUCTION FEE: # OF UNITS X AVG. RESIDENTS X AC. REQUIRED PER UNIT X CONSTRUCTION COST X DISCOUNT RATE
 - 172 X 1.78 X .003 X 3,000,000 X .5 = \$1,377,720
 - 172 X 1.78 X .003 X 981,520 X .5 = \$450,629
 - UPON THE DATE OF FINAL INSPECTION OR ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE DEVELOPMENT, WHICHEVER IS EARLIER, THE APPLICANT SHALL PAY APPLICABLE BICYCLE AND PEDESTRIAN IMPACT FEES IN ACCORDANCE WITH SOUTH SAN FRANCISCO MUNICIPAL CODE CHAPTER 8.68. BASED ON THE PLANS DATED DECEMBER 1, 2017, THE BICYCLE AND PEDESTRIAN IMPACT FEE ESTIMATE FOR THE PROJECT IS:
 - RESIDENTIAL: AVERAGE DAILY TRIPS (ADT)/UNIT X #OF UNITS X COST PER ADT 6.7 X 25.31 X 172=\$29,167
 - COMMERCIAL: ADT/1,000 SQ. FT. X SQ. FT. X \$25.31. 14.40 X 10.9 X 25.31 = \$3,973
 - THE SEWER CAPACITY CHARGE SHALL BE IMPOSED AND PAID PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE RESIDENTIAL PORTION OF THE PROJECT. FOR THE COMMERCIAL PORTION OF THE PROJECT, THE SEWER CAPACITY CHARGE SHALL BE IMPOSED AND PAID PRIOR TO ISSUANCE OF A BUILDING PERMIT, EXCEPT THAT THE WATER QUALITY CONTROL PLANT SUPERINTENDENT, OR DESIGNEE, MAY ALLOW FOR PAYMENT AT A LATER DATE, PROVIDED THAN IN NO CASE SHALL A FINAL CERTIFICATE OF OCCUPANCY BE ISSUED PRIOR TO PAYMENT OF THE APPLICABLE SEWER CAPACITY CHARGE. BASED ON THE PLANS DATED DECEMBER 1, 2017, THE SEWER CAPACITY CHARGE ESTIMATE IS \$468,589.87, WHICH INCLUDES A \$101,703.58 DISCOUNT FOR THE PREVIOUS CAR WASH USE ON SITE.

ENGINEERING:

- THE CONDITIONS FOR APPROVAL ARE GENERAL CONDITIONS THAT APPLY TO YOUR PROPOSED PROJECT, AND ARE BASED ON THE SET OF PLANS DATED DECEMBER 1, 2017. ANY AND ALL IMPROVEMENTS STATED BELOW ARE AT NO COST TO THE CITY. ALL APPLICABLE CITY OF SOUTH SAN FRANCISCO ENGINEERING PERMITS, INCLUDING ASSOCIATED FEES AND DEPOSITS, ARE TO BE PAID BY THE APPLICANT. VARIOUS ENGINEERING PERMIT APPLICATIONS AND PERTINENT REFERENCE MATERIALS MAY BE FOUND ON THE CITY WEBSITE AT: [HTTP://WWW.SSF.NET/351/ENGINEERING-PERMITS](http://www.ssf.net/351/ENGINEERING-PERMITS)
- ALL APPLICABLE MAPPING SHALL BE DONE AND RECORDED IN THE SAN MATEO COUNTY PRIOR TO THE BUILDING PERMIT ISSUANCE.
- ALL EASEMENTS WITHIN THE PROPERTY SHALL BE RECORDED IN THE SAN MATEO COUNTY PRIOR TO THE BUILDING PERMIT ISSUANCE.
- A GRADING PERMIT IS REQUIRED IF 50 CUBIC YARDS OR MORE OF SOIL IS EXPORTED AND/OR IMPORTED. THE GRADING PERMIT REQUIRES SEVERAL DOCUMENTS TO BE SUBMITTED FOR THE CITY'S REVIEW AND APPROVAL.
- A HAULING PERMIT MAY BE REQUIRED IF HAULING OF EARTH TO AND FROM THE SITE IS PERFORMED PRIOR TO APPROVAL OF A GRADING PERMIT.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAY.
- ALL BUILDING PROJECTIONS ABOVE AND/OR WITHIN THE PUBLIC RIGHT-OF-WAY MAY BE ALLOWED BUT WILL REQUIRE A REVOCABLE ENCROACHMENT PERMIT.
- AT THE TIME OF BUILDING PERMIT APPLICATION, THE DEVELOPER SHALL PROVIDE STORM WATER/HYDROLOGY/HYDRAULIC/C3 CALCULATIONS.
- AT THE TIME OF BUILDING PERMIT APPLICATION, SUBMIT THE PROPOSED GREASE TRAP PLANS TO VERIFY COMPLIANCE WITH REGULATIONS, PER SSF WATER QUALITY CONTROL PLANT (WQCP).

DATE:	FEB 2018	DRAWN BY:	RAB	PROJ. ENGR:	SDC	PROJ. MGR:	RTH	NO.	BY DATE	REVISIONS	CITY APPROVAL
Carlson, Barbee & Gibson, Inc. CIVIL ENGINEERS • SURVEYORS • PLANNERS www.cbgi.com SAN RAMON (925) 886-0322 SACRAMENTO (916) 375-1877											
PUBLIC IMPROVEMENT PLANS CITY NOTES & CONDITIONS OF APPROVAL 988 EL CAMINO REAL CITY OF SOUTH SAN FRANCISCO CALIFORNIA											
SHEET NUMBER 2 OF 16 JOB NUMBER 2718-000											
P:\2718-000\ACAD\IPR02.DWG 2/20/18 2:08 PM											

Exhibit B - Improvement Agreement

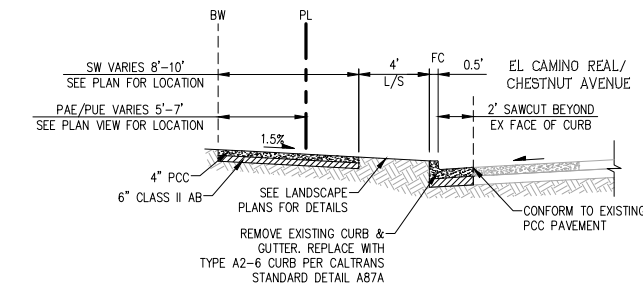


LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY BOUNDARY
---	---	LOT LINE
---	---	CENTERLINE
---	---	SAWCUT LINE
---	---	EASEMENT LINE
---	---	CURB, GUTTER & SIDEWALK
○	○	MONUMENT
○	○	TREE
○	○	UTILITY POLE
○	○	SPOT ELEVATION
---	---	SANITARY SEWER PIPE
---	---	STORM DRAIN PIPE
---	---	WATER PIPE
---	---	JOINT TRENCH (BY OTHERS)
---	---	GAS LINE (SEE JT PLANS)
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
○	○	SANITARY SEWER CLEANOUT
○	○	STORM DRAIN MANHOLE
○	○	STORM DRAIN CATCH BASIN
○	○	WATER VALVE
○	○	FIRE HYDRANT
○	○	WATER METER
○	○	STREET SIGN
○	○	ELECTROLIER
○	○	TRANSFORMER (BY OTHERS)

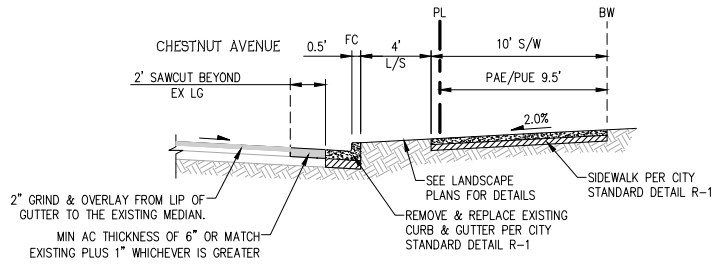
ABBREVIATIONS

A/C ASPHALT CONCRETE	MIN MINIMUM
AB AGGREGATE BASE	OC ON CENTER
AC ASPHALT CONCRETE	OHE OVERHEAD ELECTRIC
ARV AIR RELEASE VALVE	PAE PRIVATE ACCESS EASEMENT
ATG ADJUST TO GRADE	PL PROPERTY LINE
BC BEGIN CURVE	PR PROPOSED
BFP BACK FLOW PREVENTER	PSSE PRIVATE SANITARY SEWER EASEMENT
BL BIKE LANE	PUE PUBLIC UTILITY EASEMENT
BW BACK OF WALK	PV PAVEMENT
CL CENTERLINE	PVC POLYVINYL CHLORIDE
CB CATCH BASIN	R RADIUS
CR CROWN	RP REDUCED PRESSURE PRINCIPLE ASSEMBLY
DW DRIVEWAY	RW RIGHT-OF-WAY
EC END CURVE	RCP REINFORCED CONCRETE PIPE
EP EDGE OF PAVEMENT	RET RETURN
EX EXISTING	RIM RIM ELEVATION
FC FACE OF CURB	SC SAWCUT LINE
FG FINISHED GRADE	SD STORM DRAIN
FH FIRE HYDRANT	SDMH STORM DRAIN MANHOLE
FI FIELD INLET	SF SQUARE FEET
FL FLOWLINE	SL STREET LIGHT
GB GRADE BREAK	SS SANITARY SEWER
GR TOP OF GRADE ELEVATION	SSMH SANITARY SEWER MANHOLE
HP HIGH POINT	STA STATION
INV INVERT	STD STANDARD
IRR IRRIGATION	SW SIDEWALK
JT JOINT TRENCH (BY OTHERS)	TBR TO BE REMOVED
LAT LATERAL	TC TOP OF CURB
LF LINEAL FEET	TP TOP OF PIPE
LL LOT LINE	TYP TYPICAL
LP LOW POINT	W WATER
LS LANDSCAPE	WM POTABLE WATER METER
MAX MAXIMUM	WS WATER SERVICE



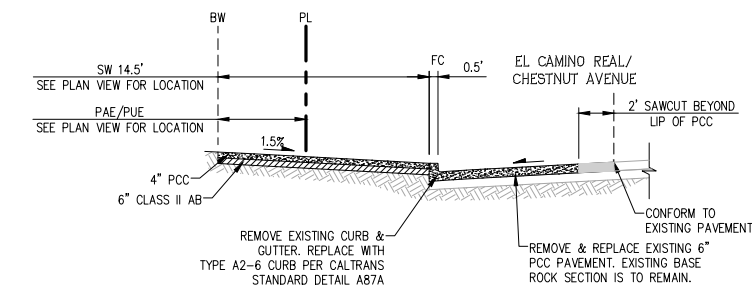
TYPICAL EL CAMINO REAL SECTION

NOT TO SCALE



TYPICAL CHESTNUT AVENUE SECTION

NOT TO SCALE



TYPICAL EL CAMINO REAL & CHESTNUT AVENUE INTERSECTION SECTION

NOT TO SCALE

PIPE SCHEDULE

PIPE	TYPE	DESCRIPTION
4" SS	PVC	SDR 26 POLYVINYL CHLORIDE PIPE
6" SS	PVC	SDR 26 POLYVINYL CHLORIDE PIPE
8" SS	PVC	SDR 26 POLYVINYL CHLORIDE PIPE
18" SS	PVC	SDR 26 POLYVINYL CHLORIDE PIPE
15" SD	RCP	REINFORCED CLASS III DRAINAGE PIPE

STORM DRAIN STRUCTURE SCHEDULE

STRUCTURE	DESCRIPTION	STANDARD DETAIL
SDCB	CITY OF SOUTH SAN FRANCISCO STANDARD CATCH BASIN	D-2, D-3

SANITARY SEWER STRUCTURE SCHEDULE

STRUCTURE	DESCRIPTION	STANDARD DETAIL
SSMH	STANDARDS FOR PRECAST MANHOLE	D-1
SS LAT	SANITARY SEWER LATERAL WITH CLEANOUT	SS-1, SS-2

WATER STRUCTURE SCHEDULE

STRUCTURE	DESCRIPTION	STANDARD DETAIL
FH	TYPICAL FIRE HYDRANT INSTALLATION	CW380-R12
6" FIRE SERVICE	STANDARD PRIVATE FIRE SERVICE INSTALLATION	CW 840-R3
4" W LAT, 3" WM	STANDARD 4" SERVICE CONNECTION FOR 3" METER WITH STRAINER	CW-785-R10
2" W LAT, 2" WM	2" SERVICE CONNECTION WITH 2" METER	CW-848-R1

NOTES:

- SEE JOINT TRENCH AND STREET LIGHT PLANS PREPARED BY GIACALONE DESIGN SERVICES FOR ALL JOINT TRENCH FACILITIES AND STREET LIGHT LOCATIONS.
- SEE LANDSCAPE PLANS PREPARED BY APDW FOR ALL LANDSCAPING AND IRRIGATIONS FACILITIES.
- ALL INLETS LOCATED WITH THE PUBLIC RIGHT OF WAY ARE TO BE INSTALLED WITH A BADGE THAT READS "NO DUMPING DRAINS TO BAY".
- SEE TRAFFIC SIGNAL PLANS PREPARED BY HEXAGON TRANSPORTATION CONSULTANTS FOR TRAFFIC SIGNAL IMPROVEMENTS.

CAL WATER APPLICABLE STANDARD DETAILS

(NOT LIMITED TO THE FOLLOWING)	
CW380-R12	TYPICAL FIRE HYDRANT INSTALLATION
CW840-R3	STANDARD PRIVATE FIRE SERVICE INSTALLATION
CW-785-R10	STANDARD 4" SERVICE CONNECTION FOR 3" METER WITH STRAINER
CW-848-R1	2" SERVICE CONNECTION WITH 2" METER
CW14-R4	VALVE COVER, FRAME, AND FRAME RISERS CASTING DETAILS
CW439-R4	VALVE COVER, FRAME, AND FRAME INSTALLATION DETAILS
CW-435-R4	TYPICAL THRUST BLOCK INSTALLATION
CW-762R1	DOUBLE CHECK VALVE ASSY.-DOUBLE CHECK VALVE DETECTOR ASSY.-TYP. ABOVE GRADE INSTALLATION
CW-752R1	REDUCED PRESSURE PRINCIPLE ASSY.-R.P. DETECTOR ASSY.-TYP. ABOVE GRADE INSTALLATION

NO.	BY	DATE	REVISIONS	CITY APPROVAL

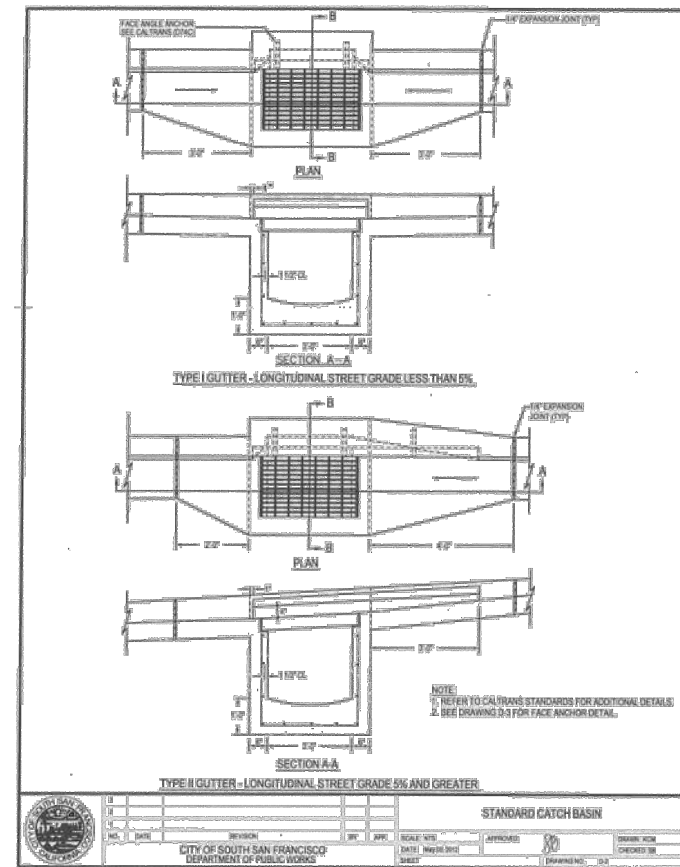
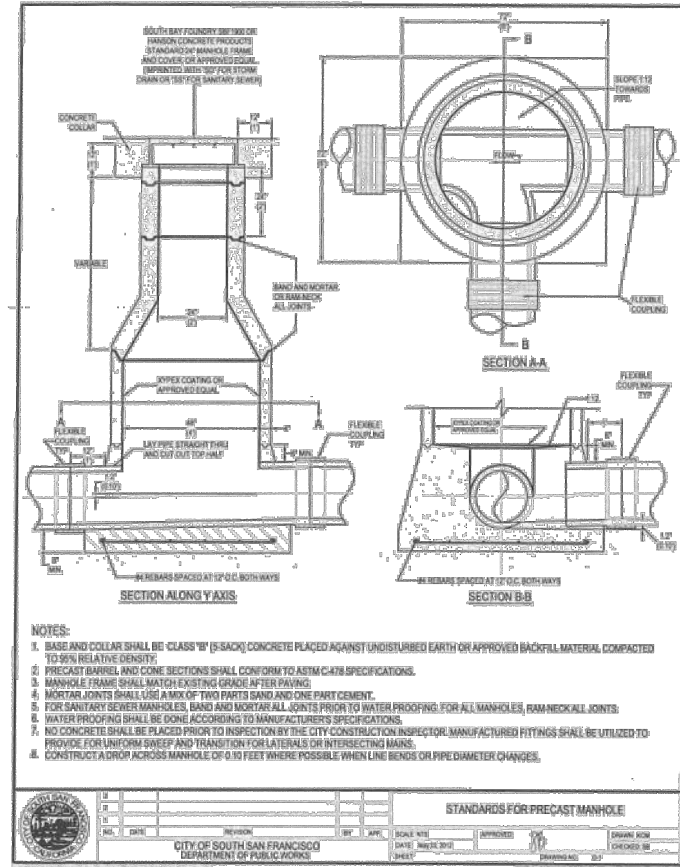
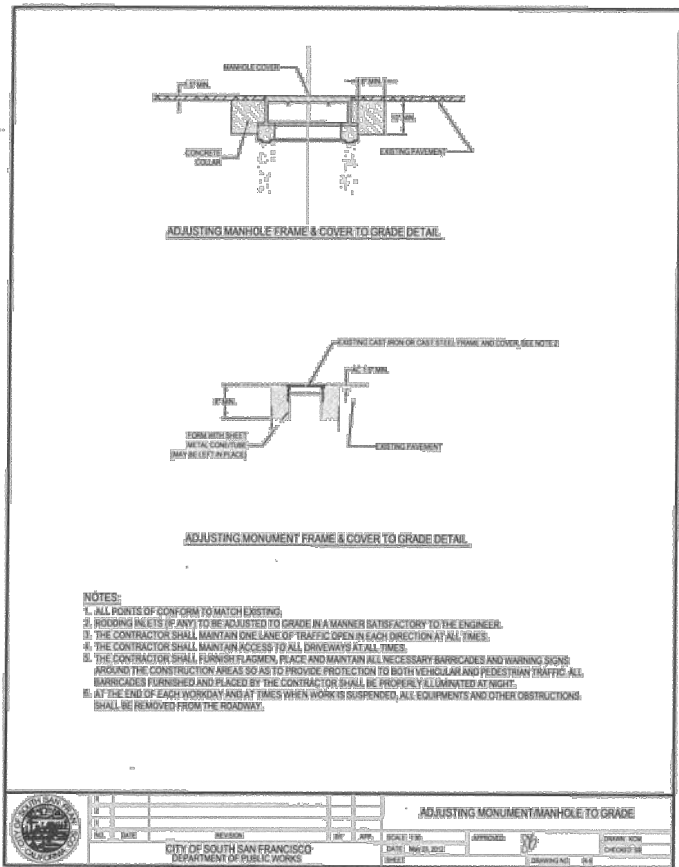
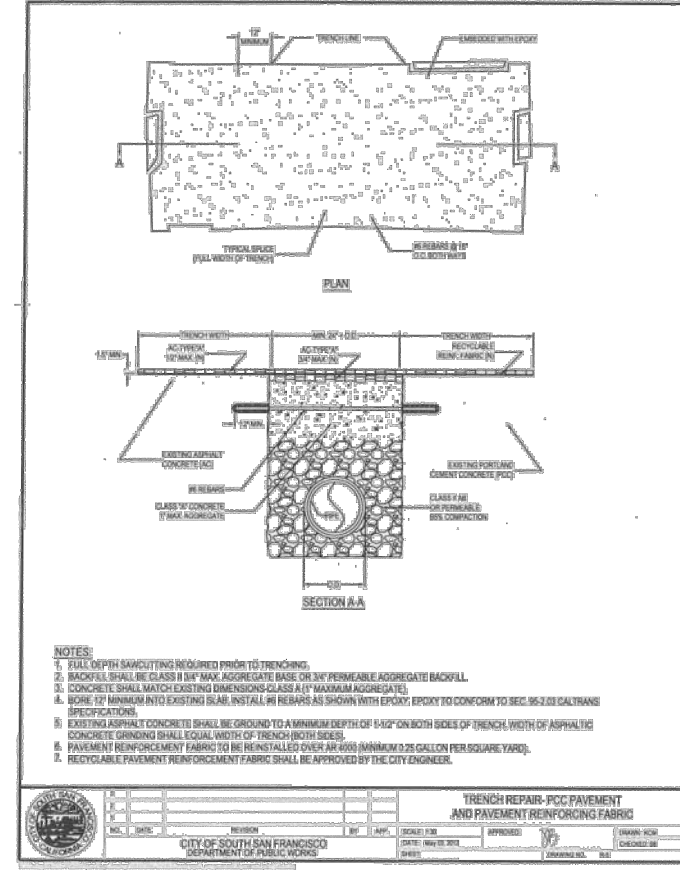
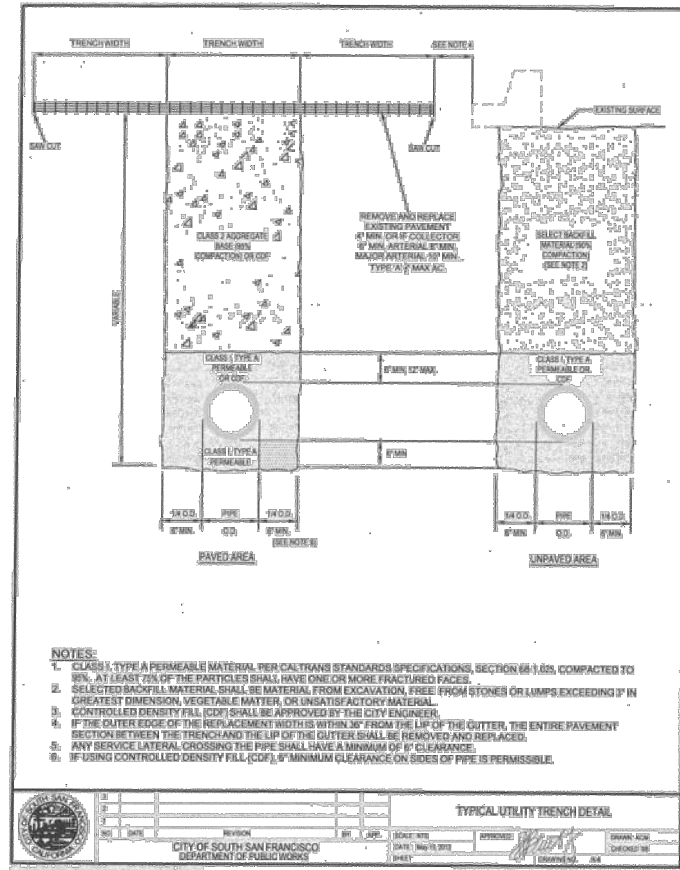
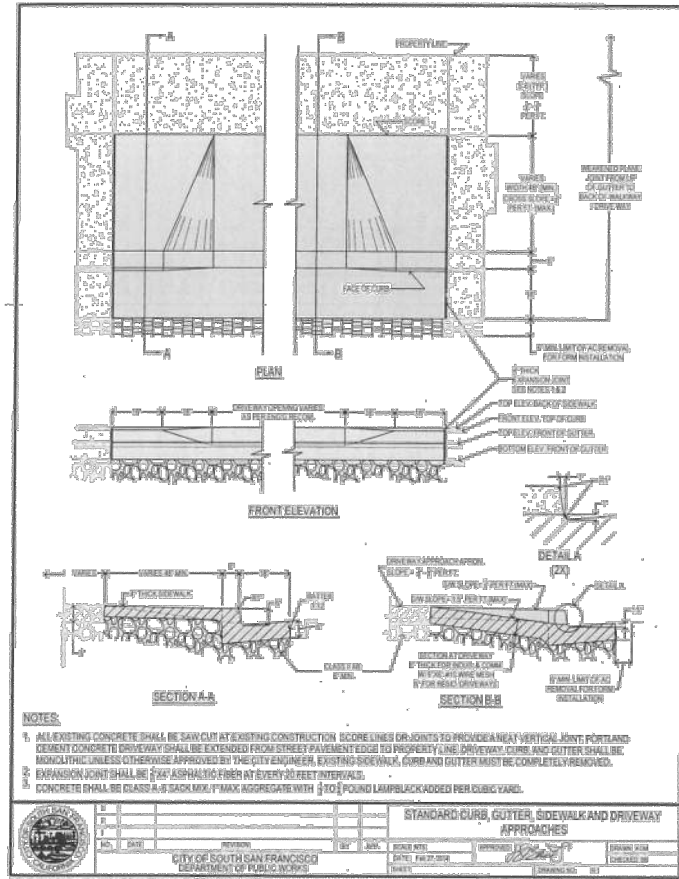
DATE: FEB 2018
 DRAWN BY: RAB
 PROJ. ENGR: SDC
 PROJ. MGR: RTH

Carlsson, Barbee & Gibbon, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN FRANCISCO (415) 886-0322
 SACRAMENTO (916) 375-1877

988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
 LEGEND, STREET SECTIONS, STRUCTURE SCHEDULE, & DETAILS
 CALIFORNIA
 CITY OF SOUTH SAN FRANCISCO

SHEET NUMBER
4
 OF 16
 JOB NUMBER
2718-000

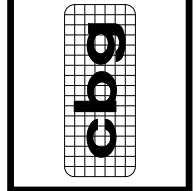
Exhibit B - Improvement Agreement



DATE:	FEB 2018
DRAWN BY:	RAB
PROJ. ENGR:	SDC
PROJ. MGR:	RTH
NO.:	BY DATE
REVISIONS:	
CITY APPROVAL:	



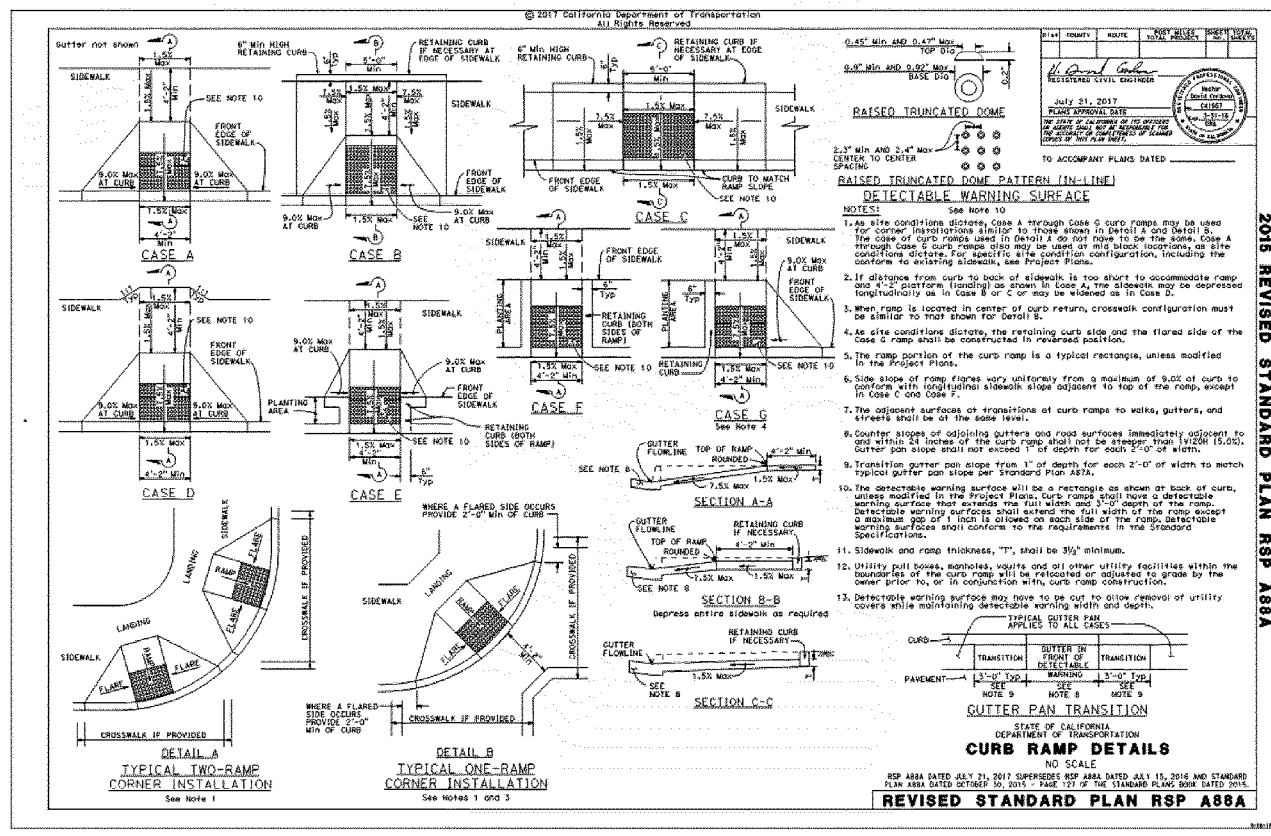
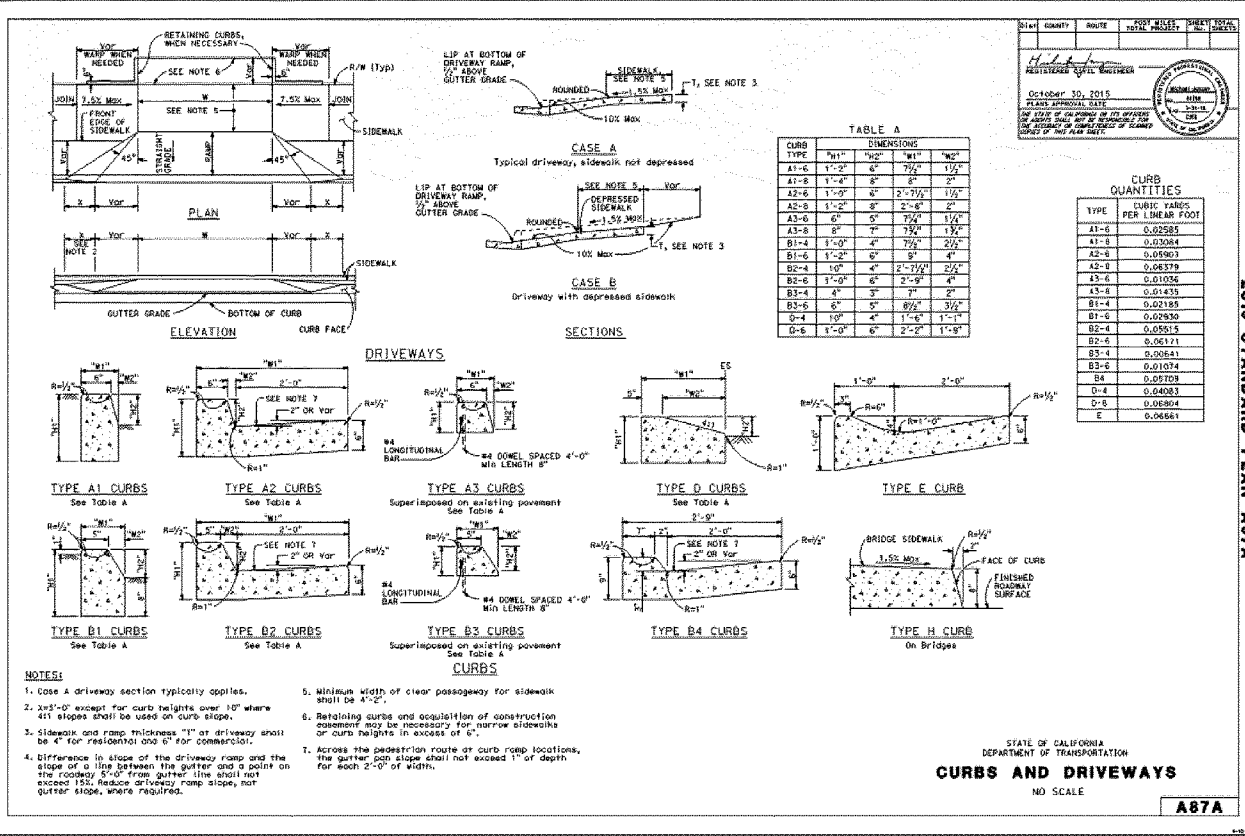
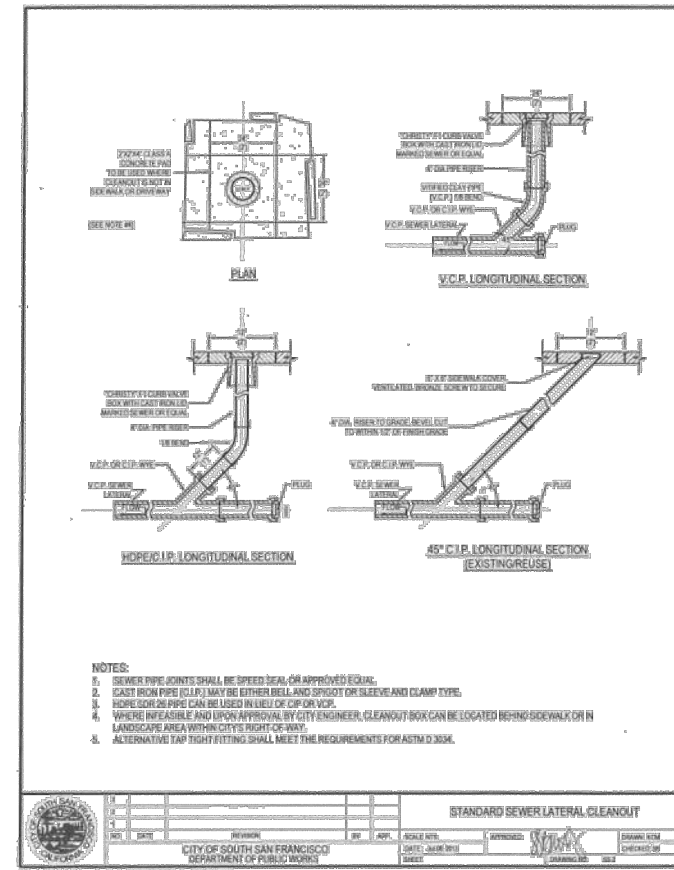
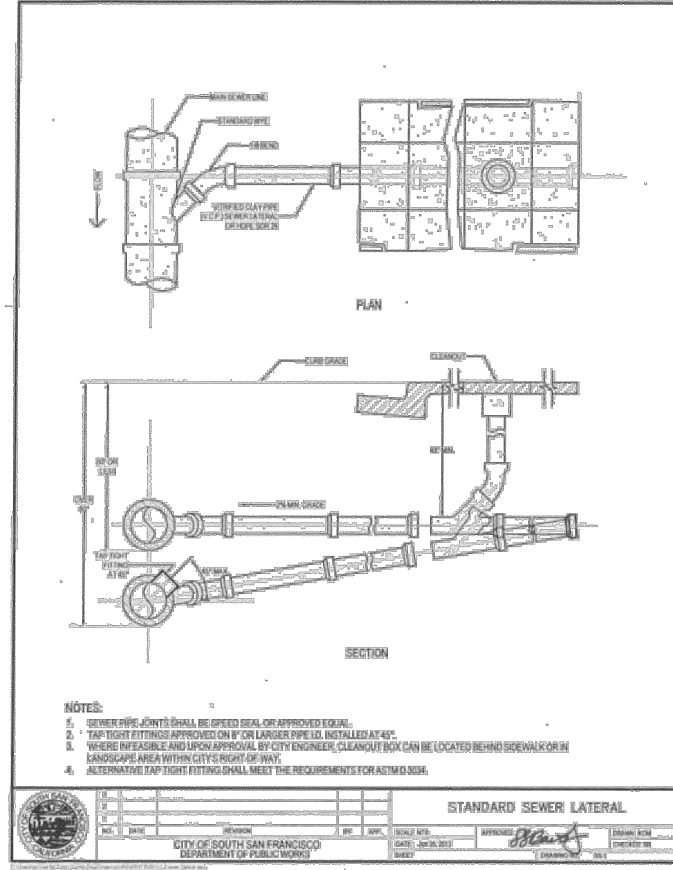
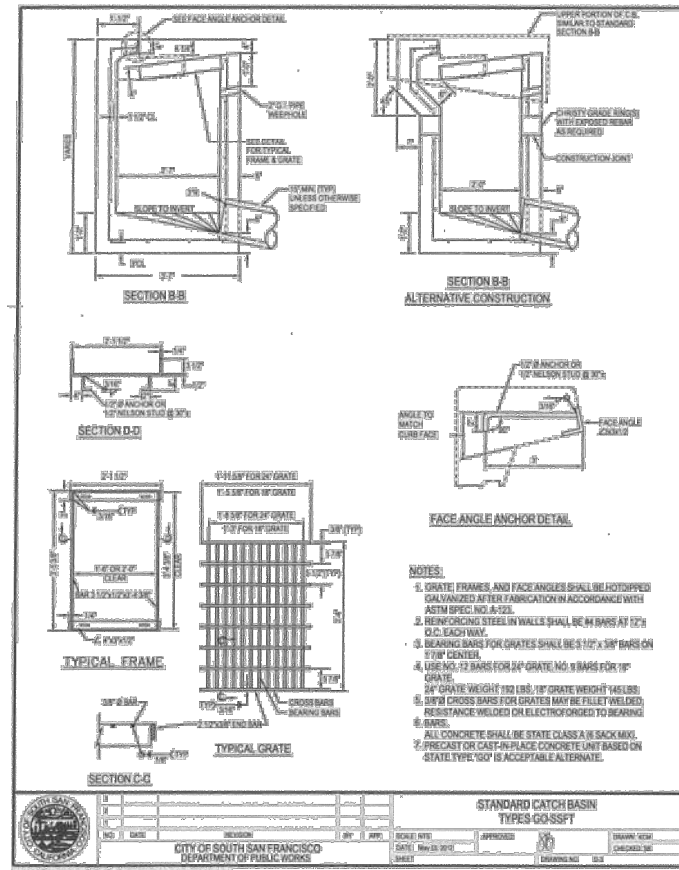
Carlsson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN RAMON • (925) 886-0322
 SACRAMENTO • (916) 375-1877



988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
 APPLICABLE CITY STANDARD DETAILS
 CALIFORNIA
 CITY OF SOUTH SAN FRANCISCO

SHEET NUMBER
5
 OF 16
 JOB NUMBER
 2718-000

Exhibit B - Improvement Agreement



Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN RAMON (925) 886-0322
 SACRAMENTO (916) 375-1877

Professional Engineer Seal: VINIOTI CA, CIVIL ENGINEER, No. 11745, Exp. 06/30/2018

REVISIONS:

NO.	BY	DATE	REVISIONS

DATE: FEB 2018
DRAWN BY: RAB
PROJ. ENGR: SOC
PROJ. MGR: RTH

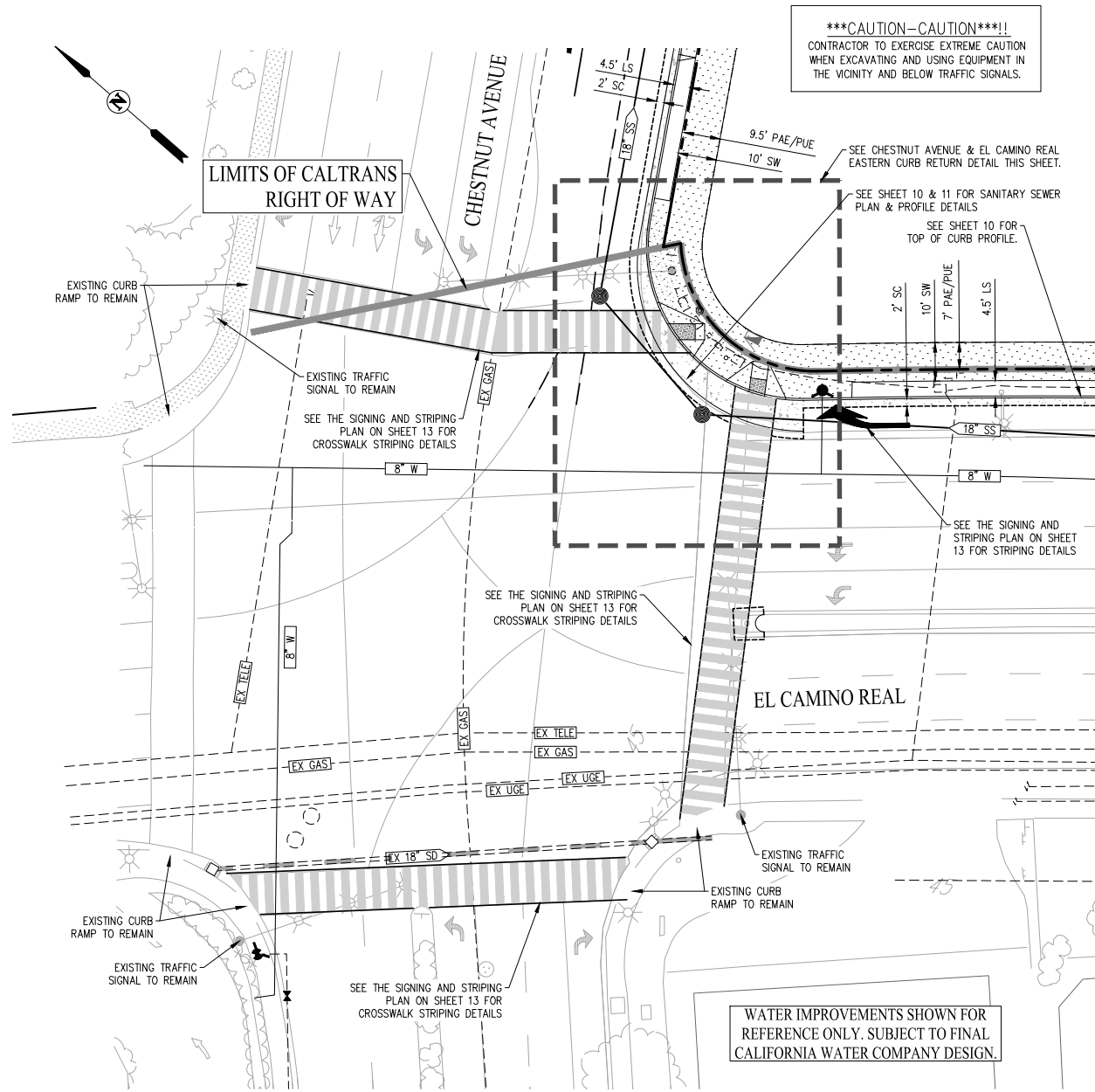
988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
APPLICABLE CITY & CALTRANS STANDARD DETAILS
 CITY OF SOUTH SAN FRANCISCO
 CALIFORNIA

SHEET NUMBER
6
OF 16

JOB NUMBER
2718-000

F:\2718-000\ACAD\IP\98.DWG 2/20/18 2:08 PM

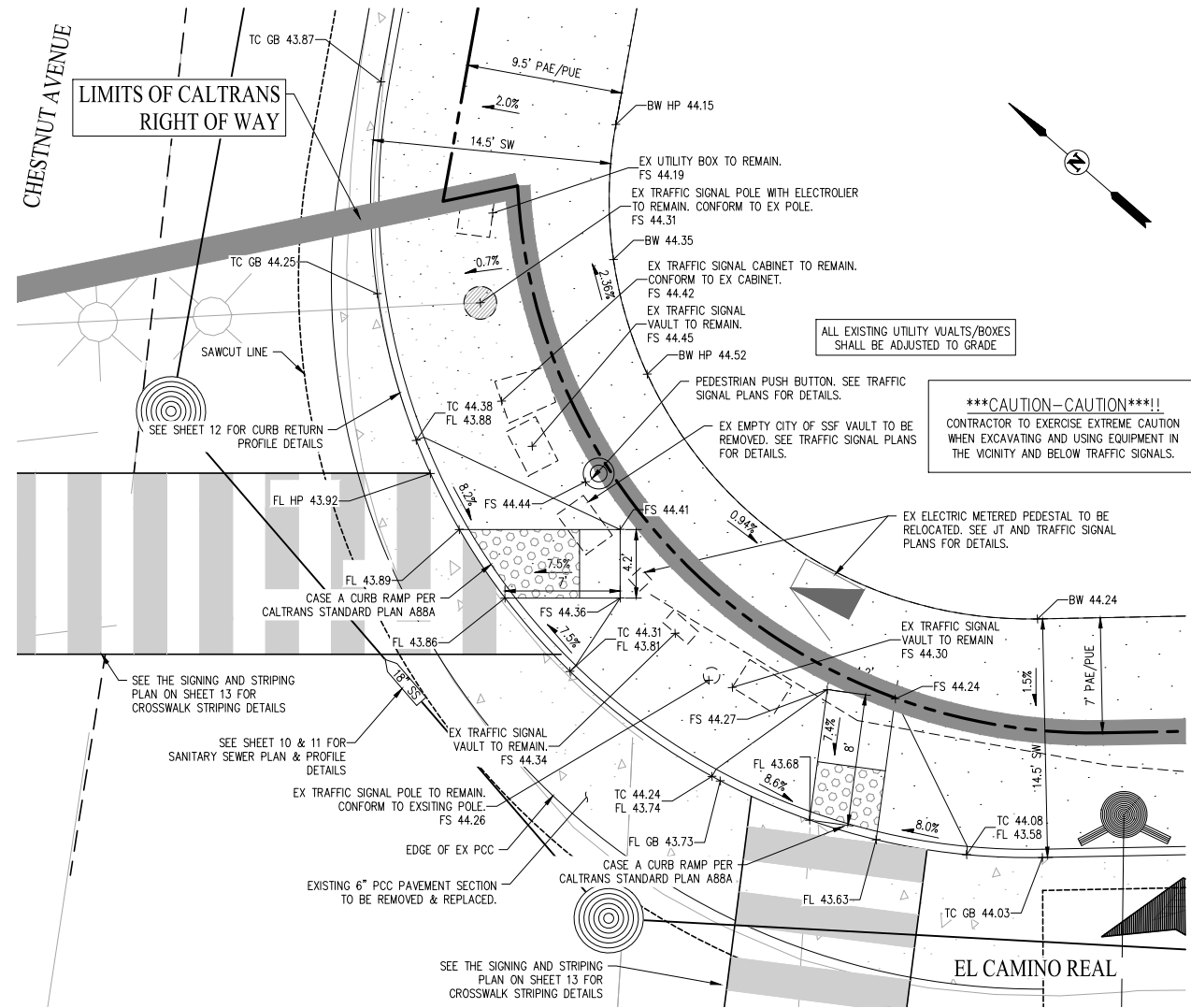
Exhibit B - Improvement Agreement



CHESTNUT AVENUE & EL CAMINO REAL INTERSECTION DETAIL

SCALE: 1" = 20'

WATER IMPROVEMENTS SHOWN FOR REFERENCE ONLY. SUBJECT TO FINAL CALIFORNIA WATER COMPANY DESIGN.



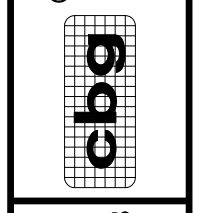
CHESTNUT AVENUE & EL CAMINO REAL EASTERN CURB RETURN DETAIL

SCALE: 1" = 5'

NO.	BY	DATE	REVISIONS	CITY APPROVAL

DATE: FEB 2018
 DRAWN BY: RAB
 PROJ. ENGR: SDC
 PROJ. MGR: RTH

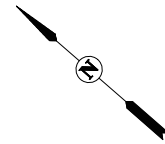
Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN RAMON (925) 886-0322
 SACRAMENTO (916) 375-1877



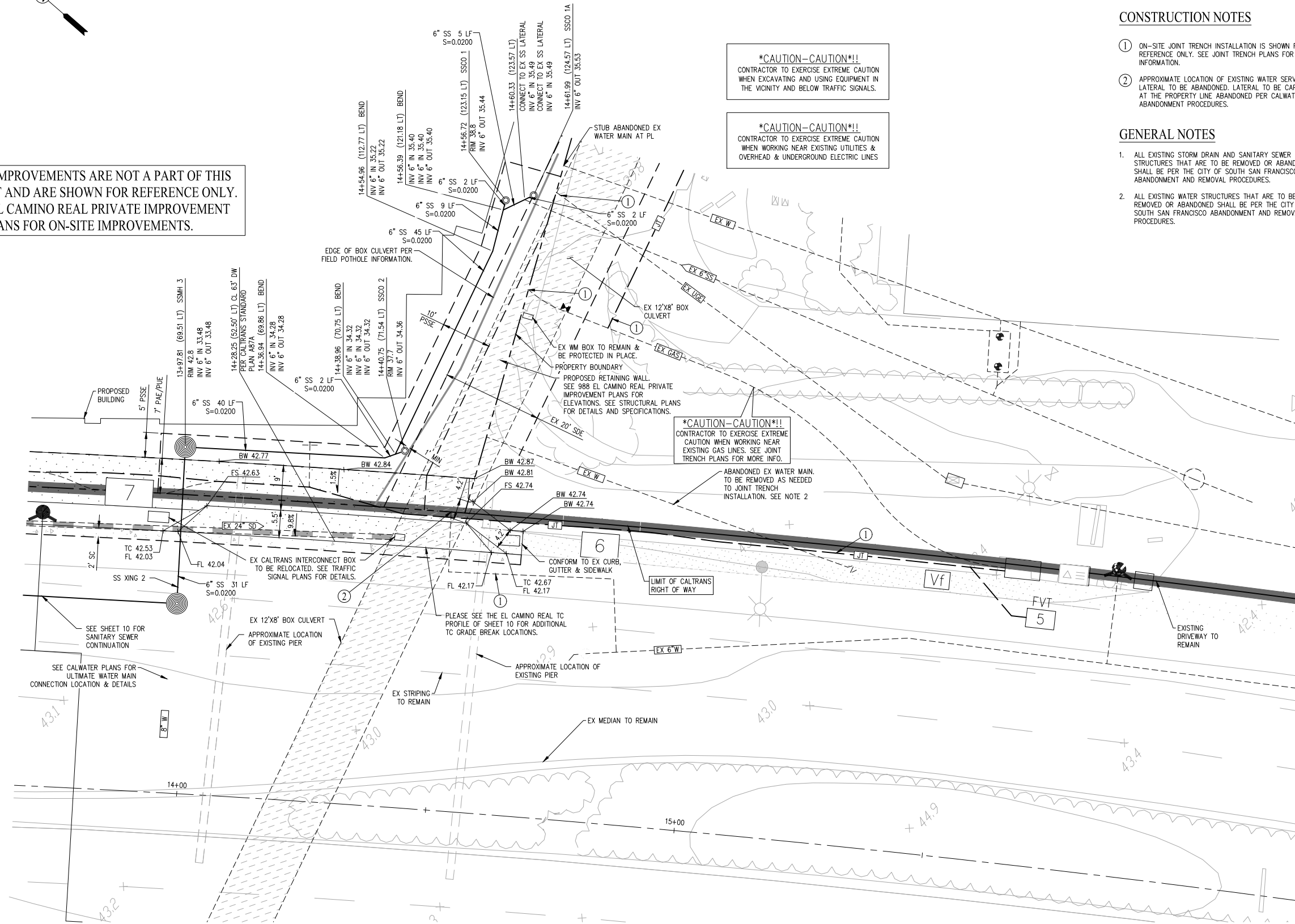
988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
 LEGEND, STREET SECTIONS, STRUCTURE SCHEDULE, & DETAILS
 CITY OF SOUTH SAN FRANCISCO
 CALIFORNIA

SHEET NUMBER
7
 OF 16
 JOB NUMBER
 2718-000

Exhibit B - Improvement Agreement



ON-SITE IMPROVEMENTS ARE NOT A PART OF THIS CONTRACT AND ARE SHOWN FOR REFERENCE ONLY. SEE 988 EL CAMINO REAL PRIVATE IMPROVEMENT PLANS FOR ON-SITE IMPROVEMENTS.



***CAUTION-CAUTION*!!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING AND USING EQUIPMENT IN THE VICINITY AND BELOW TRAFFIC SIGNALS.

***CAUTION-CAUTION*!!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITIES & OVERHEAD & UNDERGROUND ELECTRIC LINES

***CAUTION-CAUTION*!!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING GAS LINES. SEE JOINT TRENCH PLANS FOR MORE INFO.

CONSTRUCTION NOTES

- ON-SITE JOINT TRENCH INSTALLATION IS SHOWN FOR REFERENCE ONLY. SEE JOINT TRENCH PLANS FOR MORE INFORMATION.
- APPROXIMATE LOCATION OF EXISTING WATER SERVICE LATERAL TO BE ABANDONED. LATERAL TO BE CAPPED AT THE PROPERTY LINE ABANDONED PER CALWATER ABANDONMENT AND REMOVAL PROCEDURES.

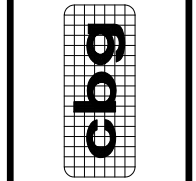
GENERAL NOTES

- ALL EXISTING STORM DRAIN AND SANITARY SEWER STRUCTURES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE PER THE CITY OF SOUTH SAN FRANCISCO ABANDONMENT AND REMOVAL PROCEDURES.
- ALL EXISTING WATER STRUCTURES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE PER THE CITY OF SOUTH SAN FRANCISCO ABANDONMENT AND REMOVAL PROCEDURES.

NO.	BY	DATE	REVISIONS

DATE: FEB 2018
 DRAWN BY: RAB
 PROJ. ENGR: SOC
 PROJ. MGR: RTH

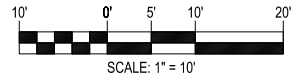
Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN FRANCISCO • (415) 886-0322
 SACRAMENTO • (916) 375-1877



988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
 PRIVATE SANITARY SEWER CONNECTION DETAIL
 CITY OF SOUTH SAN FRANCISCO
 CALIFORNIA

PRIVATE SANITARY SEWER CONNECTION DETAIL

SCALE: 1" = 10'

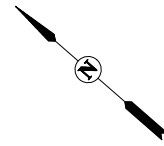


SHEET NUMBER
8
 OF 16
 JOB NUMBER
 2718-000

2/20/18 3:10 PM

P:\2718-000\ACAD\IPR\8.DWG

Exhibit B - Improvement Agreement



LEGEND

EXISTING CURB, GUTTER, SIDEWALK, & PAVEMENT TO BE REMOVED

DEMOLITION NOTES:

1. HOURS OF WORK/NOISE LIMITATIONS:

WORK HOURS ARE:
 MONDAY - FRIDAY, 9:00 AM TO 3:00 PM
 SATURDAY, 9:00 AM TO 8:00 PM
 SUNDAY/NATIONAL HOLIDAYS, 10:00 AM TO 6:00 PM

NO LOUD ENVIRONMENTALLY DISRUPTIVE NOISES SUCH AS EQUIPMENT WITHOUT MUFFLERS, CONTINUOUSLY RUNNING MOTORS OR GENERATORS, LOUD PLAYING MUSICAL INSTRUMENTS OR RADIOS, ETC. WILL BE ALLOWED.

2. DUST CONTROL/DEBRIS CONTAINMENT:

IT IS THE RESPONSIBILITY OF A DEMOLITION PERMIT HOLDER TO INSURE PROVISIONS HAVE BEEN MADE TO PREVENT DUST OR DEBRIS FROM BLOWING ONTO ADJOINING PROPERTIES OR PUBLIC STREETS. DEMOLITION, ONCE BEGUN, SHALL CONTINUE UNTIL THE LOT IS CLEAN AND CLEAR OF ALL DEBRIS AND FREE OF ALL DEMOLISHED MATERIALS.

3. HAZARDS:

IT SHALL BE THE DEMOLITION PERMIT HOLDERS RESPONSIBILITY TO BE FAMILIAR WITH AND CONTACT THE PROPER AGENCY WHEN A HAZARD IS ENCOUNTERED DURING THE COURSE OF THE PERMITTED WORK. THE PERMIT HOLDER SHALL MAKE ALL OWNERS, EMPLOYEES AND CONTRACTORS AWARE OF THESE REQUIREMENTS. THE FOLLOWING PROCEDURES MUST BE FOLLOWED WHEN A HAZARD IS DISCOVERED:

- A) BROKEN GAS LINE: SHUT OFF ANY EQUIPMENT AND EVACUATE THE IMMEDIATE AREA. DIAL 911 FOR EMERGENCY RESPONSE AS SOON AS POSSIBLE.
- B) ELECTRIC LINE DOWN: EVACUATE THE AREA IMMEDIATELY. DIAL 911 FOR EMERGENCY RESPONSE AS SOON AS POSSIBLE.

4. ASBESTOS MATERIALS:

A NOTIFICATION FORM MUST BE FILLED OUT AND MAILED TO BAY AREA AIR QUALITY MANAGEMENT DISTRICT, 939 ELLIS ST. SAN FRANCISCO, CA 94109, 415-771-6000, PRIOR TO PERMIT ISSUANCE. IT IS THE PERMIT HOLDERS RESPONSIBILITY TO CONTACT THIS AGENCY AND RECEIVE PERMISSION PRIOR TO STARTING THE ACTUAL DEMOLITION WORK. FAILURE TO COMPLY WILL BE CAUSE FOR SUSPENSION OR REVOCATION OF THE DEMOLITION PERMIT. BAQMD WILL INFORM THE PERMIT HOLDER OF THE PROPER METHODS TO DETERMINE IF ASBESTOS IS PRESENT AND FOR REMOVAL.

5. OTHER HAZARDS:

THE HAZARDS LISTED ABOVE ARE NOT ALL INCLUSIVE OF HAZARDOUS CONDITIONS, WHICH MAY BE ENCOUNTERED WHILE A DEMOLITION IS BEING PERFORMED. IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER TO INFORM THE CITY OF DUBLIN BUILDING DIV. OF ANY UNUSUAL CONDITION WHICH MY CONSTITUTE OR BECOME A HAZARD TO LIFE OR PROPERTY.

CONTRACTOR SHALL POTHOLE, CUT OUT AND REMOVE PORTION OF EXISTING ON-SITE WATER LINES AT THE CONNECTION TO THE MAIN PER DSRSD ABANDONMENT PROCEDURES. CONTRACTOR TO COORDINATE WITH DSRSD INSPECTOR REGARDING SHUT DOWN OF SERVICES AND REMOVAL OF EXISTING WATER METERS.

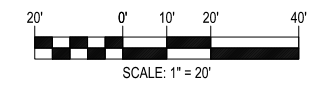
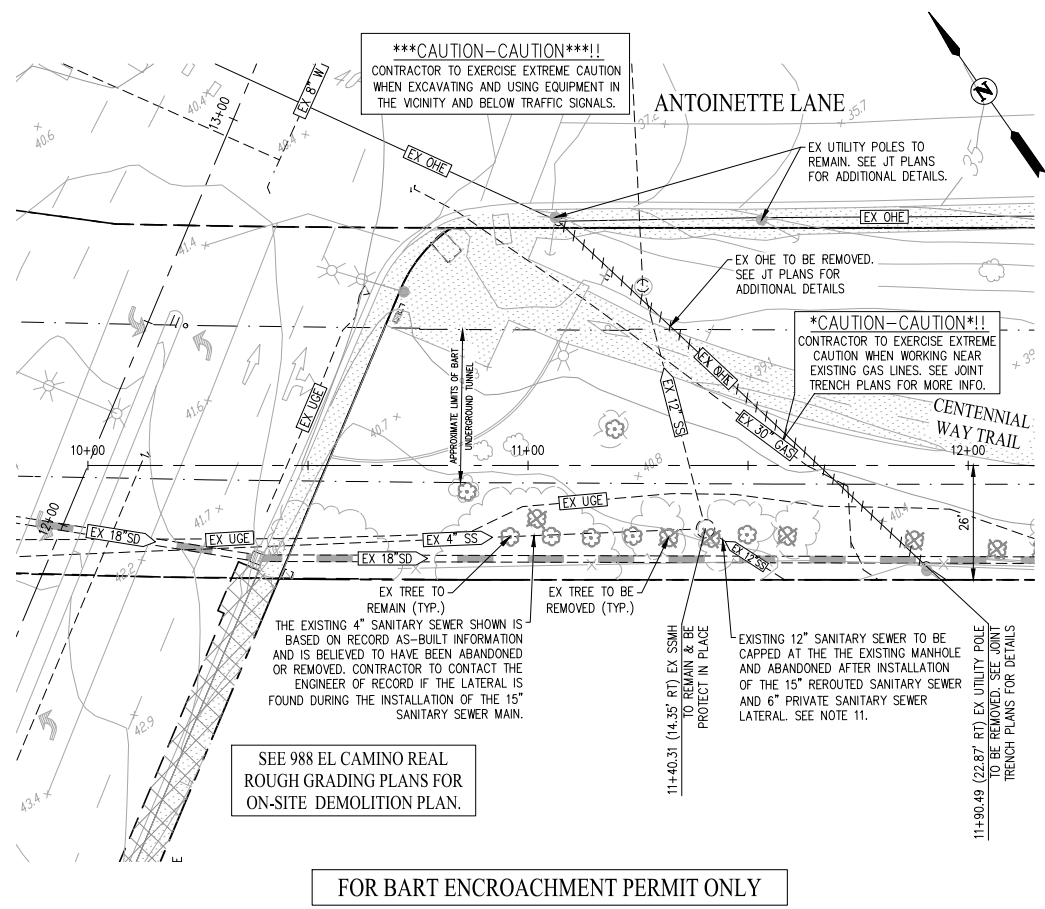
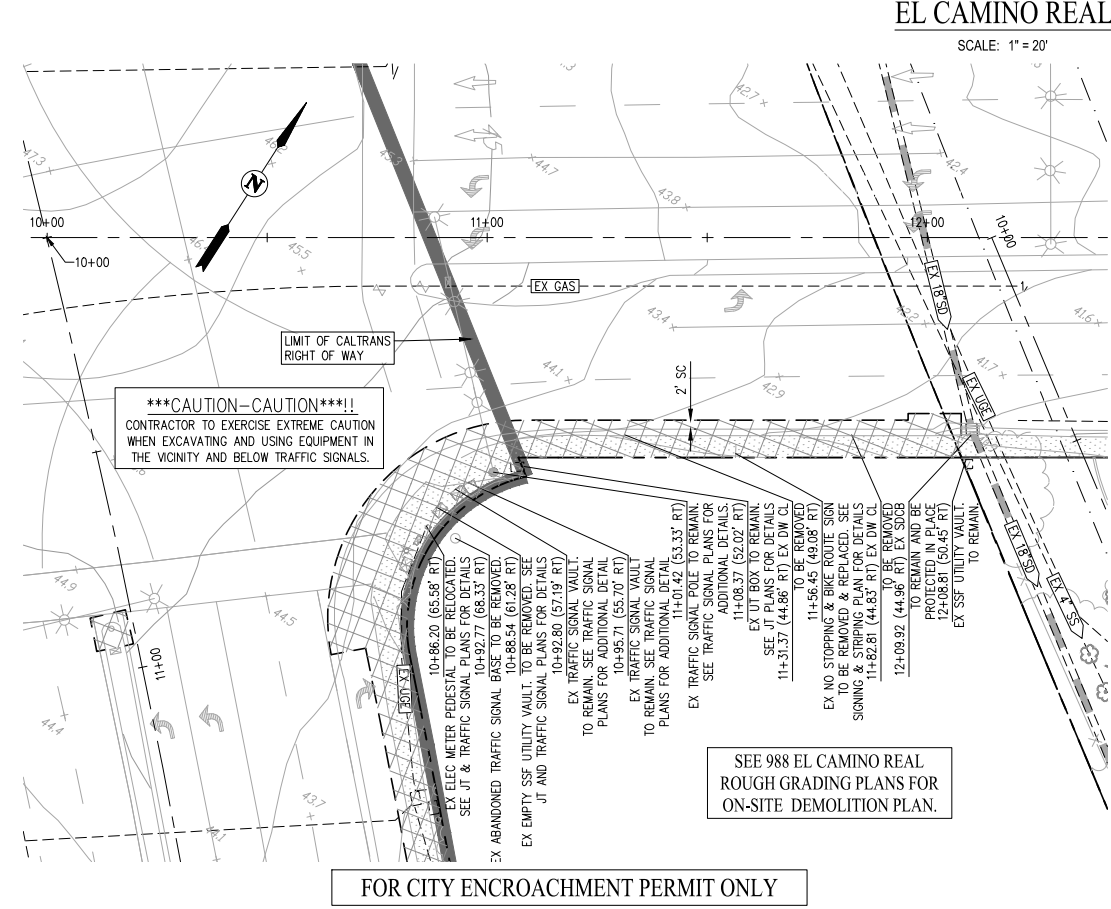
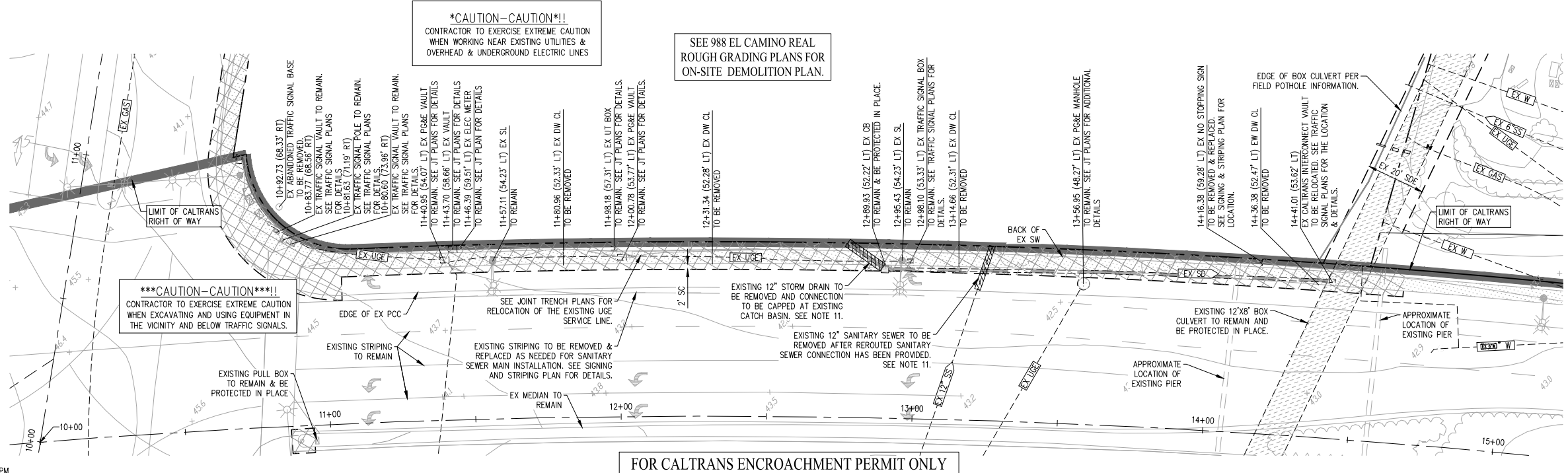
CONTRACTOR SHALL ABANDON AND REMOVE EXISTING SANITARY SEWER LINE PER CITY'S ABANDONMENT PROCEDURES.

TRAFFIC SIGNAL CONDUITS ARE VERY SHALLOW. CONTRACTOR SHALL TAKE EXTREME CARE WHEN DEMOLISHING THE SITE. ALL EXISTING TRAFFIC SIGNAL EQUIPMENT SHALL BE PROTECTED AND REPLACED IF DAMAGED TO LATEST CITY TRAFFIC SIGNAL SPECIFICATION. IF THE EXISTING TRAFFIC SIGNALS ARE DAMAGED, THE TRAFFIC SIGNAL LOOPS WILL BE RESTORED WITHIN 5 CALENDAR DAYS.

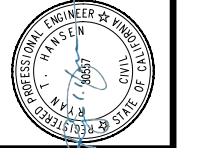
TRAFFIC SIGNAL POLES, BOXES AND EQUIPMENT SHALL BE RESTORED TO CITY AND CALTRANS STANDARDS (IE ANCHOR BOLTS FOR TRAFFIC SIGNAL POLES SHALL NOT BE BURIED IN CONCRETE AND SHALL BE EXPOSED PER CALTRANS DETAIL ES-7B).

ALL EXISTING STORM DRAIN AND SANITARY SEWER STRUCTURES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE PER THE CITY OF SOUTH SAN FRANCISCO ABANDONMENT AND REMOVAL PROCEDURES. ALL SANITARY SEWER PIPES NOTED FOR REMOVAL SHALL BE REMOVED UP TO THE MAIN.

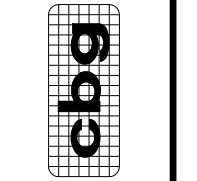
ALL EXISTING WATER STRUCTURES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE PER THE CITY OF SOUTH SAN FRANCISCO ABANDONMENT AND REMOVAL PROCEDURES.



NO.	BY	DATE	REVISIONS



Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN RAMON • (925) 886-0322
 SACRAMENTO • (916) 375-1877



PUBLIC IMPROVEMENT PLANS
 DEMOLITION PLAN
 988 EL CAMINO REAL
 CITY OF SOUTH SAN FRANCISCO
 CALIFORNIA

SHEET NUMBER
9
 OF 16
 JOB NUMBER
2718-000

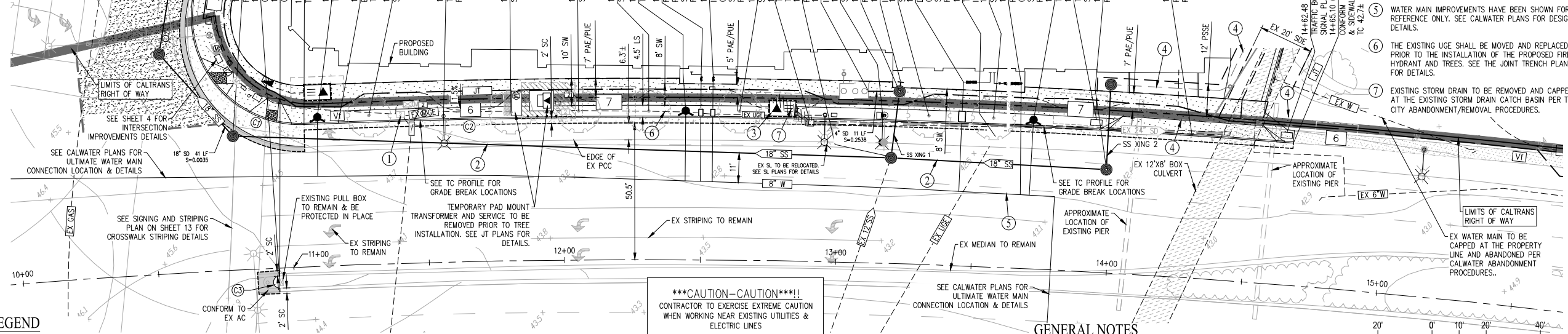
Exhibit B - Improvement Agreement



*****CAUTION-CAUTION***!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING AND USING EQUIPMENT IN THE VICINITY AND BELOW TRAFFIC SIGNALS.

ON-SITE IMPROVEMENTS ARE NOT A PART OF THIS CONTRACT. SEE 988 EL CAMINO REAL PRIVATE IMPROVEMENT PLANS.

CHESTNUT AVENUE
SEE SHEET 11



LEGEND

- AC PAVEMENT
- PCC GUTTER
- PCC SIDEWALK

CURVE TABLE				
NO	RADIUS	DELTA	LENGTH	DESC
C1	40.00'	101°27'50"	70.84'	TC
C2	3025.50'	6°51'30"	362.15'	TC
C3	2.25'	180°00'00"	7.07'	TC

WATER IMPROVEMENTS SHOWN FOR REFERENCE ONLY. SUBJECT TO FINAL CALIFORNIA WATER COMPANY DESIGN.

FOR CALTRANS ENCROACHMENT PERMIT ONLY

EL CAMINO REAL (STATE ROUTE 82)

SCALE: 1" = 20'

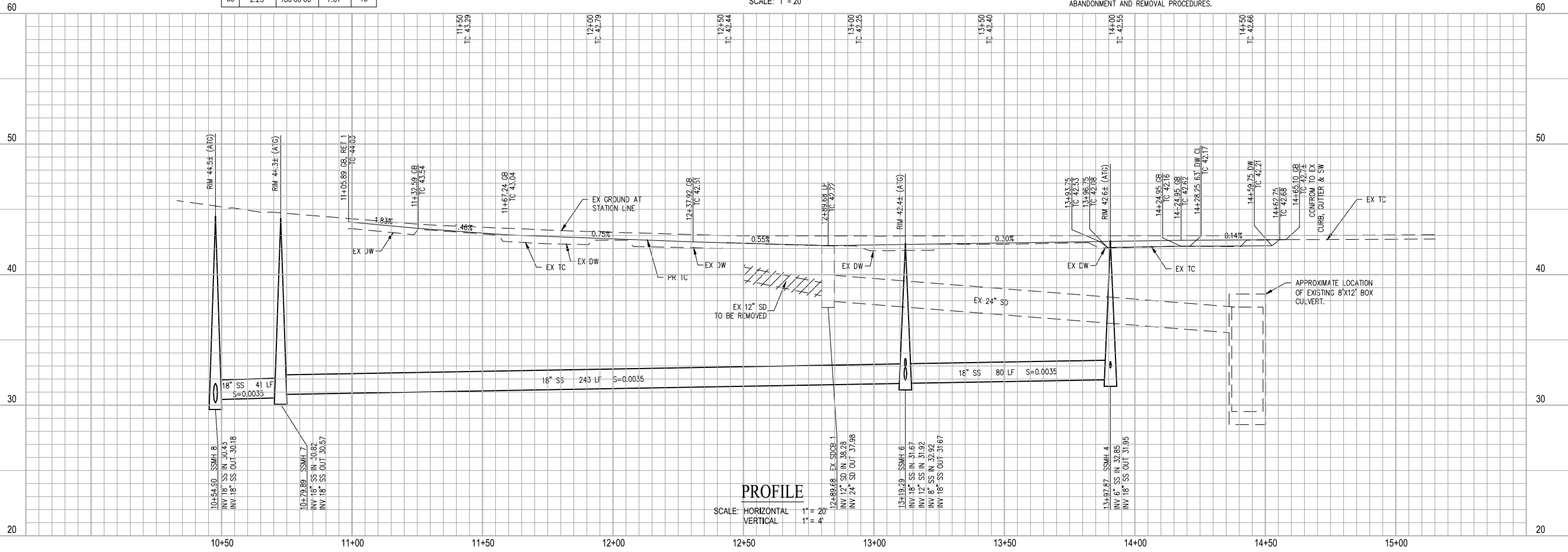
*****CAUTION-CAUTION***!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITIES & ELECTRIC LINES

NOTES

1. SEE DEMOLITION PLAN ON SHEET 9 FOR ALL EXISTING IMPROVEMENTS (UTILITY BOXES, VAULTS, SIGNS, ETC.) THAT ARE TO REMAIN OR BE REMOVED. ALL EXISTING UTILITY BOXES AND VAULTS THAT ARE TO REMAIN SHALL BE ADJUSTED TO GRADE.
2. TRENCH BACKFILL AND PAVEMENT REPLACEMENT SHALL BE PER CITY STANDARD DETAIL R-4 (TYPICAL TRENCH BACKFILL) & R-5 (PCC PAVEMENT REPLACEMENT TRENCH BACKFILL)
3. JOINT TRENCH INSTALLATION IS SHOWN FOR REFERENCE ONLY. SEE JOINT TRENCH PLANS FOR MORE INFORMATION.
4. SEE SHEET 8 FOR ADDITIONAL SEWER LATERAL CONNECTION DETAILS AND DRIVEWAY DETAILS.
5. WATER MAIN IMPROVEMENTS HAVE BEEN SHOWN FOR REFERENCE ONLY. SEE CALWATER PLANS FOR DESIGN DETAILS.
6. THE EXISTING UG SHALL BE MOVED AND REPLACED PRIOR TO THE INSTALLATION OF THE PROPOSED FIRE HYDRANT AND TREES. SEE THE JOINT TRENCH PLANS FOR DETAILS.
7. EXISTING STORM DRAIN TO BE REMOVED AND CAPPED AT THE EXISTING STORM DRAIN CATCH BASIN PER THE CITY ABANDONMENT/REMOVAL PROCEDURES.

GENERAL NOTES

1. ALL EXISTING STORM DRAIN AND SANITARY SEWER STRUCTURES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE PER THE CITY OF SOUTH SAN FRANCISCO ABANDONMENT AND REMOVAL PROCEDURES. ALL SANITARY SEWER PIPES NOTED FOR REMOVAL SHALL BE REMOVED UP TO THE MAIN.
2. ALL EXISTING WATER STRUCTURES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE PER THE CITY OF SOUTH SAN FRANCISCO ABANDONMENT AND REMOVAL PROCEDURES.

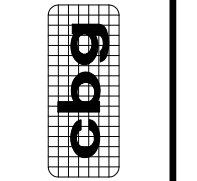


PROFILE

SCALE: HORIZONTAL 1" = 20'
VERTICAL 1" = 4'

NO.	BY	DATE	REVISIONS

Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
www.cbgi.com
SAN RAMON • (925) 885-0322
SACRAMENTO • (916) 375-1877



988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
EL CAMINO REAL (STATE ROUTE 82)
CITY OF SOUTH SAN FRANCISCO
CALIFORNIA

SHEET NUMBER
10
OF 16
JOB NUMBER
2718-000

Exhibit B - Improvement Agreement



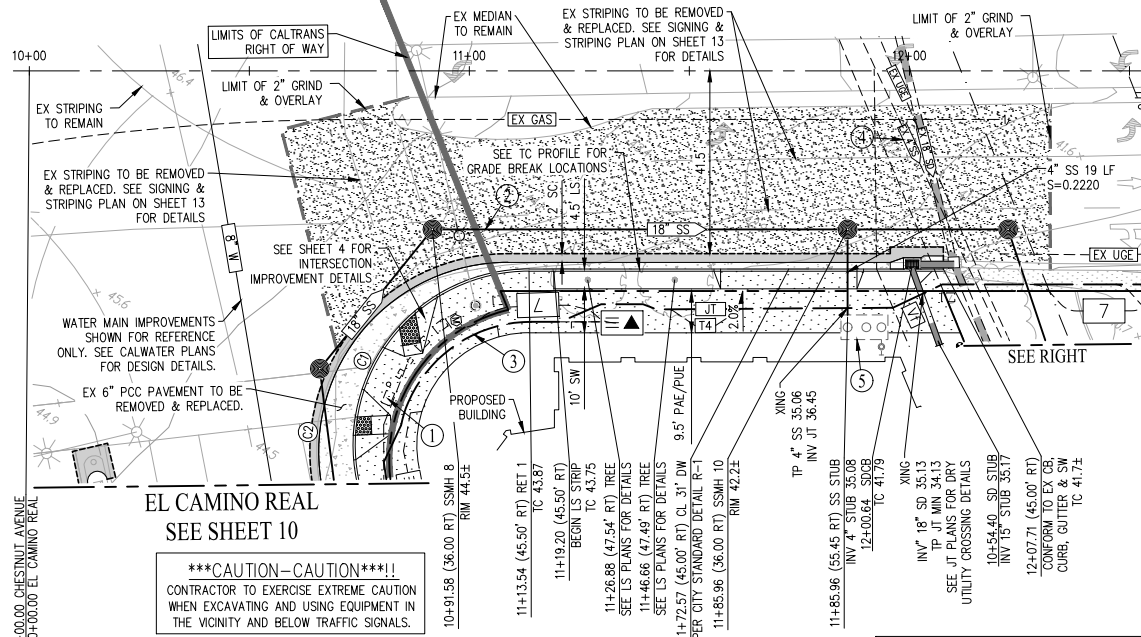
- NOTES**
- SEE DEMOLITION PLAN ON SHEET 9 FOR ALL EXISTING IMPROVEMENTS (UTILITY BOXES, VAULTS, SIGNS, ETC.) THAT ARE TO REMAIN OR BE REMOVED. ALL EXISTING UTILITY BOXES AND VAULTS THAT ARE TO REMAIN SHALL BE ADJUSTED TO GRADE.
 - TRENCH BACKFILL AND PAVEMENT REPLACEMENT SHALL BE PER CITY STANDARD DETAIL R-4 (TYPICAL TRENCH BACKFILL) & R-5 (PCC PAVEMENT REPLACEMENT TRENCH BACKFILL)
 - JOINT TRENCH INSTALLATION IS SHOWN FOR REFERENCE ONLY. SEE JOINT TRENCH PLANS FOR MORE INFORMATION.
 - THE EXISTING 4" SANITARY SEWER SHOWN IS BASED ON RECORD AS-BUILT AND FIELD QPR INFORMATION. THE EXISTING 4" SANITARY SEWER LATERAL IS BELIEVED TO HAVE BEEN ABANDONED OR REMOVED AND CAPPED AT THE EXISTING DOWNSTREAM MANHOLE. CONTRACTOR TO CONTACT THE ENGINEER OF RECORD IF THE LATERAL IS FOUND DURING THE INSTALLATION OF THE 15" SANITARY SEWER MAIN.
 - SEE 988 EL CAMINO REAL PRIVATE IMPROVEMENT PLANS FOR GREASE INTERCEPTOR DETAILS & SPECIFICATIONS.
 - EXISTING 12" SANITARY SEWER TO BE CAPPED AT THE EXISTING MANHOLE AND ABANDONED AFTER INSTALLATION OF THE 15" REROUTED SANITARY SEWER AND 6" PRIVATE SANITARY SEWER LATERAL.

GENERAL NOTES

- ALL EXISTING STORM DRAIN AND SANITARY SEWER STRUCTURES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE PER THE CITY OF SOUTH SAN FRANCISCO ABANDONMENT AND REMOVAL PROCEDURES. ALL SANITARY SEWER PIPES NOTED FOR REMOVAL SHALL BE REMOVED UP TO THE MAIN.
- ALL EXISTING WATER STRUCTURES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE PER THE CITY OF SOUTH SAN FRANCISCO ABANDONMENT AND REMOVAL PROCEDURES.

LEGEND

- AC PAVEMENT
- PCC GUTTER
- PCC SIDEWALK
- 2" GRIND & OVERLAY



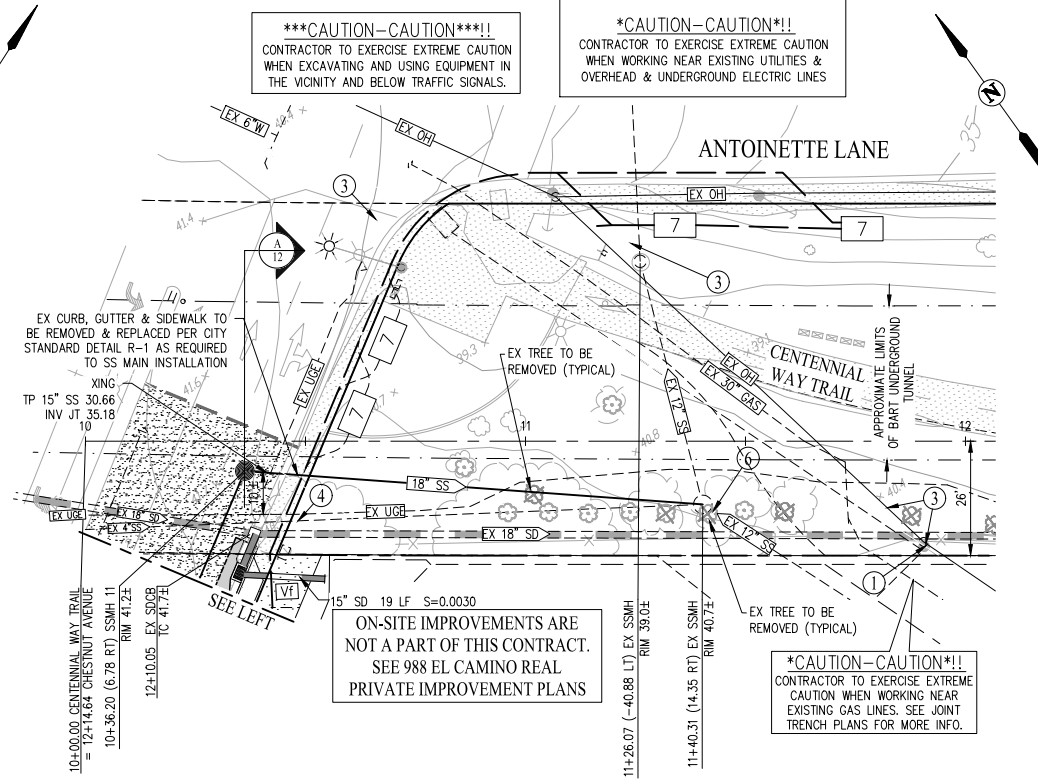
*****CAUTION-CAUTION***!!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING AND USING EQUIPMENT IN THE VICINITY AND BELOW TRAFFIC SIGNALS.

ON-SITE IMPROVEMENTS ARE NOT A PART OF THIS CONTRACT. SEE 988 EL CAMINO REAL PRIVATE IMPROVEMENT PLANS

FOR CITY ENCROACHMENT PERMIT ONLY

CHESTNUT AVENUE

SCALE: 1" = 20'



*****CAUTION-CAUTION***!!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN EXCAVATING AND USING EQUIPMENT IN THE VICINITY AND BELOW TRAFFIC SIGNALS.

***CAUTION-CAUTION*!!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITIES & OVERHEAD & UNDERGROUND ELECTRIC LINES

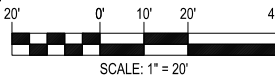
ON-SITE IMPROVEMENTS ARE NOT A PART OF THIS CONTRACT. SEE 988 EL CAMINO REAL PRIVATE IMPROVEMENT PLANS

***CAUTION-CAUTION*!!**
CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING GAS LINES. SEE JOINT TRENCH PLANS FOR MORE INFO.

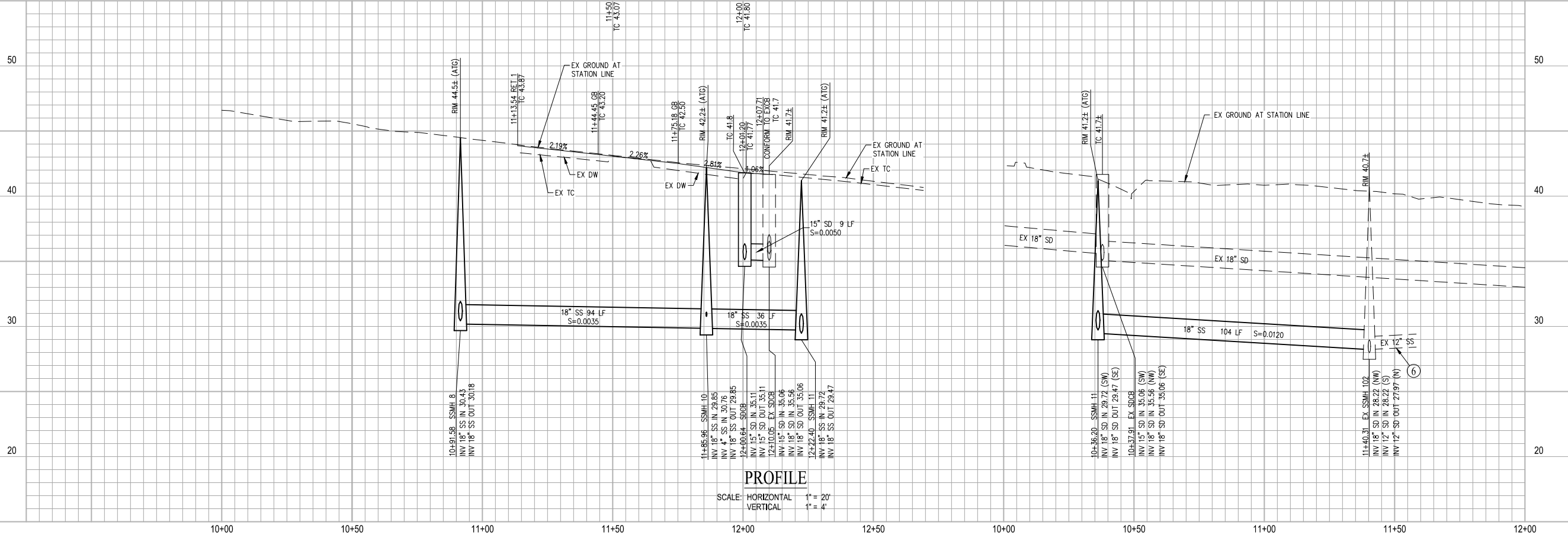
FOR BART ENCROACHMENT PERMIT ONLY

CENTENNIAL WAY TRAIL

SCALE: 1" = 20'



CURVE TABLE				
NO	RADIUS	DELTA	LENGTH	DESC
C1	40.00'	101°27'50"	70.84'	TC
C2	43.00'	98°41'35"	74.07'	TC

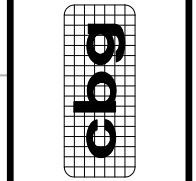


PROFILE

SCALE: HORIZONTAL 1" = 20'
VERTICAL 1" = 4'

DATE	BY	DATE	BY	DATE	BY
FEB 2018	RAB				

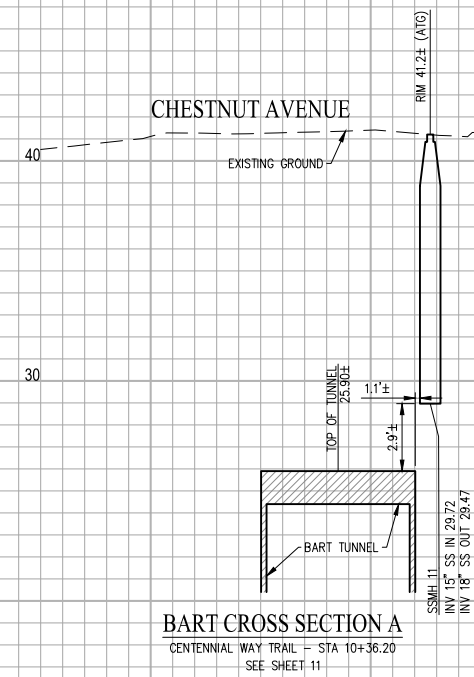
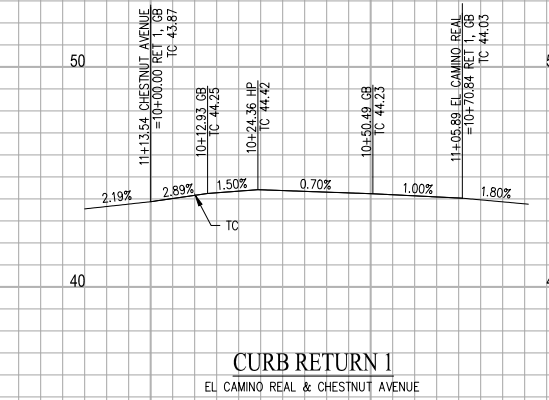
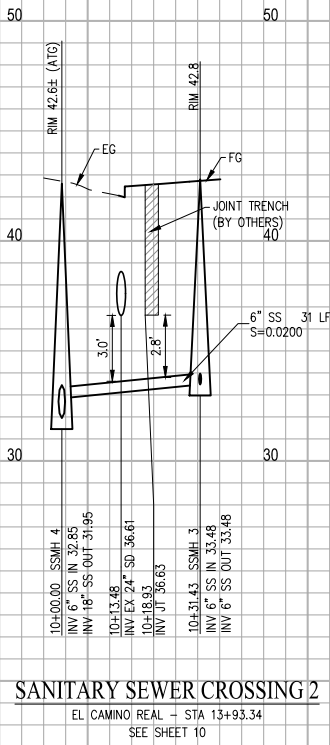
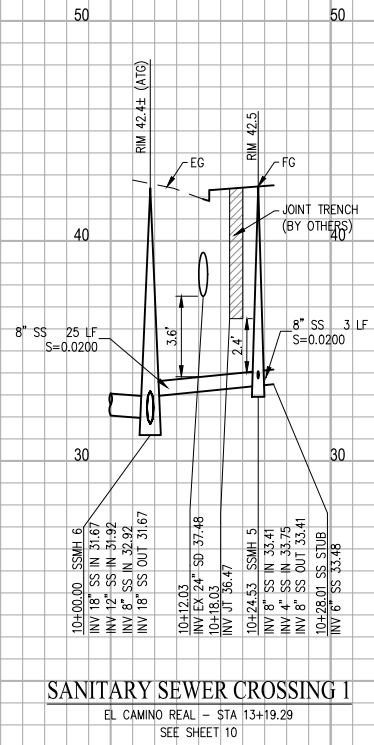
Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
www.cbgi.com
SAN FRANCISCO (415) 885-0322
SACRAMENTO (916) 375-1877



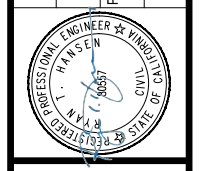
988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
CHESTNUT AVENUE & CENTENNIAL WAY TRAIL
CITY OF SOUTH SAN FRANCISCO
CALIFORNIA

SHEET NUMBER
11
OF 16
JOB NUMBER
2718-000

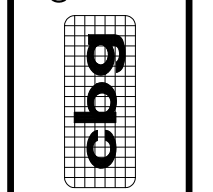
Exhibit B - Improvement Agreement



NO.	BY	DATE	REVISIONS	CITY APPROVAL



Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
www.cbgi.com
SAN RAMON • (925) 886-0322
SACRAMENTO • (916) 375-1877



988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
UTILITY CROSSING & CURB RETURN PROFILES
CITY OF SOUTH SAN FRANCISCO
CALIFORNIA

SHEET NUMBER
12
OF 16
JOB NUMBER
2718-000

Exhibit B - Improvement Agreement



LEGEND & ABBREVIATIONS

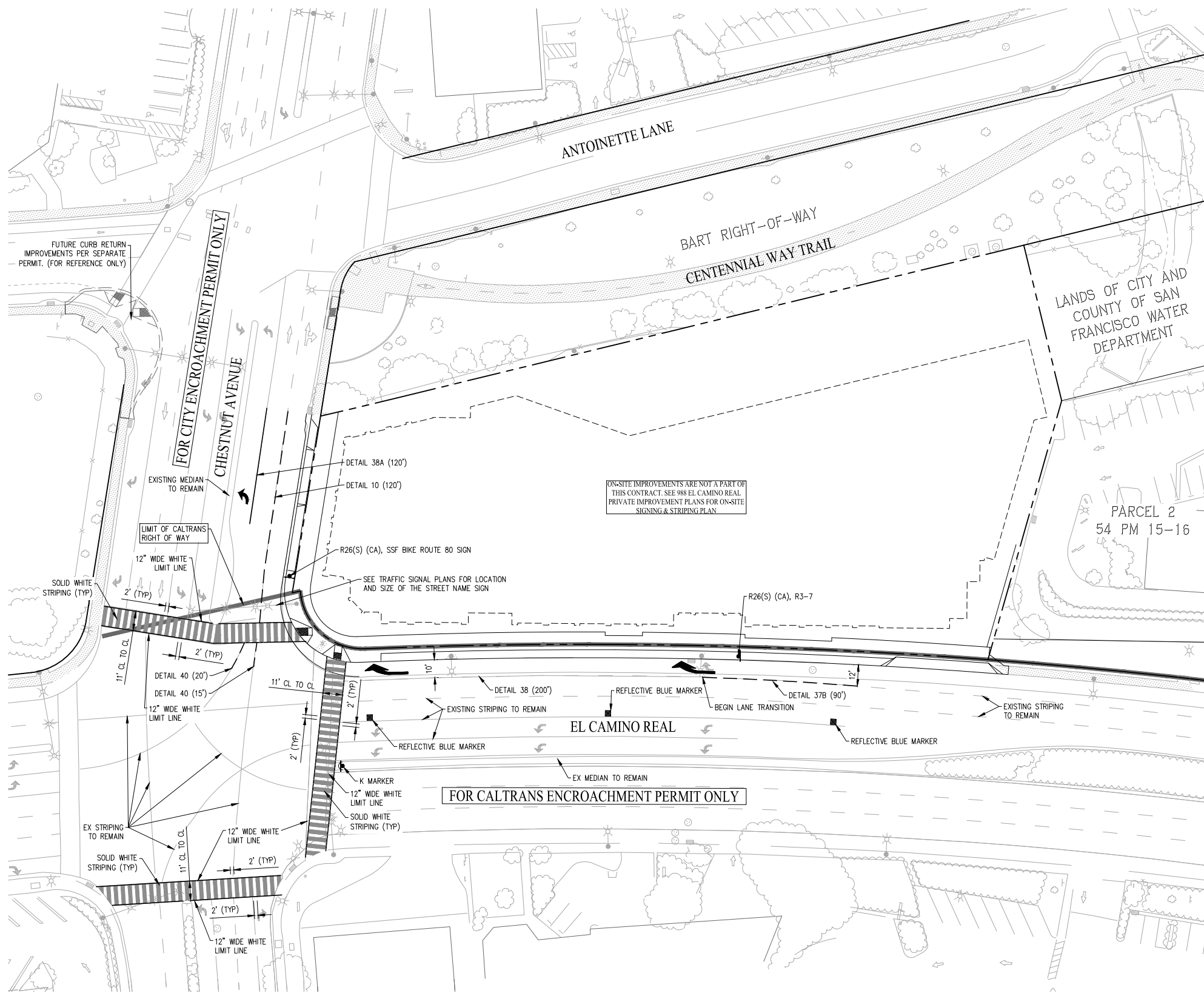
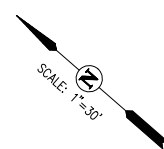
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING STRIPING TO BE REPLACED
- SIGN
- REFLECTIVE BLUE FIRE HYDRANT MARKER TO BE INSTALLED ADJACENT TO FIRE HYDRANT 6" OFF LANE STRIPING AS SHOWN
- EXISTING FIRE HYDRANT
- FIRE HYDRANT
- TYPE IV (L) ARROW
- TYPE III (R) ARROW
- R26(S) (CA) NO STOPPING ANYTIME SIGN
- R3-7 RIGHT LANE MUST TURN RIGHT SIGN
- SSF SOUTH SAN FRANCISCO
- STND STANDARD
- TYP TYPICAL



SSF BIKE ROUTE 80 SIGN

SIGNING AND STRIPING NOTES

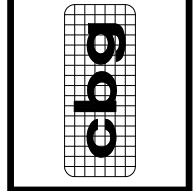
1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND CITY STANDARDS ON TRAFFIC SIGN SHEETING MATERIAL.
2. SIGNS SHALL BE OF STANDARD SIZE DESIGNATED FOR EACH TYPE IN THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, EXCEPT WHERE NOTED OTHERWISE.
3. MOUNTING SHALL CONFORM TO APPROPRIATE PROVISIONS OF PART 2, THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND APPLICABLE "STANDARD PLANS," STATE OF CALIFORNIA (CALTRANS), LATEST EDITION, EXCEPT WHERE OTHERWISE INDICATED ON PLANS.
4. STRIPING SHALL CONFORM TO APPROPRIATE PROVISIONS OF PART 3, "MARKINGS" OF THE LATEST EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
5. ALL NEW ROADWAY MARKINGS, PLACEMENT ARROWS, MESSAGES AND STRIPING SHALL BE THERMOPLASTIC UNLESS NOTED OTHERWISE.
6. SIGNS MAY BE INSTALLED ON ADJACENT ELECTROLIERS WHERE FEASIBLE.



NO.	BY	DATE	REVISIONS	CITY APPROVAL

DATE: FEB 2018	DRAWN BY: RAB	PROJ. ENGR: SDC	PROJ. MGR: RTH
----------------	---------------	-----------------	----------------

Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN RAMON • (925) 886-0322
 SACRAMENTO • (916) 375-1877



988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
 SIGNING AND STRIPING PLAN
 CITY OF SOUTH SAN FRANCISCO
 CALIFORNIA

SHEET NUMBER
13
 OF 16
 JOB NUMBER
2718-000

Exhibit B - Improvement Agreement



RISK LEVEL 1 SITES - BEST MANAGEMENT PRACTICE NOTES:

1. RISK LEVEL 1 SITES ARE NOT SUBJECT TO A NUMERIC EFFLUENT STANDARD.
2. RISK LEVEL 1 SITES DO NOT REQUIRE A RAIN EVENT ACTION PLAN.
3. RISK LEVEL 1 SITE MONITORING AND REPORTING REQUIREMENTS:

RISK LEVEL	SUMMARY OF MONITORING AND REPORTING REQUIREMENTS						
	QUARTERLY NON-STORMWATER DISCHARGE	VISUAL INSPECTIONS		DAILY STORM BMP	POST STORM	SAMPLE COLLECTION	
		PRE-STORM EVENT BASELINE	REAP			STORMWATER DISCHARGE	RECEIVING WATER
X	X	X	N/A	X	X	N/A	N/A

4. IT SHALL BE THE LEGALLY RESPONSIBLE PARTY'S (LRP/DISCHARGER) DUTY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO ENSURE THE ENTIRE SITE IS IN COMPLIANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) APPROVED FOR THE SITE, THE CALIFORNIA STATE WATER RESOURCES CONTROL BOARD (SWRCB) ORDER NO. 2009-0009 DWO, NPDES NO. CAS000002 AND THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
5. THIS PLAN IS INTENDED TO BE UTILIZED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE UTILIZED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
6. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN AS NECESSARY IN THE FIELD. DOCUMENT AND REPORT ANY FIELD CHANGES PER THE REQUIREMENTS OF THE SWPPP AND NOTIFY THE CITY OR COUNTY REPRESENTATIVE OF THE FIELD CHANGES.
7. ALL MAINTENANCE AND OPERATION REQUIREMENTS SHALL COMPLY WITH THE SWPPP AND THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
8. DISCHARGERS SHALL EFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE BY EROSION, FLOODING AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF EROSION CONTROL FOR THE PROJECT AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE CITY OR COUNTY ENGINEER AND THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB).
10. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE BMP PERIMETER CONTROLS AND STABILIZED ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE YEAR-ROUND.
11. EROSION CONTROL MEASURES WILL BE PROPERLY IN PLACE YEAR-ROUND. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE DAY RAIN PROBABILITY EXCEEDS 50 PERCENT.
12. INSPECTIONS AND OBSERVATIONS SHALL OCCUR WEEKLY, AND AT LEAST ONCE EACH 24-HOUR PERIOD DURING EXTENDED STORM EVENTS, TO IDENTIFY AND RECORD BMPs THAT NEED MAINTENANCE TO OPERATE EFFECTIVELY, THAT HAVE FAILED OR THAT COULD FAIL TO OPERATE AS INTENDED.
13. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORMWATER DISCHARGES DURING CONSTRUCTION.
14. DISCHARGERS SHALL IMPLEMENT EFFECTIVE WIND EROSION CONTROL.
15. CONSTRUCTION TRAFFIC SPEEDS WILL BE LIMITED TO 15 MPH, OR LESS, AS REQUIRED BY THE CONTRACTOR.
16. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF SITE WORK. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
17. APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN MATERIAL STORAGE AREA.
18. APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN THE VEHICLE STORAGE AREA.
19. PLACE ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
20. IMPLEMENT BMPs TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS.
21. PAVED STREETS WILL BE MONITORED DAILY AND FREQUENTLY CLEANED. STREETS WILL ALSO BE SWEEPED ON AT LEAST A WEEKLY BASIS OR MORE OFTEN, AS NEEDED, TO MAINTAIN CONTINUOUS LITTER AND TRACKING CONTROL. STREET WASHING WILL NOT BE DONE.
22. TRASH RECEPTACLES WILL BE PROVIDED THROUGHOUT THE SITE AND UTILIZED BY ALL WORKERS FOR MISCELLANEOUS TRASH. SITE REFUSE WILL BE PICKED UP ON A WEEKLY BASIS OR AS OFTEN AS NECESSARY IN ORDER TO KEEP THE SITE CLEAN.
23. COVER AND BERM LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.).
24. CONTAIN AND SECURELY PROTECT STOCKPILED WASTE MATERIAL FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
25. EXCAVATING, FILLING, BACKFILLING AND GRADING WORK SHALL NOT BE PERFORMED DURING UNFAVORABLE WEATHER CONDITIONS.
26. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVER FOR INACTIVE AREAS AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND COMPLETED LOTS. INACTIVE AREAS OF CONSTRUCTION ARE AREAS OF CONSTRUCTION ACTIVITY THAT HAVE BEEN DISTURBED AND ARE NOT SCHEDULED TO BE RE-DISTURBED FOR AT LEAST 14 DAYS.
27. SLOPES WILL BE GRADED SO THAT WATER IS DIRECTED AWAY FROM THE SLOPE FACES AT THE END OF EACH WORKING DAY WHEN A CHANCE OF RAIN IS FORECAST.
28. ALL RILLS, GULLIES, ETC. WILL BE PROMPTLY REPAIRED AS PRACTICAL BY REGRADING OR INSTALLATION OF SOIL, GRAVEL OR SANDBAGS.
29. ALL DRAIN INLETS WILL BE PROTECTED AS THEY ARE COMPLETED, DURING THE ENTIRE COURSE OF CONSTRUCTION.
30. IF SEDIMENT BASINS ARE TO BE USED, DISCHARGERS SHALL, AT A MINIMUM DESIGN SEDIMENT BASINS ACCORDING TO THE METHOD PROVIDED IN CASQA'S CONSTRUCTION BMP GUIDANCE HANDBOOK.
31. AFTER EACH RAINSTORM, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS, FIBER ROLLS, SILT FENCES AND SILT SACKS. SEDIMENT TRAPS/BASINS SHOULD ALSO BE OBSERVED AND PUMPED DRY AS NECESSARY TO ASSURE PROPER FUNCTION AND CAPACITY.
32. INTERIOR FIBER ROLLS MAY BE REMOVED AS THE AREA COMES UNDER CONSTRUCTION FOR FINISH GRADING AND LANDSCAPING INSTALLATION. PERIMETER PROTECTION SHOULD BE LEFT IN PLACE YEAR-ROUND.
33. GRAVEL CHECK DAMS MAY BE REMOVED FROM UNPAVED ROADWAYS AS THEY COME UNDER CONSTRUCTION.

APPLICABLE (BUT NOT LIMITED TO) CURRENT CASQA STORMWATER BMP CONSTRUCTION HANDBOOK

- EC-1 SCHEDULING
- EC-3 HYDROMULCH
- EC-4 HYDROSEED
- NS-1 WATER CONSERVATION PRACTICES
- NS-2 DEWATERING OPERATIONS
- NS-3 PAVING & GRINDING OPERATIONS
- NS-8 VEHICLE & EQUIPMENT CLEANING
- NS-9 VEHICLE & EQUIPMENT FUELING
- NS-10 VEHICLE & EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- SE-1 SILT FENCE
- SE-4 CHECK DAMS
- SE-5 FIBER ROLLS
- SE-10 DI PROTECTION TYPE 1
- SE-10 DI PROTECTION TYPE 2
- SE-10 DI PROTECTION TYPE 3
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- TC-2 STABILIZED CONSTRUCTION ROADWAY
- TC-3 ENTRANCE & OUTLET TIRE WASH
- WE-1 WIND EROSION CONTROL
- WM-1 MATERIAL DELIVERY & STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

NO.	BY	DATE	REVISIONS

DATE: FEB 2018
 DRAWN BY: RAB
 PROJ. ENGR: SOC
 PROJ. MGR: RTH

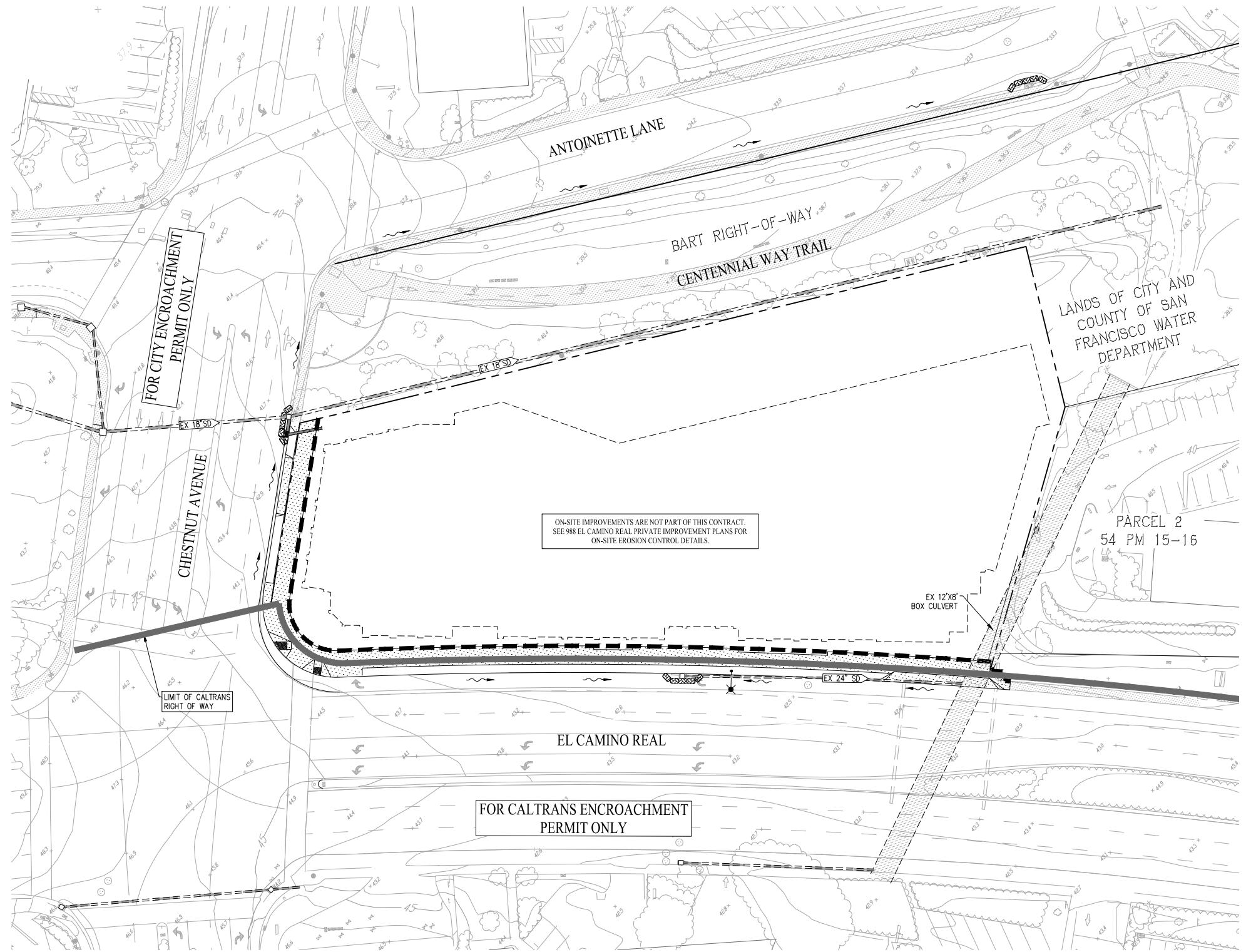
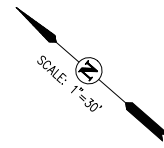


Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN RAMON • (925) 886-0322
 SACRAMENTO • (916) 375-1877

PUBLIC IMPROVEMENT PLANS
 EROSION CONTROL NOTES
 CALIFORNIA
 CITY OF SOUTH SAN FRANCISCO

SHEET NUMBER
14
 OF 16
 JOB NUMBER
 2718-000

Exhibit B - Improvement Agreement



ON-SITE IMPROVEMENTS ARE NOT PART OF THIS CONTRACT. SEE 988 EL CAMINO REAL PRIVATE IMPROVEMENT PLANS FOR ON-SITE EROSION CONTROL DETAILS.

FOR CITY ENCROACHMENT PERMIT ONLY

FOR CALTRANS ENCROACHMENT PERMIT ONLY

LANDS OF CITY AND COUNTY OF SAN FRANCISCO WATER DEPARTMENT
 PARCEL 2
 54 PM 15-16

LEGEND

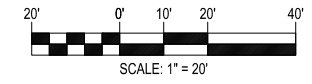
- DIRECTION OF FLOW WITH STORM DRAIN INSTALLED
- FIELD INLET PROTECTION - (SE-10)
- CURB INLET PROTECTION - (SE-5)
- FIBER ROLL - (SE-5)
- HYDROSEED MIX OR HYDROMULCH - (EC-4 OR EC-3)
- STABILIZED CONSTRUCTION ENTRANCE/EXIT - (TC-1)
- STABILIZED CONSTRUCTION ROAD - (TC-2)
- FIELD INLET
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN

NOTE:
 * STORMWATER DISCHARGE SAMPLING LOCATIONS ARE SUBJECT TO CHANGE AND WILL BE REMOVED, RELOCATED OR ADDED AT THE QSP'S DISCRETION.

QUALIFIED SWPPP PRACTITIONER (QSP) MARK KNOWN LOCATIONS*

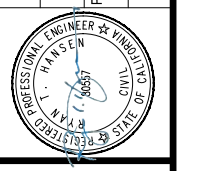
- MATERIALS AND EQUIPMENT STORAGE AREA (WM-1)
- VEHICLE CLEANING/MAINTENANCE/FUELING AREA - (NS-8, NS-9, NS-10)
- SANITARY FACILITY (WM-9)
- CONCRETE/WASTE WASHOUT (WM-8)

NOTE:
 * THE MATERIALS AND EQUIPMENT STORAGE AREA, VEHICLE CLEANING/MAINTENANCE/FUELING AREA, SANITARY FACILITY AND CONCRETE/WASTE WASHOUT WILL BE PLACED AT THE QSP'S DISCRETION AND ARE SUBJECT TO CHANGE.

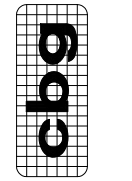


NO.	BY	DATE	REVISIONS	CITY APPROVAL

DATE: FEB 2018
 DRAWN BY: RAB
 PROJ. ENGR: SDC
 PROJ. MGR: RTH



Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN FRANCISCO • (415) 886-0322
 SACRAMENTO • (916) 375-1877



988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
 EROSION CONTROL PLAN
 CITY OF SOUTH SAN FRANCISCO
 CALIFORNIA

SHEET NUMBER
15
 OF 16
 JOB NUMBER
 2718-000

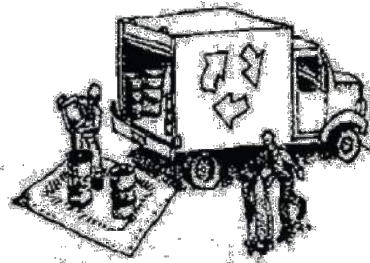


SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



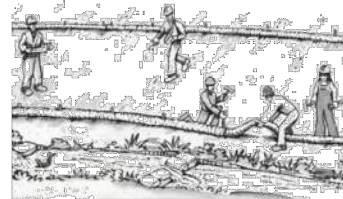
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

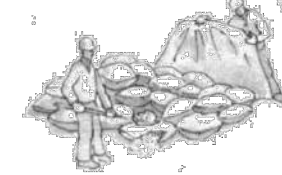
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



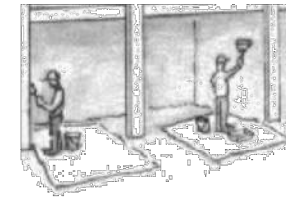
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

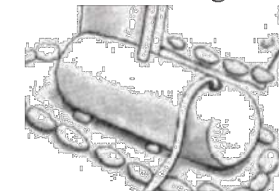
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

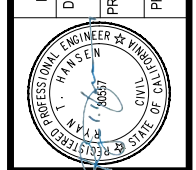
Dewatering



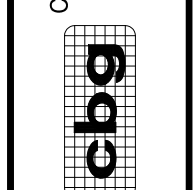
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

DATE:	FEB 2018
DRAWN BY:	RAB
PROJ. ENGR:	SDC
PROJ. MGR:	RTH
NO.	
BY	DATE
REVISIONS	
CITY APPROVAL	



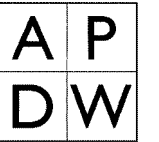
Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 www.cbgi.com
 SAN RAMON (925) 886-0322
 SACRAMENTO (916) 375-1877



988 EL CAMINO REAL
PUBLIC IMPROVEMENT PLANS
 CONSTRUCTION BEST MANAGEMENT PRACTICES
 CITY OF SOUTH SAN FRANCISCO
 CALIFORNIA

SHEET NUMBER
16
 OF 16
 JOB NUMBER
 2718-000

Exhibit B - Improvement Agreement



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
P: 415-457-2774 F: 415-457-9379 WWW.APDW.COM

GENERAL NOTES:

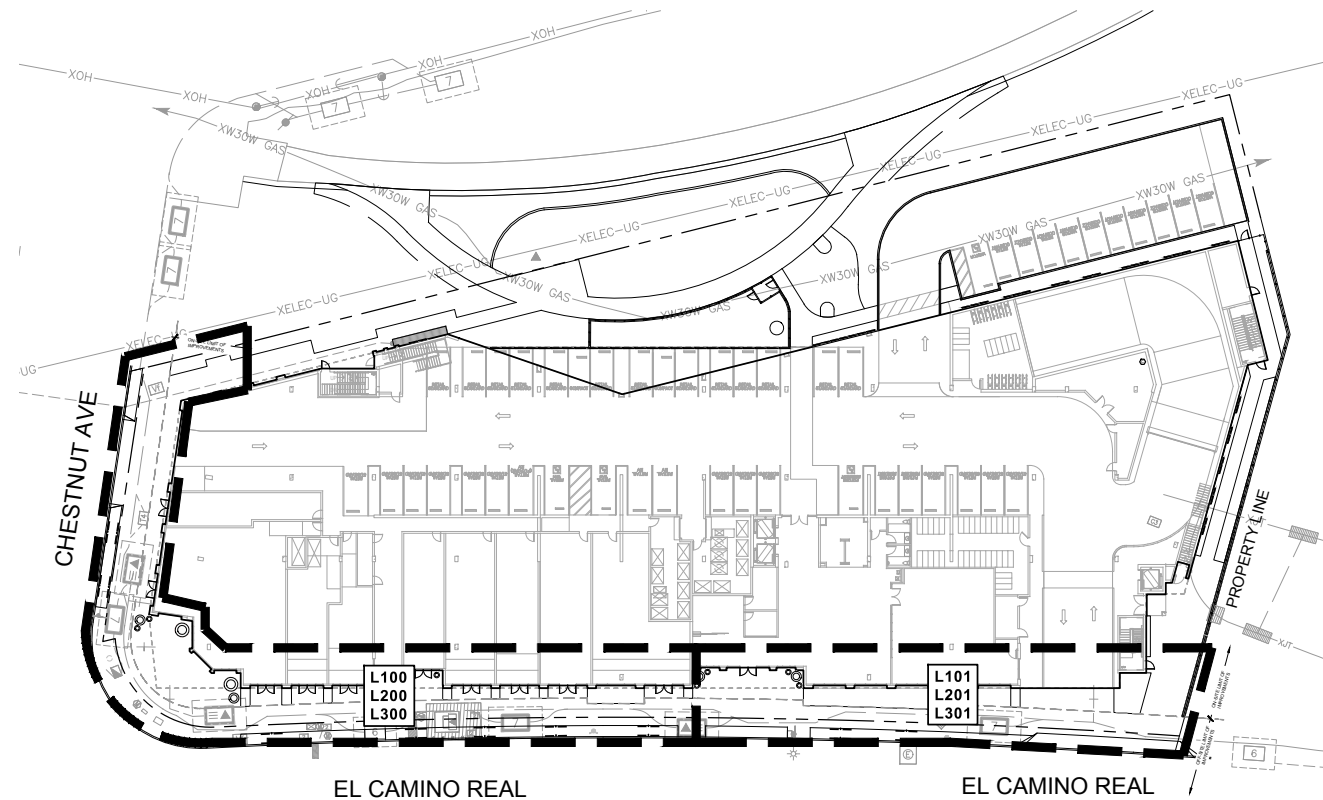
1. DESIGN SHALL MEET ALL APPLICABLE STATE AND LOCAL CODES.
2. SEE CIVIL PLANS FOR GRADES, STORMWATER MANAGEMENT, AND ADA PATH OF TRAVEL.
3. PROVIDE WRITTEN NOTIFICATION OF ALL DISCREPANCIES BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS.
4. VERIFY EXISTING SITE INFORMATION, INCLUDING GRADES, UTILITIES, PROPERTY LINES, SETBACKS, EASEMENTS, LIMITS OF ROADWAYS, CURBS AND GUTTERS.
5. ALL MATERIALS, FINISHES, MANUFACTURED ITEMS AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MOST STRINGENT.
6. PROVIDE CONSTRUCTION BARRIERS AS REQUIRED. PROTECT ADJACENT PROPERTY.
7. INFORMATION ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS APPROXIMATE ONLY. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL EXERCISE CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES AND STRUCTURES.
8. ALL DRAIN LINES, IRRIGATION SUPPLY LINES, CONDUIT, SLEEVES, POWER AND WATER SERVICE POINTS SHALL BE IN PLACE PRIOR TO INSTALLATION OF SITE LANDSCAPE CONSTRUCTION.
9. CONTRACTOR SHALL COORDINATE WALL AND CURB PENETRATIONS FOR INSTALLATION OF WATERPROOFING, SLEEVES CONDUIT AND ANCHOR BOLTS.
10. SCALE APPLIES TO FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.

SHEET INDEX:

L000	SHEET INDEX, KEY PLAN & NOTES
L100	OFFSITE MATERIALS PLAN
L101	OFFSITE MATERIALS PLAN, NOTES & LEGEND
L200	OFFSITE PLANTING PLAN
L201	OFFSITE PLANTING PLAN, NOTES & LEGEND
L300	OFFSITE IRRIGATION PLAN
L301	OFFSITE IRRIGATION PLAN
L302	OFFSITE IRRIGATION NOTES & LEGEND
L303	OFFSITE IRRIGATION DETAILS
L304	OFFSITE IRRIGATION DETAILS
L305	OFFSITE IRRIGATION DETAILS
L306	OFFSITE IRRIGATION WATER CALCULATION
L400	CONSTRUCTION DETAILS
L500	PLANTING DETAILS

SYMBOLS & ABBREVIATIONS

	ALIGN / FLUSH
	BOTTOM OF WALL
	CENTERLINE
	CAST IN PLACE
	CONTROL JOINT
	DETAIL CALLOUT
	DIAMETER
	EQUAL
	EXISTING
	EXPANSION JOINT
	FACE OF WALL
	FINISH GRADE
	FINISH SURFACE
	FIRE LADDER PAD
	HOSE BIB
	HEADER
	HIGH POINT
	HEIGHT
	LIMIT OF WORK
	MAXIMUM
	MINIMUM
	NOT IN CONTRACT
	ON CENTER
	PLANTING AREA
	STORM WATER PLANTING AREA
	PUBLIC ACCESS EASEMENT
	POURED IN PLACE
	POINT OF BEGINNING
	POINT OF CONNECTION
	PROPERTY LINE
	PRESSURE TREATED
	REVISION CLOUD
	REVISION DELTA
	RADIUS
	RIGHT-OF-WAY
	RIM ELEVATION
	SEE ARCHITECTURAL DRAWINGS
	SEE CIVIL DRAWINGS
	SEE INTERIOR DRAWINGS
	SEE PLUMBING DRAWINGS
	SIMILAR
	SPECIFICATIONS
	SEE STRUCTURAL DRAWINGS
	TO BE DETERMINED
	TOP OF CURB
	TOP OF WALL
	TYPICAL
	WATER PROOFING



KEY PLAN: LEVEL 1

988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



Date:	12/17/2018
Project Number:	18dw276
Drawn by:	MT/GY
Checked by:	AP
Scale:	As Noted

Date:	Issue:
08/20/2018	OFF-SITE SUBMITTAL 1
10/10/2018	OFF-SITE SUBMITTAL 2
12/17/2018	OFF-SITE SUBMITTAL 3

SHEET INDEX,
KEY PLAN &
NOTES
L000

Exhibit B - Improvement Agreement

AP
DW

APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
P. 415-451-2774 F. 415-451-9337 WWW.APDW.COM

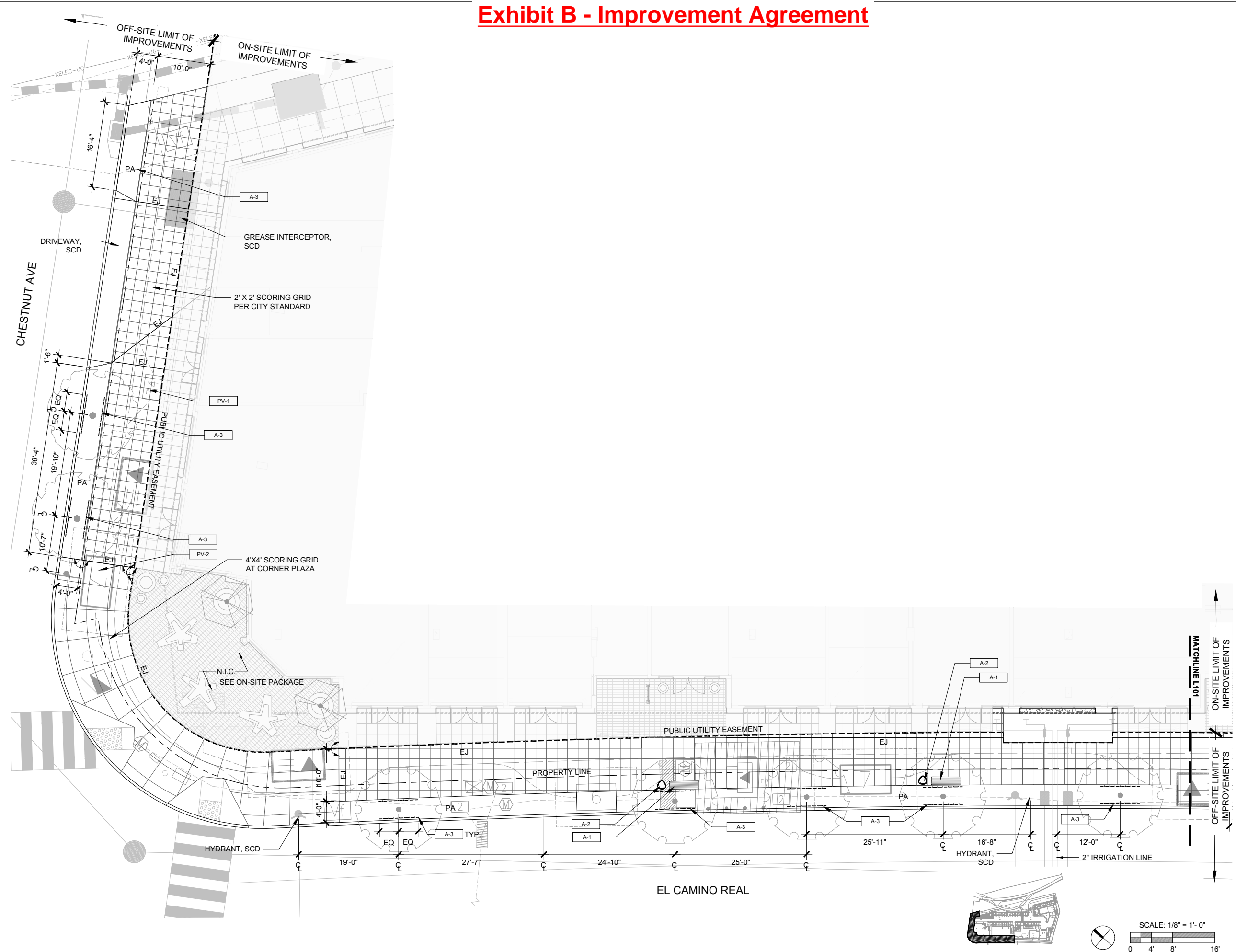
988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



Date: 12/17/2018
Project Number: 18dw276
Drawn by: MT/GY
Checked by: AP
Scale: As Noted

Date: Issue:
06/20/2018 OFF-SITE SUBMITTAL 1
10/10/2018 OFF-SITE SUBMITTAL 2
12/17/2018 OFF-SITE SUBMITTAL 3

OFFSITE
MATERIALS
PLAN
L100



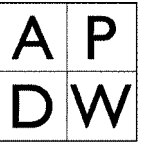
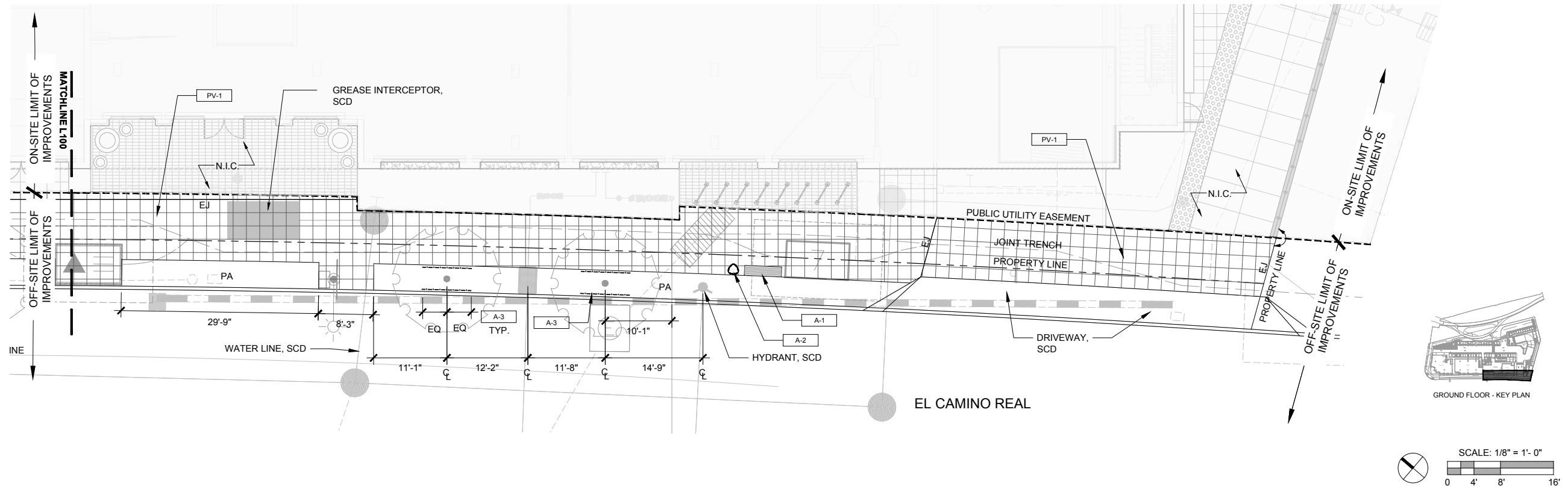
p:\17dw276\CAD\OFF-SITE\SHEETS\L100 OFFSITE MATERIALS PLAN.dwg, 12/17/2018 4:12:38 PM, MarionT,
ARCH full bleed D (24.00 x 36.00 Inches)

Exhibit B - Improvement Agreement

MATERIALS LEGEND									
CALLOUT	SYMBOL	DESCRIPTION	DETAIL	MANUFACTURER	PRODUCT	MATERIAL / COLOR / FINISH	SIZE	QTY.	NOTES
PAVING + EDGING									
PV-1		CONCRETE PAVING ON GRADE: SIDEWALK	1/L400 2/L400	GRANITE ROCK	READY-MIX CONCRETE	GRANITE ROCK READY-MIX CONCRETE / COLOR: NATURAL / BROOM FINISH	2' X 2' CITY GRID SEE PLAN	4,169 SF	SIDEWALKS: NATURAL WITH BROOM FINISH TO MEET CITY STANDARD. SCD. WWW.GRANITEROCK.COM
PV-2		CONCRETE PAVING ON GRADE: CORNER	1/L400 2/L400	GRANITE ROCK / DAYTON SUPERIOR	READY-MIX CONCRETE AND TOP CAST FINISH	GRANITE ROCK READY-MIX CONCRETE / COLOR: NATURAL / FINISH: GRACE TOP CAST 05- SANDBLAST	4' X 4' SEE PLAN	1,070 SF	WWW.GRANITEROCK.COM; WWW.DAYTONSUPERIOR.COM
AMENITIES									
A-1		WOOD BENCH	3/L400	LANDSCAPE FORMS	NEOLIVIANO BENCH	JARRAH WOOD & ALUMINUM	69" BACKED	3	WWW.LANDSCAPEFORMS.COM/EN-US/PRODUCTDATA/PAGES/NEOLIVIANO-BENCH.ASPX
A-2		TRASH RECEPTACLE	-	LANDSCAPE FORMS	FGP LITTER	JARRAH & POWDERCOATED METAL: SILVER	19" X 20" HEIGHT: 37"	3	WWW.LANDSCAPEFORMS.COM/EN-US/PRODUCT/PAGES/FGP-LITTER.ASPX
A-3		ROOT BARRIER	4/L500 5/L500	DEEPROOT	UB 36-2	36" DEEP ROOT BARRIER / BLACK	36" ROLL: CUT IN 8' LENGTHS	144 LF	WWW.DEEPROOT.COM ; (800) 458-7668

LAYOUT NOTES:

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS PRIOR TO COMMENCING WORK AND SHALL NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES.
3. WHERE 'VERIFY' OR 'FIELD VERIFY' IS USED IN CONJUNCTION WITH A DIMENSION, THE CONTRACTOR SHALL VERIFY THE MEASUREMENT PRIOR TO BEGINNING THE WORK. IMMEDIATELY BRING DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
4. DIMENSIONS ARE TAKEN FROM FACE OF BUILDING. COLUMN GRID LINE OR WALL AND BACK OF CURB UNLESS OTHERWISE NOTED.
5. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH NO ABRUPT CHANGES IN DIRECTION.
6. CONTRACTOR TO VERIFY EXISTING FINISH GRADES WHERE PLANTER WALLS ARE LOCATED. FINAL GRADES MAY BE DIFFERENT THAN DESIGN GRADES SHOWN. SEE CIVIL DRAWINGS FOR GRADING INFORMATION. CONTRACTOR TO BRING ANY GRADE DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REVIEW, AS IT AFFECTS WALL HEIGHTS.
7. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE ON ALL PAVED SURFACES AND ENSURE THAT NO PONDING OF WATER OCCURS.
8. ALL UTILITY HATCHES, COVERS AND BOXES SHALL RESIDE IN PLANTING AREAS OR PAVING AREAS, NOT IN BOTH. ALIGN HATCHES AND CENTER UTILITIES IN PAVING SCORE PATTERNS.



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
817 FIFTH AVENUE, SAN RAFAEL, CA 94901
P. 415-452-2274 F. 415-451-9337 WWW.APDW.COM

988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



Date: 12/17/2018
Project Number: 18dw276
Drawn by: MT/GY
Checked by: AP
Scale: As Noted

Date: Issue:
06/20/2018 OFF-SITE SUBMITTAL 1
10/10/2018 OFF-SITE SUBMITTAL 2
12/17/2018 OFF-SITE SUBMITTAL 3

OFFSITE MATERIALS PLAN, NOTES & LEGEND
L101

Exhibit B - Improvement Agreement

PLANT LEGEND

CALLOUT	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	CONTAINER SIZE	SPACING	WUCOLS	IRRIGA. TYPE	CALI. NATIVE	MATURE WIDTH	REMARKS
TREES											
PLA ACE		PLATANUS ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	7	48" BOX STANDARD	SEE PLAN	MODERATE	BUBBLER	N	30-40'	
TRI CON		TRISTANIA CONFERTA	BRISBANE BOX	2	48" BOX STANDARD	SEE PLAN	MODERATE	BUBBLER	N	25'	
SHRUBS AND GROUNDCOVER											
RHA IND		RHAPHIOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORNE	90	5 GAL	3' O.C.	LOW	DRIP	N	5-6'	
LIM CAL		LIMONIUM CALIFORNICUM	SEA LAVENDER	252	1 GAL	2' O.C.	LOW	DRIP	Y	2'	

PLANTING NOTES:

- ALL PLANT GROUPS ARE DESIGNED FOR LOW TO MODERATE WATER USE, AND LAID OUT BY WATER ZONES DEPENDING ON WATER NEEDS. ALL PLANTING IS WATERED BY DRIP, BUBBLERS OR SUB-SURFACE IRRIGATION.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT TO BLOCK WINDOWS, SIGNS NOR IMPEDE ACCESS.
- TREE PLANTING AND INSTALLATION WITHIN RIGHT OF WAY IS SUBJECT TO CITY OF SOUTH SAN FRANCISCO CODES AND STANDARDS.
- TREES ARE MEANT TO ALIGN WITH EACH OTHER UNLESS INDICATED OTHERWISE.
- TREES NEED TO BE STAKED IN LOCATION AND APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING. TREES AT BUILDING FACADE ARE NOT TO BLOCK WINDOWS AND MAY BE ADJUSTED IN THE FIELD.
- ALL GROUNDCOVER PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN TWO (2) YEARS. ALL SHRUB PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN FIVE (5) YEARS.
- FINISH GRADE OF ALL SHRUB AREAS ON SITE SHALL BE 1-1/2 INCHES BELOW ADJACENT PAVING OR HEADER.
- ALL NEW PLANTING AREA SHALL HAVE A MINIMUM OF 3" DEPTH LAYER OF ORGANIC MULCH APPLIED. STABILIZING MULCH PRODUCTS SHALL BE APPLIED TO SLOPES OF 3 TO 1 OR GREATER.
- A SOIL ANALYSIS SHOULD BE PERFORMED DETERMINING THE SOIL TEXTURE, ORGANIC MATTER AND ESSENTIAL NUTRIENTS, SOIL INFILTRATION RATE, MEASURE OF PH AND TOTAL SOLUBLE SALTS. ALL RECOMMENDATIONS SHALL BE ORGANIC AND NON-SYNTHETIC AND BASED ON RECYCLED WATER USE. TOP SOIL SHALL BE STOCKPILED ON SITE AS SPACE ALLOWS, SEE SPECIFICATIONS.
- AMENDMENTS OF SOILS DESIGNED TO PROMOTE HEALTHY WATER AND AIR ACCESS TO THE ROOT ZONE OF TREES TO BE PLANTED WITHIN 5 FEET OF ANY PAVEMENT OR OTHER COMPACTED AREA AND THE AMOUNT OF COMPOST SHALL ACHIEVE A MINIMUM OF 3.5% ORGANIC MATTER CONTENT BY DRY WEIGHT UNLESS SOIL REPORT RECOMMENDS AN ALTERNATIVE PERCENT OF ORGANIC MATTER TAILORED TO THE PLANT MATERIALS SPECIFIED IN THE LANDSCAPE DESIGN PLAN.
- SEE CIVIL DRAWINGS FOR STREETScape STORMWATER AND GRADING INFORMATION.
- TREES MUST BE LOCATED AT LEAST 10' FROM FIRE HYDRANTS, UTILITY POLES, DRIVEWAYS, AND HIGHWAY SIGNS.

A P
D W

APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
817 FIFTH AVENUE, SAN RAFAEL, CA 94901
P: 415-452-2274 F: 415-451-9339 WWW.APDW.COM

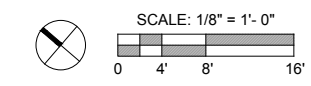
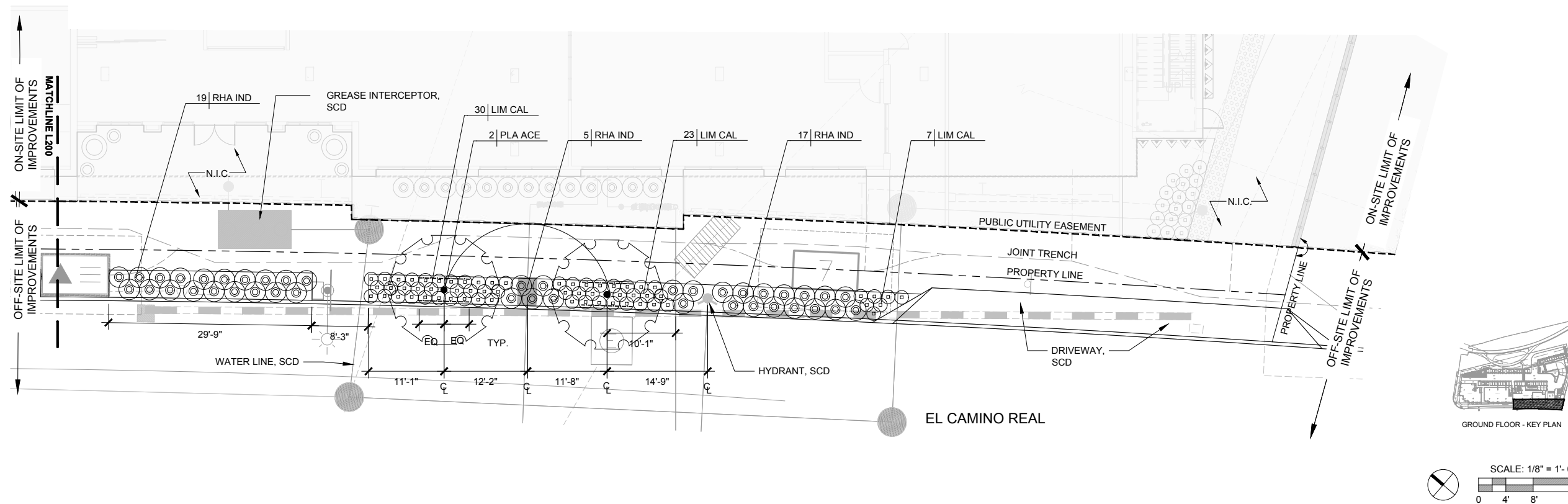
988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



Date: 12/17/2018
Project Number: 18dw276
Drawn by: MT/GY
Checked by: AP
Scale: As Noted

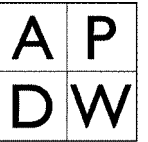
Date: Issue:
06/20/2018 OFF-SITE SUBMITTAL 1
10/10/2018 OFF-SITE SUBMITTAL 2
12/17/2018 OFF-SITE SUBMITTAL 3

OFFSITE
PLANTING
PLAN, NOTES
& LEGEND
L201



P:\17dw276\CAD\OFF-SITE\SHEETS\L200 OFFSITE PLANTING PLAN.dwg
DATE: Dec 17, 2018 4:13pm
ARCH full bleed D (24.00 x 36.00 Inches)

Exhibit B - Improvement Agreement



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
P: 415-451-2774 F: 415-451-9337 WWW.APDW.COM

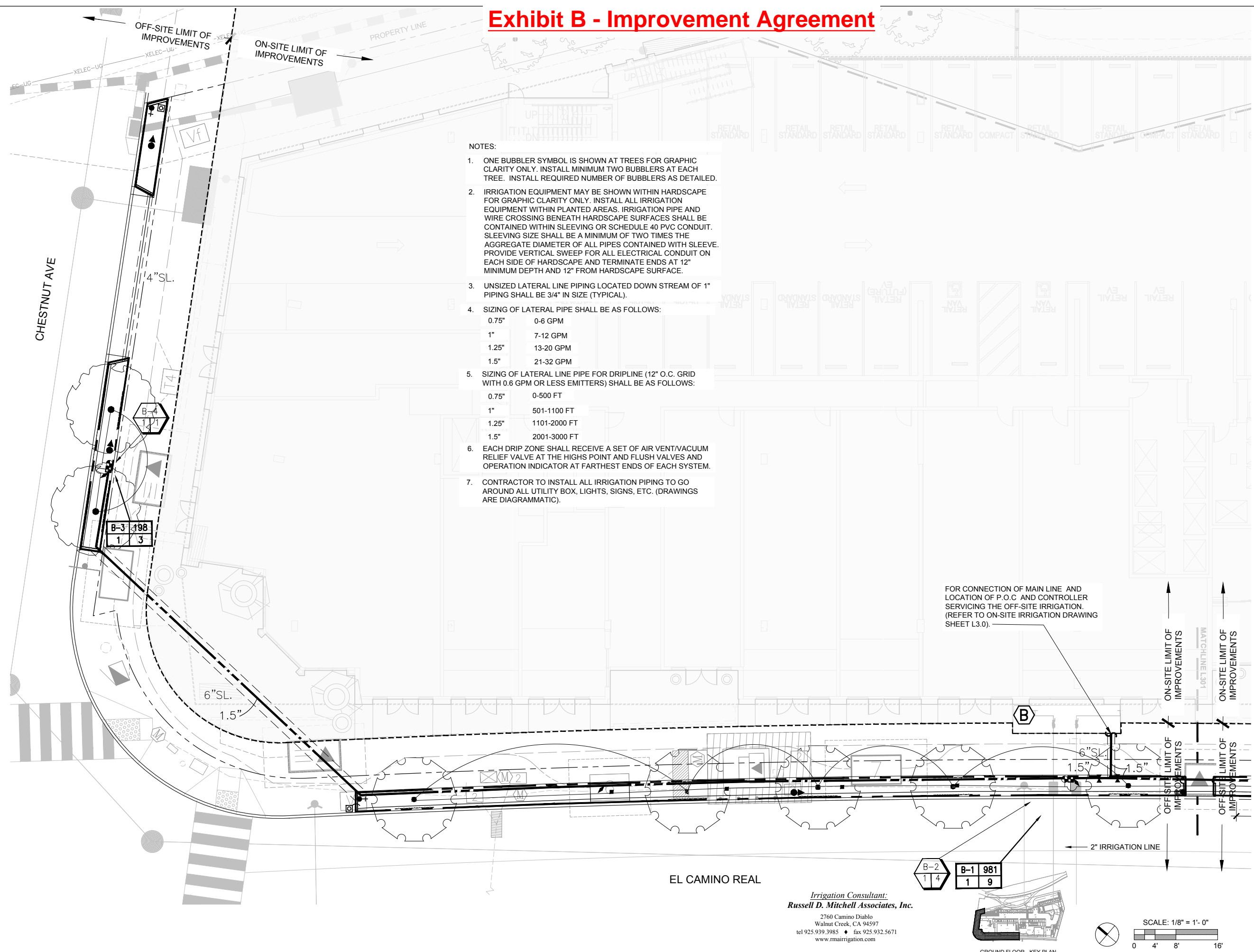
988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



Date: 12/17/2018
Project Number: 18dw276
Drawn by: MT/GY
Checked by: AP
Scale: As Noted

Date: Issue:
06/20/2018 OFF-SITE SUBMITTAL 1
10/10/2018 OFF-SITE SUBMITTAL 2
12/17/2018 OFF-SITE SUBMITTAL 3

OFFSITE IRRIGATION PLAN
L300



- NOTES:
- ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
 - IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITH SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
 - UNSIIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
 - SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
1.5"	21-32 GPM
 - SIZING OF LATERAL LINE PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPM OR LESS EMITTERS) SHALL BE AS FOLLOWS:

0.75"	0-500 FT
1"	501-1100 FT
1.25"	1101-2000 FT
1.5"	2001-3000 FT
 - EACH DRIP ZONE SHALL RECEIVE A SET OF AIR VENT/VACUUM RELIEF VALVE AT THE HIGHS POINT AND FLUSH VALVES AND OPERATION INDICATOR AT FARTHEST ENDS OF EACH SYSTEM.
 - CONTRACTOR TO INSTALL ALL IRRIGATION PIPING TO GO AROUND ALL UTILITY BOX, LIGHTS, SIGNS, ETC. (DRAWINGS ARE DIAGRAMMATIC).

FOR CONNECTION OF MAIN LINE AND LOCATION OF P.O.C AND CONTROLLER SERVICING THE OFF-SITE IRRIGATION. (REFER TO ON-SITE IRRIGATION DRAWING SHEET L3.0).

Irrigation Consultant:
Russell D. Mitchell Associates, Inc.
2760 Camino Diablo
Walnut Creek, CA 94597
tel 925.939.3985 • fax 925.932.5671
www.rmairrigation.com

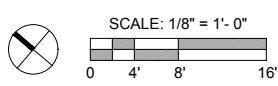


Exhibit B - Improvement Agreement

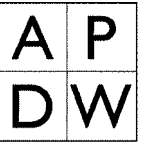
NOTES:

- ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITH SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- UNSIZE LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
1.5"	21-32 GPM
- SIZING OF LATERAL LINE PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPM OR LESS EMITTERS) SHALL BE AS FOLLOWS:

0.75"	0-500 FT
1"	501-1100 FT
1.25"	1101-2000 FT
1.5"	2001-3000 FT
- EACH DRIP ZONE SHALL RECEIVE A SET OF AIR VENT/VACUUM RELIEF VALVE AT THE HIGHS POINT AND FLUSH VALVES AND OPERATION INDICATOR AT FARTHEST ENDS OF EACH SYSTEM.
- CONTRACTOR TO INSTALL ALL IRRIGATION PIPING TO GO AROUND ALL UTILITY BOX, LIGHTS, SIGNS, ETC. (DRAWINGS ARE DIAGRAMMATIC).

- ALL PLANT GROUPS ARE LAID OUT BY WATER ZONES DEPENDING ON WATER NEEDS. ALL PLANTING IS WATERED BY DRIP, BUBBLERS OR SUB-SURFACE IRRIGATION. TIE TO EXISTING IRRIGATION CONTROL SYSTEM. CONNECT TO WEATHER BASED CONTROLLER AND BACKFLOW PREVENTOR. COORDINATE WITH CLIENT REPRESENTATIVE.
- ALLOW ONE VALVE MINIMUM PER HYDRO ZONE IN EACH PLANTER. THERE ARE SIX TYPES OF WATER ZONE GROUPINGS FOR THIS WORK.
- ALLOW ONE OVERFLOW DRAIN AND DRAIN PER PLANTER. COORDINATE WITH PLUMBER AND ASSOCIATED TRADES.
- CONTROLLER SYSTEM TO BE WEATHERTRAK OR EQUAL WITH RAIN SENSOR. CONTROLLER SHALL BE A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED. SUPPLY 2-YEAR SUBSCRIPTION. LOCATION TO BE DETERMINED.
- USE NETAFIM PRESSURE COMPENSATING DRIP LINES WITH EMITTERS AT 12" O.C. AND 0.9 GPH FOR IRRIGATION OR APPROVED EQUAL. ALL IRRIGATION LINES AND HEADS SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS ENSURING EQUIPMENT & INSTALLATION MEETS OR EXCEEDS STATE CODES. ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD. ASABE/ICC 802-2014. "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OR 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
- IRRIGATION LINES UNDER PAVING SHALL BE PLACED IN A SLEEVE THAT IS AT LEAST 2 SIZES LARGER THAN PIPE.
- CONTRACTOR TO VERIFY PRESSURE ON SITE BEFORE BEGINNING ANY IRRIGATION WORK. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE. CONDUCT PRESSURE TEST.
- ALL THREADED JOINTS SHALL BE COATED WITH TEFLON TAPE.
- AREAS LESS THAN TEN (10) FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- MANUAL SHUT-OFF VALVES (SUCH AS GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.



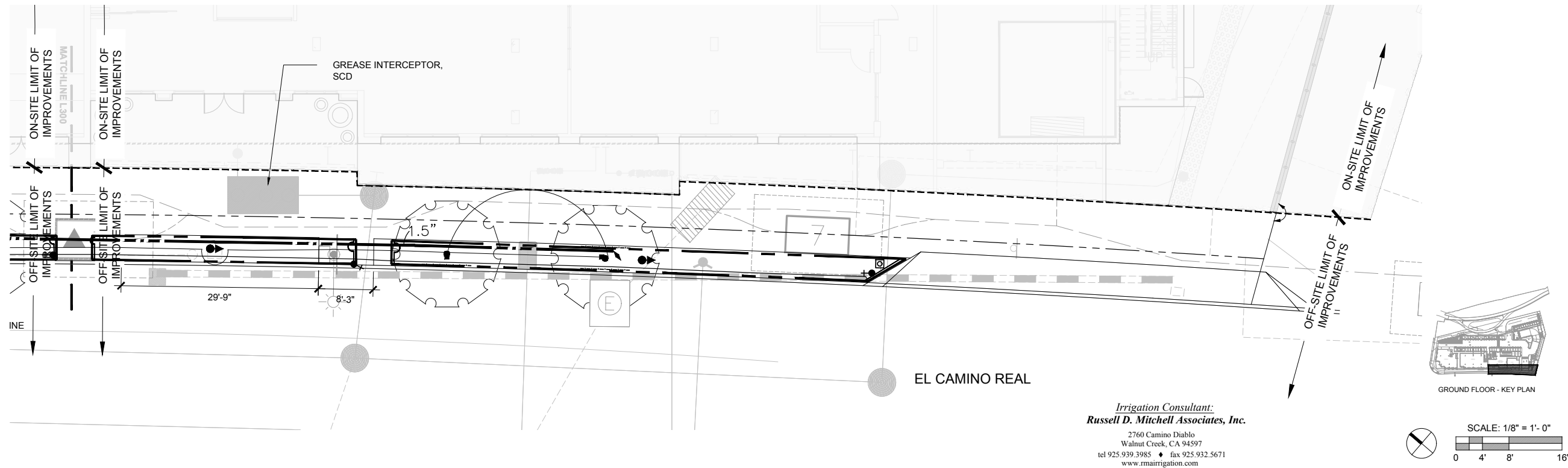
APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
p: 415-451-2774 f: 415-451-9337 WWW.APDW.COM

988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080

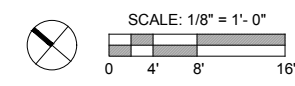


Date:	12/17/2018
Project Number:	18dw276
Drawn by:	MT/GY
Checked by:	AP
Scale:	As Noted

Date:	Issue:
06/20/2018	OFF-SITE SUBMITTAL 1
10/10/2018	OFF-SITE SUBMITTAL 2
12/17/2018	OFF-SITE SUBMITTAL 3



Irrigation Consultant:
Russell D. Mitchell Associates, Inc.
2760 Camino Diablo
Walnut Creek, CA 94597
tel 925.939.3985 ♦ fax 925.932.5671
www.rmairrigation.com

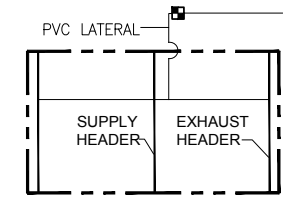


OFFSITE IRRIGATION PLAN
L301

Exhibit B - Improvement Agreement

IRRIGATION LEGEND - RECYCLED WATER

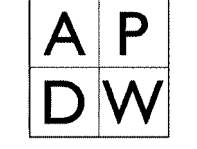
SYMBOL	NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
	DB-04-PC-E	TORO BUBBLER (SHRUB) 2 PER SHRUB	0.066	30	TRICKLE
	DB-15-PC-E	TORO TREE BUBBLER (TWO PER TREE)	.25	30	TRICKLE
	P220-27-EZR-100 W/RW-60 KIT	TORO REMOTE CONTROL VALVE WITH PRESSURE REGULATOR			
	DZK-TPV-1-MF/ W/RW-60 KIT	TORO REMOTE CONTROL VALVE DRIP ZONE KIT			
	BL-5201	BASELINE 1 STATION BICOEDER			
	BL-5202	BASELINE 2 STATION BICOEDER			
		APPROXIMATE CONNECTION POINT BETWEEN DRIPLINE TUBING AND PVC SUPPLY. REFER TO DRIPLINE TUBING CONNECTION DETAIL FOR MORE INFORMATION.			
	T-YD-500-34	TORO AIR RELIEF VALVE			
	WLT-0500-T	NDS SCH 40 BALL VALVE OR APPROVED EQUAL			
	570Z-6P-SI-PRX/ O-T-5-QP	TORO POP-UP SPRINKLER WITH SIDE INLET AND A CLOSED 5" NOZZLE TO BE USED AS DRIPLINE INDICATOR			
	33 DNP	RAIN BIRD QUICK COUPLING VALVE			
	LGT-XX-SS	LEEMCO STAINLESS STEEL GATE VALVE (LINE SIZE)-2.5" AND SMALLER			
	EGP12I-SPED	RAIN MASTER EAGLE PLUS 12 STATION WITH ICARD. IN A STAINLESS STEEL ENCLOSURE. (INSTALLED WITHIN THE ON-SITE IRRIGATION REFER TO SHEET L3.0)			
		CONTROLLER AND STATION NUMBER			
		FLOW (GPM)			
		REMOTE CONTROL VALVE SIZE (IN INCHES)			
		ASSOCIATED REMOTE CONTROL VALVE			
		CONTROLLER AND STATION NUMBER			
		AREA (SQ. FT.)			
		FLOW (GPM)			
		REMOTE CONTROL VALVE SIZE (IN INCHES)			
		ASSOCIATED REMOTE CONTROL VALVE			
		PURPLE MAIN LINE: 2" AND SMALLER CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 80 PVC SOLVENT WELD FITTINGS. 18" COVER. (24" COVER UNDER PAVEMENT SECTION)			
		PURPLE LATERAL LINE: 3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER. (18 COVER UNDER PAVEMENT SECTION)			
		PURPLE SLEEVING: 1120-CL. 200 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.			
		DRIPLINE REMOTE CONTROL VALVE			
		DRIP ZONE: TORO DL2000 SERIES DRIPLINE WITH TRI-LOC FITTINGS, PART #RGP-212-05-E. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. SIZE EXHAUST HEADERS AS FOLLOWS: 1": 0-10 GPM, 1.25": 11-20 GPM. ALL EXHAUST HEADERS SHALL BE 1" SCH 40 PVC OR 1" SCH 40 FLEXIBLE PVC. USE SCH. 40 PVC SOLVENT WELD FITTINGS. EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW IF REQUIRED. SEE DETAILS FOR FURTHER INFORMATION.			
		NOTE: ALL PIPE SHALL BE PW PIPE "PW PURPLE PLUS". APACHE "PURPLE PIPE" OR APPROVED EQUAL FOR USE WITH RECYCLED WATER SYSTEMS.			



IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALL, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.
- PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.
- INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VA BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.
- INSTALL GREEN PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES IN THE IRRIGATION LAYOUT AND VALVE ZONING DUE TO VARIATIONS IN THE EXISTING SITE CONDITIONS SUCH AS EXPOSURE FROM BUILDINGS, TRELLISES, TREES, ETC., AS WELL AS SLOPE AND SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF THE PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE IRRIGATION SYSTEM DESIGN IF THE PLANTING DESIGN CHANGES FROM THE ORIGINAL PLAN AND NEEDS TO ADAPT TO THE NEW PLANTING DESIGN. THE LANDSCAPE CONTRACTOR NEEDS TO NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT OF PROPOSED CHANGES PRIOR TO INSTALLATION FOR APPROVAL.

- SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS.
 - PROVIDE TRAINING TO CITY ON THE OPERATION OF IRRIGATION SYSTEM AND CONTROLLER.



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
p. 415-451-2774 f. 415-451-9339 WWW.APDW.COM

988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



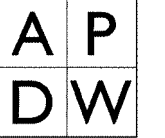
Date: 12/17/2018
Project Number: 18dw276
Drawn by: MT/GY
Checked by: AP
Scale: As Noted

Date: Issue:
06/20/2018 OFF-SITE SUBMITTAL 1
10/10/2018 OFF-SITE SUBMITTAL 2
12/17/2018 OFF-SITE SUBMITTAL 3

OFFSITE
IRRIGATION
NOTES &
LEGEND
L302

Irrigation Consultant:
Russell D. Mitchell Associates, Inc.
2760 Camino Diablo
Walnut Creek, CA 94597
tel 925.939.3985 ♦ fax 925.932.5671
www.rmairrigation.com

Exhibit B - Improvement Agreement



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
P. 415-452-2774 F. 415-451-9339 WWW.APDW.COM

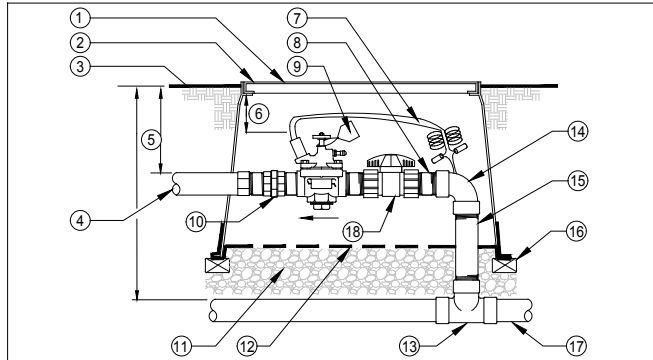
988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



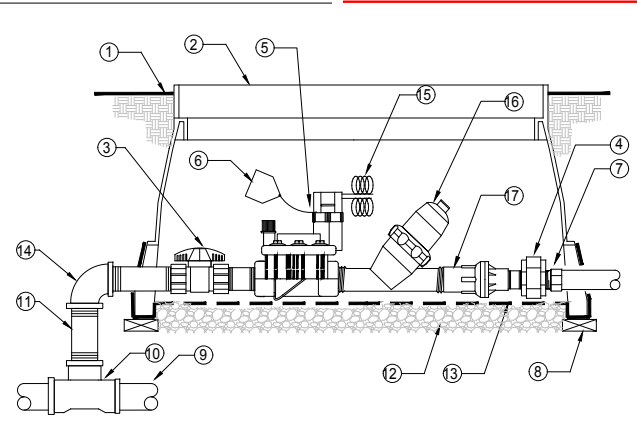
Date: 12/17/2018
Project Number: 18dw276
Drawn by: MT/GY
Checked by: AP
Scale: As Noted

Date: Issue:
06/20/2018 OFF-SITE SUBMITTAL 1
10/10/2018 OFF-SITE SUBMITTAL 2
12/17/2018 OFF-SITE SUBMITTAL 3

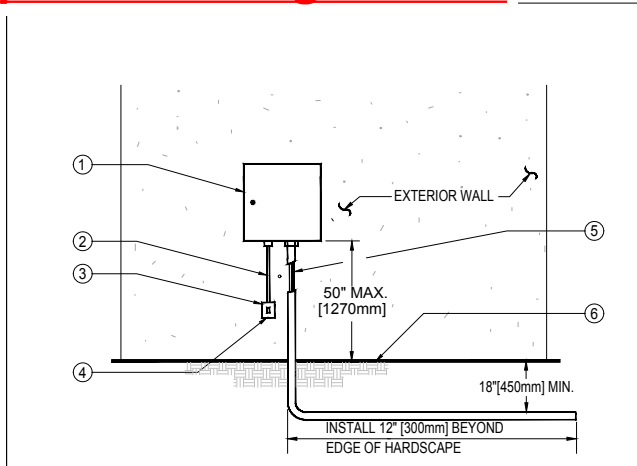
**OFFSITE
IRRIGATION
DETAILS
L303**



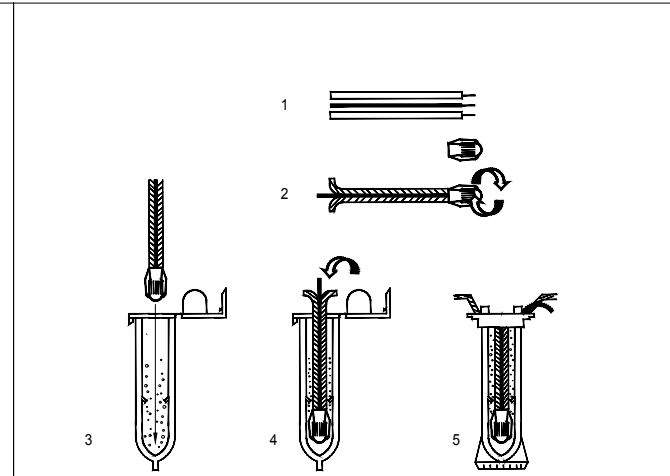
- ① REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS).
- ② USE A 14" X 19" RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID FOR 1" VALVES. FOR 1.5" AND LARGER VALVES INSTALL BALL VALVE WITHIN A SEPARATE 10" ROUND BOX OR ONE BALL VALVE PER MANIFOLD OF VALVES. GATE VALVE SIZE SHALL BE SAME AS LARGEST VALVE WITHIN MANIFOLD. ONE VALVE PER BOX. NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- ③ FINISH GRADE.
- ④ PVC LATERAL LINE.
- ⑤ REFER TO IRRIGATION SPECS.
- ⑥ 3" [75mm] MIN, 6" [150mm] MAX.
- ⑦ VALVE CONTROL WIRE- PROVIDE SEAL PACKS AT ALL SPLICES AND 3" [1m] OF EXCESS UF WIRE IN A 1" [25mm] DIAMETER COIL.
- ⑧ SCHEDULE 80 PVC NIPPLE (4 TOTAL).
- ⑨ VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- ⑩ SCHEDULE 80 PVC THREADED UNION.
- ⑪ PEA GRAVEL OR 3/4" DRAIN ROCK - 4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- ⑫ 19 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
- ⑬ UPC APPROVED SCHEDULE 40 PVC TEE.
- ⑭ SCHEDULE 80 PVC 90° ELBOW (TxT).
- ⑮ SCHEDULE 80 PVC NIPPLE- LENGTH AS REQUIRED.
- ⑯ BRICK-1 EACH CORNER.
- ⑰ PVC MAIN LINE.
- ⑱ SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).



- ① FINISH GRADE
- ② RECTANGULAR JUMBO PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- ③ SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE)
- ④ SCHEDULE 80 PVC THREADED UNION
- ⑤ REMOTE CONTROL VALVE
- ⑥ VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- ⑦ SCHEDULE 40 MALE ADAPTER
- ⑧ BRICK-1 EACH CORNER.
- ⑨ PVC MAIN LINE.
- ⑩ UPC APPROVED SCHEDULE 40 PVC TEE.
- ⑪ SCHEDULE 80 PVC NIPPLE-(4-TOTAL) LENGTH AS REQUIRED.
- ⑫ PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [102mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- ⑬ 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- ⑭ SCHEDULE 80 PVC 90° ELBOW (TxT).
- ⑮ VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3" [1m] OF EXCESS UF WIRE IN A 1" [25mm] DIAMETER COIL.
- ⑯ DISC FILTER
- ⑰ PRESSURE REGULATOR (40 PSI)



- ① IRRIGATION CONTROLLER.
 - ② 120 VOLT SERVICE IN RIGID STEEL CONDUIT.
 - ③ 120 VOLT LOCKABLE WEATHERPROOF ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT.
 - ④ 120 VOLT SERVICE TO CONTROLLER LOCATION PROVIDED BY CONTRACTOR.
 - ⑤ LOW VOLTAGE WIRE IN SCHEDULE 40 PVC CONDUIT. PAINT CONDUIT ABOVE GRADE TO MATCH BUILDING SURFACE COLOR.
 - ⑥ FINISH GRADE OR HARDSCAPE.
- Irrigation Consultant:*
Russell D. Mitchell Associates, Inc.
2760 Camino Diablo
Walnut Creek, CA 94597
tel 925.939.3985 • fax 925.932.5671
www.rmairrigation.com



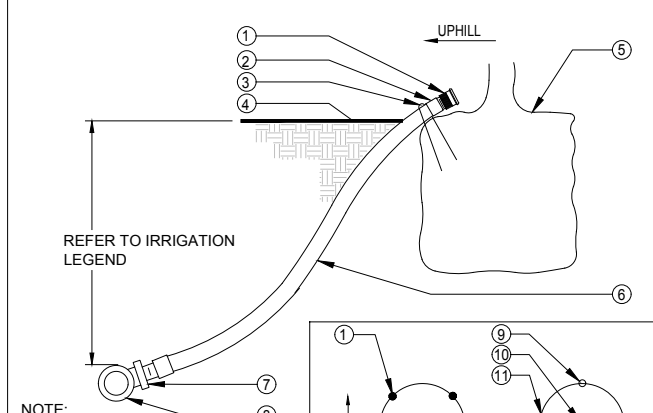
- INSTRUCTIONS:
1. STRIP WIRE APPROXIMATELY 1/2" (13 mm) TO EXPOSE WIRE.
 2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
 3. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
 4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
 5. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

1 REMOTE CONTROL VALVE
SCALE: NONE

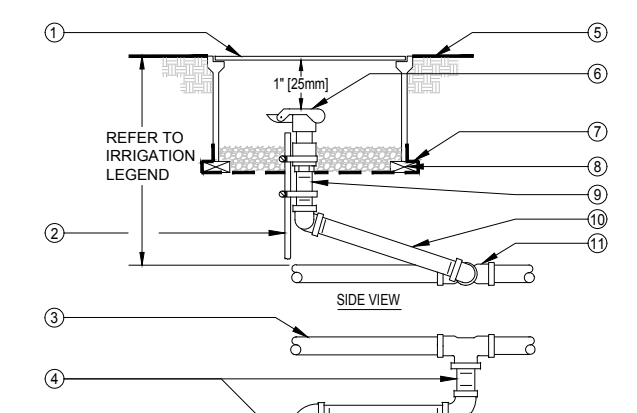
2 REMOTE CONTROL VALVE (DRIZONE)
SCALE: NONE

3 CONTROLLER - EXTERIOR WALL MOUNTED
SCALE: NONE

4 WEATHERPROOF WIRE SPLICE ASSEMBLY
SCALE: NONE

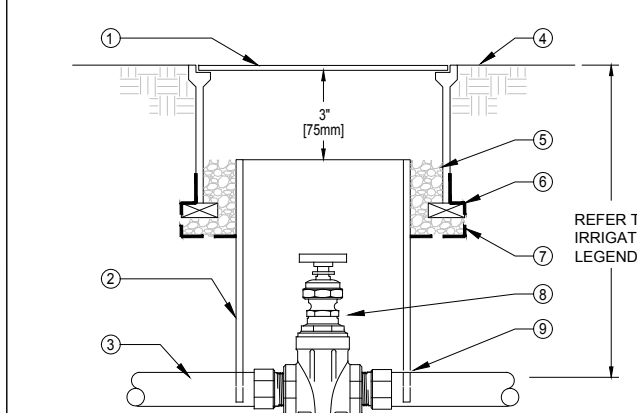


- ① BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).
- ② 1/2" [13mm] SCH. 40 MALE ADAPTER.
- ③ 6" [150mm] STEEL STAPLE.
- ④ FINISH GRADE.
- ⑤ TREE OR SHRUB ROOTBALL.
- ⑥ 1/2" [13mm] IPS FLEXIBLE PVC.
- ⑦ PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.
- ⑧ PVC LATERAL LINE.
- ⑨ TREE STAKES.
- ⑩ TREE OR SHRUB.
- ⑪ EDGE OF ROOTBALL (TYPICAL).



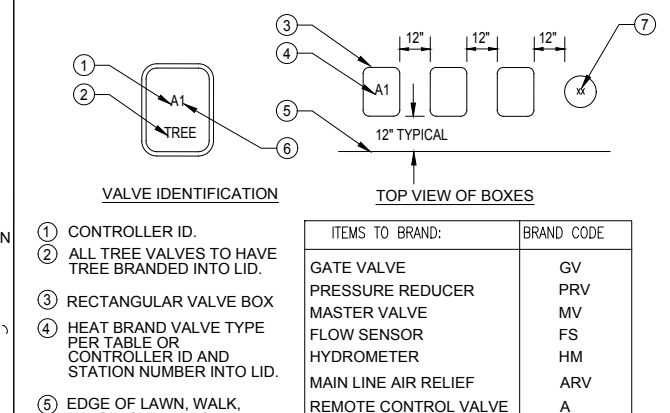
- ① 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
 - ② 1 1/4" x 1 1/4" x 3/16" [30mm x 30mm x 5mm] ANGLE IRON 30° [760mm] LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND QCV).
 - ③ PVC MAIN LINE.
 - ④ 3" [75mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
 - ⑤ FINISH GRADE.
 - ⑥ QUICK COUPLING VALVE.
 - ⑦ 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
 - ⑧ BRICK - 2 TOTAL.
 - ⑨ SCHEDULE 80 PVC THREADED NIPPLE.
 - ⑩ 10" [250mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
 - ⑪ UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.
 - ⑫ SCHEDULE 80 PVC THREADED 90° ELL.
- NOTE:
NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE.

6 QUICK COUPLING VALVE
SCALE: NONE



- ① 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- ② 8" [200mm] CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
- ③ PVC MAIN LINE.
- ④ FINISH GRADE.
- ⑤ PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP (NO SOIL IN VALVE BOX).
- ⑥ BRICK-2 TOTAL.
- ⑦ 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- ⑧ GATE VALVE.
- ⑨ MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.

7 GATE VALVE
SCALE: NONE



- INSTRUCTIONS:
1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
 2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
 3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
 4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
 5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
 6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

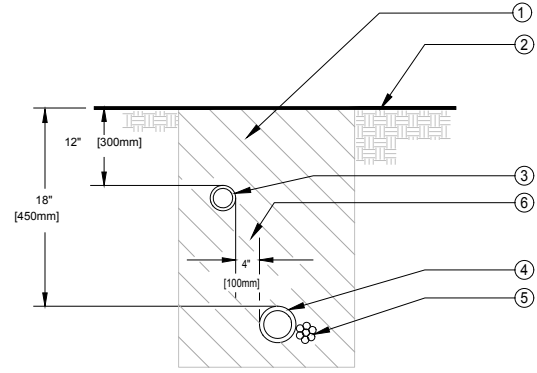
8 VALVE BOX INSTALLATION
SCALE: NONE

5 TREE AND SHRUB BUBBLER
SCALE: NONE

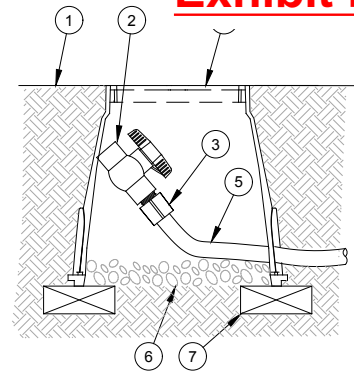
Exhibit B - Improvement Agreement

NOTES:

1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT.

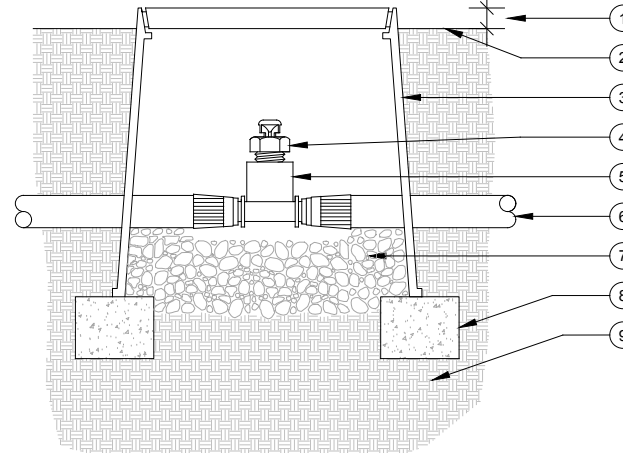


- ① CLEAN BACKFILL MATERIAL.
- ② FINISH GRADE.
- ③ LATERAL LINE.
- ④ MAIN LINE.
- ⑤ LOW VOLTAGE CONTROL WIRE. TAPE AND BUNDLE TUBING OR WIRING AT 10 FT. INTERVALS. WIRING SHALL BE LAID OUT LOOSELY IN THE TRENCH.
- ⑥ TYPICAL DISTANCE BETWEEN PIPES.



NOTE:
ALLOW A MINIMUM OF PVC HOSE IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

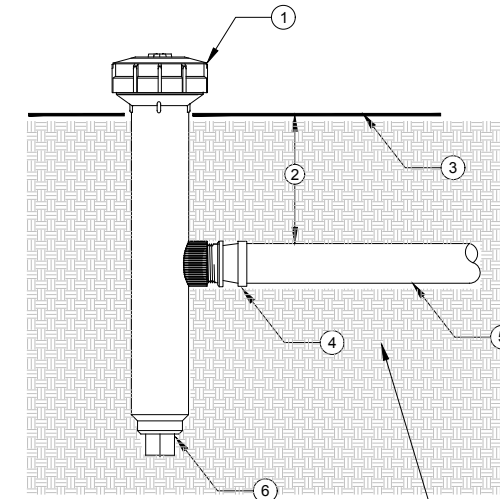
- ① FINISH GRADE
- ② 1/2" SCH 40 THREADED BALL VALVE.
- ③ 1/2" SCH 40 MALE ADAPTER.
- ④ 6" ROUND PLASTIC VALVE BOX.
- ⑤ 1" IPS PVC HOSE FROM EXHAUST HEADER.
- ⑥ PEA GRAVEL SUMP (6" DEEP).
- ⑦ BRICK (1 OF 2)



SECTION/ELEVATION

NOTE:
USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.

- ① 1" ABOVE FINISH GRADE.
- ② FINISH GRADE.
- ③ 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
- ④ TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
- ⑤ TORO TRI-LOC TEE X 1/2" FPT ADAPTER (TL-T-F50).
- ⑥ TORO DL2000 TUBING (RGP-XX-XXX) OR TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) AIR-RELIEF LATERAL.
- ⑦ PEA GRAVEL (4" DEEP).
- ⑧ BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- ⑨ NATIVE SOIL PER SPECIFICATIONS.



SECTION/ELEVATION

- ① TORO 6" POP UP SPRINKLER WITH SIDE INLET (MODEL 570Z-6P-SI-PRX WITH 5' PRECISION NOZZLE (MODEL O-T-5-QP) TURNED COMPLETELY OFF WITH ADJUSTMENT SCREW. SPRINKLER SHALL OPERATE AS THE DRIPLINE INDICATOR. USE A MINIMUM OF ONE PER ZONE AND LOCATED AT END OF ZONE.
- ② DEPTH OF DRIPLINE. REFER TO IRRIGATION LEGEND.
- ③ FINISH GRADE.
- ④ TORO TRI-LOC X 1/2" MPT ADAPTER (TL-M50)
- ⑤ DRIPLINE.
- ⑥ KEEP PLUG IN SPRINKLER. ONLY USE SIDE INLET.
- ⑦ SOIL BACKFILL.

1

TRENCHING
SCALE: NONE

2

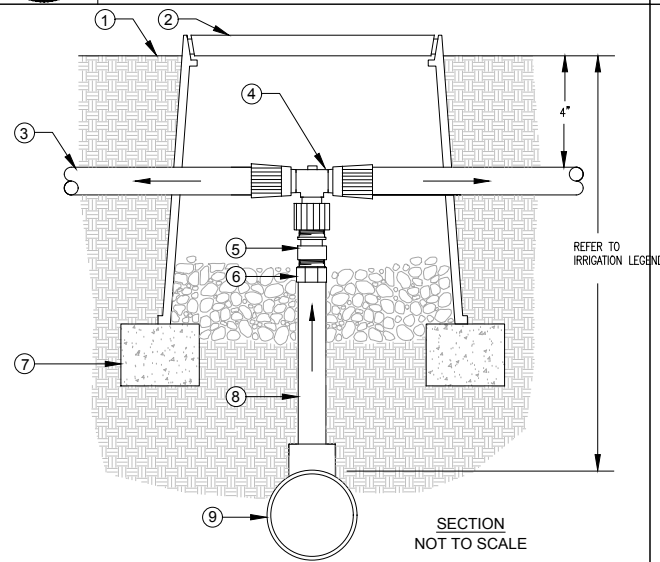
DRIPLINE-FLUSH POINT
SCALE: NONE

3

AIR VACUUM RELIEF VALVE IN DRIPLINE
SCALE: NONE

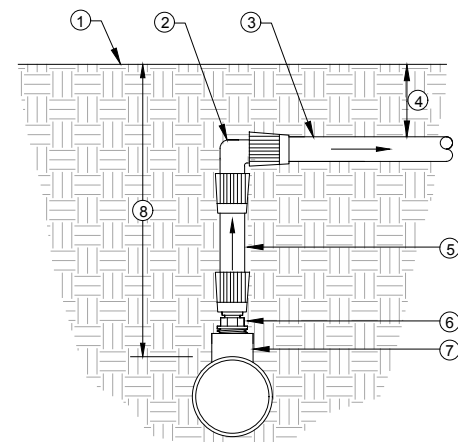
4

DRIPLINE OPERATION INDICATOR
SCALE: NONE



SECTION
NOT TO SCALE

- ① FINISH GRADE
- ② CARSON 708 OR EQUAL. COLOR: BLACK. USE PURPLE FOR RECYCLED WATER SYSTEMS.
- ③ DRIPLINE TUBING
- ④ TORO TRI-LOC TEE X 1/2" FPT ADAPTER
- ⑤ TORO 1/2" CHECK VALVE (PCV-500)
- ⑥ 1/2" SCH 40 MALE ADAPTER.
- ⑦ BRICK (1 OF 2)
- ⑧ 1/2" SCH 40 PVC (LENGTH AS REQUIRED)
- ⑨ PVC LATERAL LINE SUPPLY. MINIMUM SIZE TO BE 1" UNLESS SIZED DIFFERENTLY ON DRAWINGS. USE SCH 40 PVC 1"x1"x1/2" TEE OR 90° ELBOW.



SECTION/ELEVATION
NOT TO SCALE

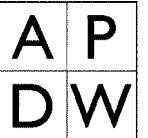
- ① FINISH GRADE
- ② TORO TRI-LOC ELBOW (TL-E)
- ③ DRIPLINE TUBING
- ④ DEPTH OF TUBING PER IRRIGATION LEGEND.
- ⑤ TORO BLUE STRIPE POLY TUBING (EHD1645)
- ⑥ TORO TRI-LOC MPT ADAPTER (TL-M50)
- ⑦ SCH 40 PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
- ⑧ DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND

5

DRIPLINE TO PVC CONNECTION
SCALE: NONE

6

DRIPLINE MANIFOLD TO ELBOW CONNECTION
SCALE: NONE



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
P: 415-457-7274 F: 415-457-8339 WWW.APDW.COM

988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



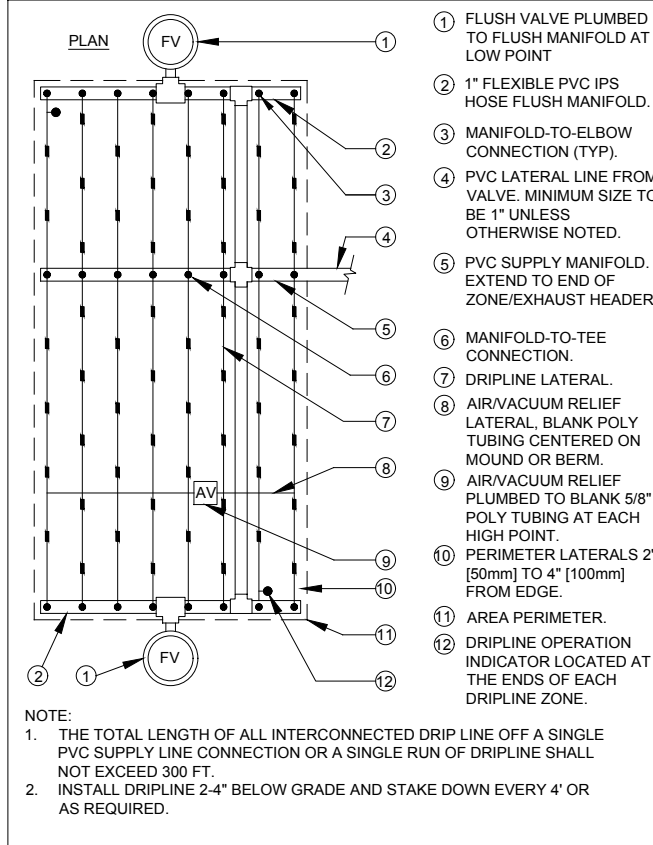
Date: 12/17/2018
Project Number: 18dw276
Drawn by: MT/GY
Checked by: AP
Scale: As Noted

Date: Issue:
06/20/2018 OFF-SITE SUBMITTAL 1
10/10/2018 OFF-SITE SUBMITTAL 2
12/17/2018 OFF-SITE SUBMITTAL 3

Irrigation Consultant:
Russell D. Mitchell Associates, Inc.
2760 Camino Diablo
Walnut Creek, CA 94597
tel 925.939.3985 ♦ fax 925.932.5671
www.rmairrigation.com

**OFFSITE
IRRIGATION
DETAILS
L304**

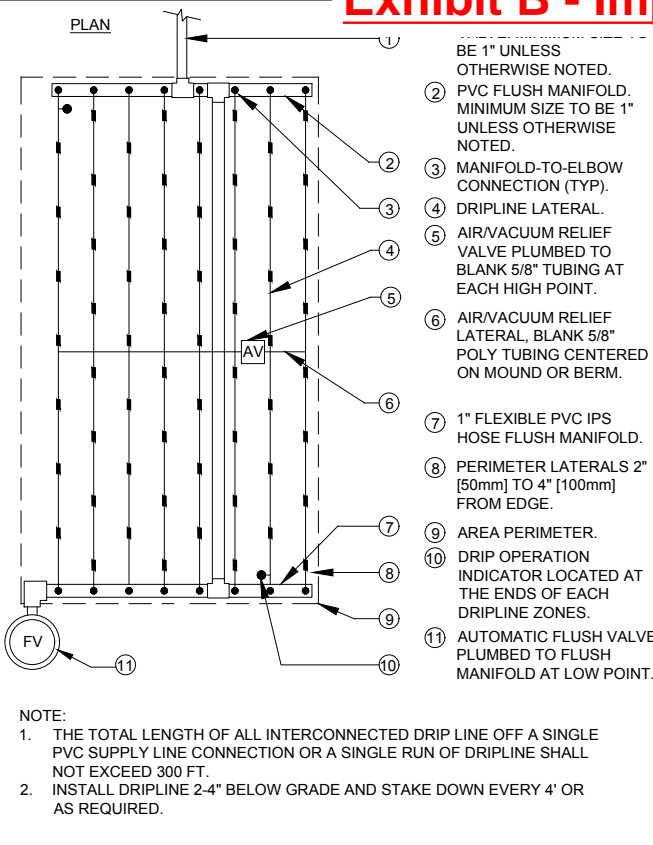
Exhibit B - Improvement Agreement



- 1 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- 2 1" FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD.
- 3 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 4 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 5 PVC SUPPLY MANIFOLD. EXTEND TO END OF ZONE/EXHAUST HEADER.
- 6 MANIFOLD-TO-TEE CONNECTION.
- 7 DRIPLINE LATERAL.
- 8 AIR/VACUUM RELIEF LATERAL, BLANK POLY TUBING CENTERED ON MOUND OR BERM.
- 9 AIR/VACUUM RELIEF PLUMBED TO BLANK 5/8" POLY TUBING AT EACH HIGH POINT.
- 10 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 11 AREA PERIMETER.
- 12 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.

NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

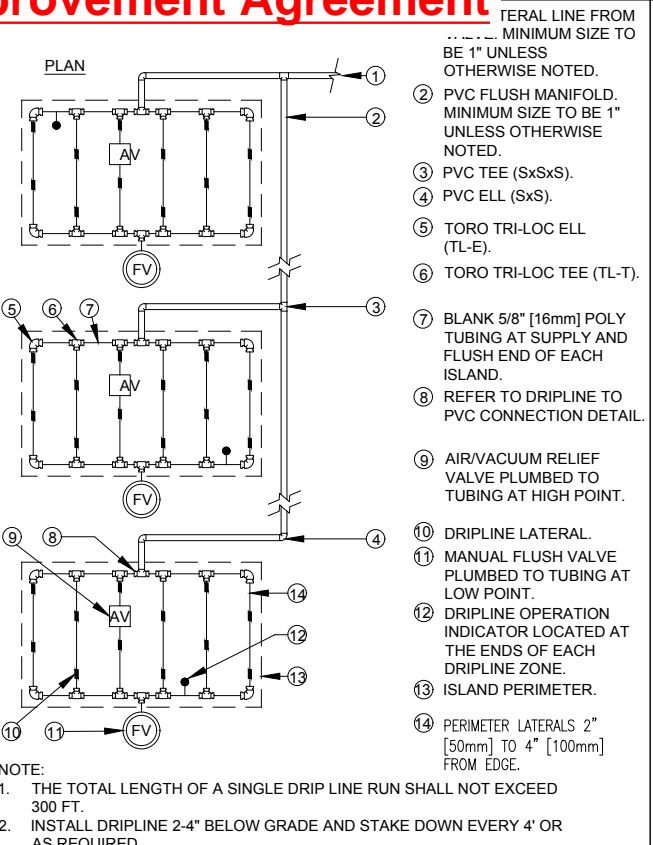
1 TORO DL 2000 CENTER FEED LAYOUT
SCALE: NONE



- 1 BE 1" UNLESS OTHERWISE NOTED.
- 2 PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 3 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 4 DRIPLINE LATERAL.
- 5 AIR/VACUUM RELIEF VALVE PLUMBED TO BLANK 5/8" TUBING AT EACH HIGH POINT.
- 6 AIR/VACUUM RELIEF LATERAL, BLANK 5/8" POLY TUBING CENTERED ON MOUND OR BERM.
- 7 1" FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD.
- 8 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 9 AREA PERIMETER.
- 10 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 11 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.

NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

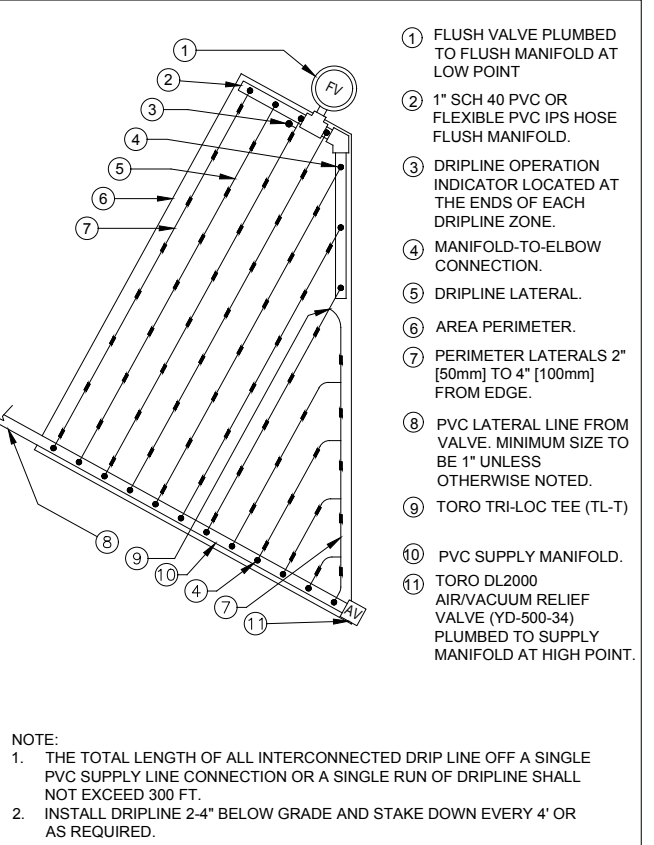
2 TORO DL 2000 END FEED LAYOUT
SCALE: NONE



- 1 TUBING MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 2 PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 3 PVC TEE (SxSxS).
- 4 PVC ELL (SxS).
- 5 TORO TRI-LOC ELL (TL-E).
- 6 TORO TRI-LOC TEE (TL-T).
- 7 BLANK 5/8" [16mm] POLY TUBING AT SUPPLY AND FLUSH END OF EACH ISLAND.
- 8 REFER TO DRIPLINE TO PVC CONNECTION DETAIL.
- 9 AIR/VACUUM RELIEF VALVE PLUMBED TO TUBING AT HIGH POINT.
- 10 DRIPLINE LATERAL.
- 11 MANUAL FLUSH VALVE PLUMBED TO TUBING AT LOW POINT.
- 12 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 13 ISLAND PERIMETER.
- 14 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.

NOTE:
 1. THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

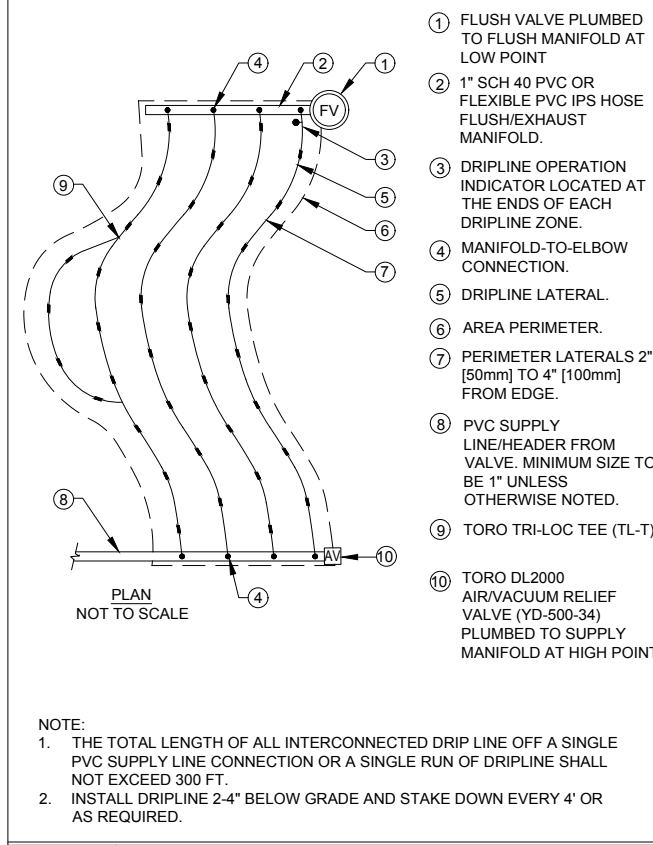
3 TORO DL 2000 ISLAND LAYOUT
SCALE: NONE



- 1 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- 2 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD.
- 3 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 4 MANIFOLD-TO-ELBOW CONNECTION.
- 5 DRIPLINE LATERAL.
- 6 AREA PERIMETER.
- 7 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 8 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 9 TORO TRI-LOC TEE (TL-T)
- 10 PVC SUPPLY MANIFOLD.
- 11 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

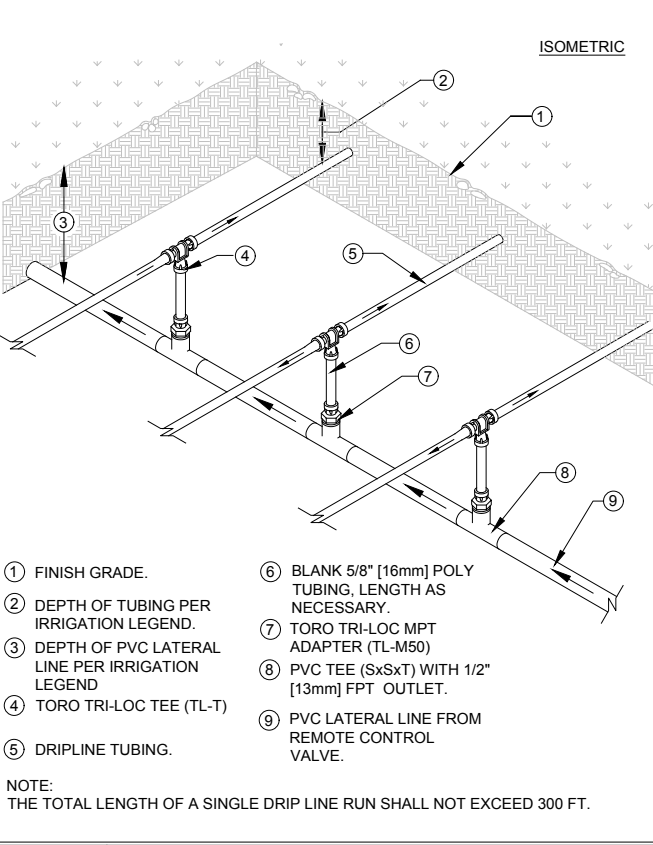
4 TORO DL2000 TRIANGULAR LAYOUT
SCALE: NONE



- 1 FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
- 2 1" SCH 40 PVC OR FLEXIBLE PVC IPS HOSE FLUSH/EXHAUST MANIFOLD.
- 3 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- 4 MANIFOLD-TO-ELBOW CONNECTION.
- 5 DRIPLINE LATERAL.
- 6 AREA PERIMETER.
- 7 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
- 8 PVC SUPPLY LINE/HEADER FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
- 9 TORO TRI-LOC TEE (TL-T)
- 10 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.

NOTE:
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

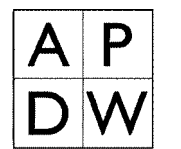
5 TORO DL2000 ODD CURVE LAYOUT
SCALE: NONE



- 1 FINISH GRADE.
- 2 DEPTH OF TUBING PER IRRIGATION LEGEND.
- 3 DEPTH OF PVC LATERAL LINE PER IRRIGATION LEGEND
- 4 TORO TRI-LOC TEE (TL-T)
- 5 DRIPLINE TUBING.
- 6 BLANK 5/8" [16mm] POLY TUBING, LENGTH AS NECESSARY.
- 7 TORO TRI-LOC MPT ADAPTER (TL-M50)
- 8 PVC TEE (SxSxT) WITH 1/2" [13mm] FPT OUTLET.
- 9 PVC LATERAL LINE FROM REMOTE CONTROL VALVE.

NOTE:
 THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 300 FT.

6 TORO DL 2000 CENTER FEED MANIFOLD
SCALE: NONE



APRIL PHILIPS DESIGN WORKS, INC.
 LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
 817 FIFTH AVENUE, SAN RAFAEL, CA 94901
 P. 415-451-2774 F. 415-451-9339 WWW.APDW.COM

988 EL CAMINO REAL
 SOUTH SAN FRANCISCO, CA 94080



Date: 12/17/2018
 Project Number: 18dw276
 Drawn by: MT/GY
 Checked by: AP
 Scale: As Noted

Date: Issue:
 06/20/2018 OFF-SITE SUBMITTAL 1
 10/10/2018 OFF-SITE SUBMITTAL 2
 12/17/2018 OFF-SITE SUBMITTAL 3

Irrigation Consultant:
Russell D. Mitchell Associates, Inc.
 2760 Camino Diablo
 Walnut Creek, CA 94597
 tel 925.939.3985 ♦ fax 925.932.5671
 www.rmairrigation.com

OFFSITE
 IRRIGATION
 DETAILS
L305

Exhibit B - Improvement Agreement

WATER USE ESTIMATION & IRRIGATION SCHEDULE-988 EL CAMINO REAL-OFFSITE - PROJECT NAME

WATER TYPE		POTABLE	
CITY		San Francisco	
ETO		35.1	
DATE		10/8/2018	
		Nearest City to project with published ET data	

STATION/HYDROZONE	GPM	AREA (sq.ft) (HA)	WATER USE TYPE (LW=LOW, MW=MOD, HW=HIGH)	PLANT TYPE	IRRIGATION TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PRECIP. RATE/ APPLICATION RATE (IN/HR)	ETAF (PF/IE)	CYCLES PER DAY	DAYS PER WEEK	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	ETWU (GALLONS PER YEAR)	PERCENTAGE OF LANDSCAPE
												MDNTHLY ETO													
												1.5	1.3	2.4	3.0	3.7	4.6	4.9	4.8	4.1	2.8	1.3	0.7		
												TOTAL RUN TIME IN MINUTES PER OAY													
B-1	9	981	LW	SHRUB GC LW	DRIPLINE12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	7.0	9.0	11.0	13.0	14.0	14.0	12.0	8.0	4.0	0.0	7,907	71%
B-2	4	160	MW	TREE MW	BUBBLER	0.5	0.81	0.85	0.6	2	3	0.0	0.0	8.0	10.0	13.0	16.0	17.0	16.0	14.0	10.0	5.0	0.0	2,149	12%
B-3	3	198	LW	SHRUB GC LW	DRIPLINE12"	0.3	0.81	0.9	0.4	2	2	0.0	0.0	7.0	9.0	11.0	13.0	14.0	14.0	12.0	8.0	4.0	0.0	1,596	14%
B-4	1	40	MW	TREE MW	BUBBLER	0.5	0.81	0.85	0.6	2	3	0.0	0.0	8.0	10.0	13.0	16.0	17.0	16.0	14.0	10.0	5.0	0.0	537	3%
TOTAL																								12,189	100%

SPECIAL LANDSCAPE AREAS			
HYDROZONE #	HYDROZONE NAME	AREA (sq.ft) (HA)	Percentage of Landscape
ALL ZONES	ALL ZONES	0	0%

MINUTES FOR EACH VALVE BASED ON ESTIMATED WEEKLY WATER REQUIREMENTS FOR ESTABLISHED PLANT MATERIAL. THE TIMES SHOWN ARE APPROXIMATE AND HAVE BEEN DEVELOPED FROM LOCAL AND CURRENT AVERAGES FOR EVAPOTRANSPIRATION, AND REFLECT THE WATER REQUIREMENTS OF THE PLANT MATERIAL BASED ON PLANT TYPE AND THE APPROXIMATE PRECIPITATION OR APPLICATION RATES OF THE IRRIGATION

MAWA	GALLONS/YR		13,504
		ACRE FEET/YR	
	HCF/YR		18.05

ETWU	GALLONS/YR		12,189
		ACRE FEET/YR	
	HCF/YR		16.30

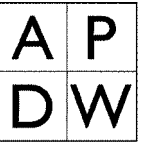
MAWA FORMULA	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR	
MAWA = (ETo)(0.62)[(LA x 0.45) + (0.55 x SLA)]	
ETo = REFERENCE EVAPOTRANSPIRATION	
0.45 = ET ADJUSTMENT FACTOR	
LA = LANDSCAPED AREA (SQUARE FEET)	
0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)	

ETWU FORMULA	
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR	
ETWU = ((ETO)(0.62)(ETAF x LA))	
ETo = REFERENCE EVAPOTRANSPIRATION	
PF = PLANT FACTOR FOR HYDROZONES	
HA = HYDROZONE AREA (SQ. FT)	
0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)	

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.33	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	560
TOTAL AREA	1,379
AVG. ETAF	40.62%



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
P: 415-451-2774 F: 415-451-9339 WWW.APDW.COM

988 EL CAMINO REAL

SOUTH SAN FRANCISCO, CA 94080



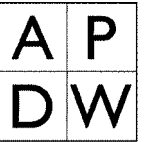
Date:	12/17/2018
Project Number:	18dw276
Drawn by:	MT/GY
Checked by:	AP
Scale:	As Noted

Date:	Issue:
06/20/2018	OFF-SITE SUBMITTAL 1
10/10/2018	OFF-SITE SUBMITTAL 2
12/17/2018	OFF-SITE SUBMITTAL 3

Irrigation Consultant:
Russell D. Mitchell Associates, Inc.
2760 Camino Diablo
Walnut Creek, CA 94597
tel 925.939.3985 ♦ fax 925.932.5671
www.rmairrigation.com

OFF-SITE
IRRIGATION
WATER
CALCULATION
L306

Exhibit B - Improvement Agreement



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
P. 415-451-2774 F. 415-451-9337 WWW.APDW.COM

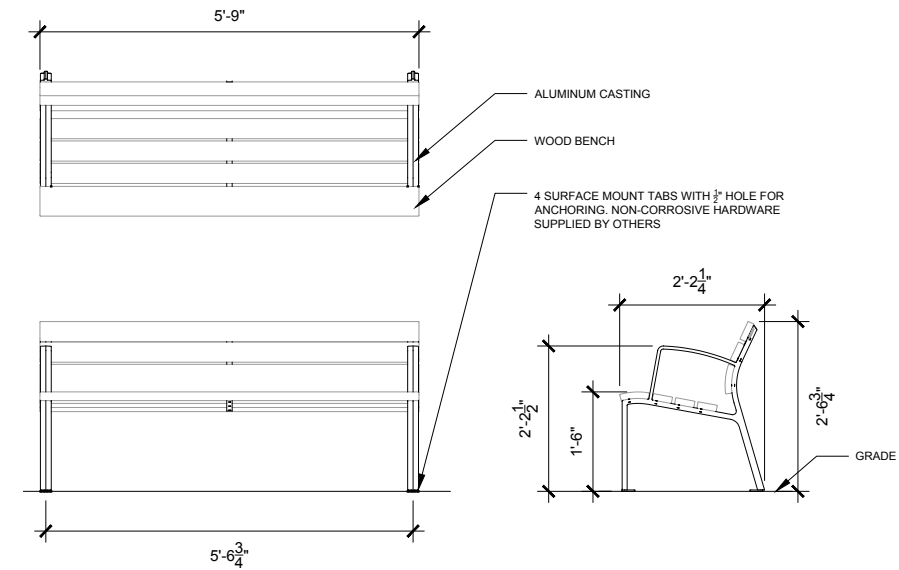
988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



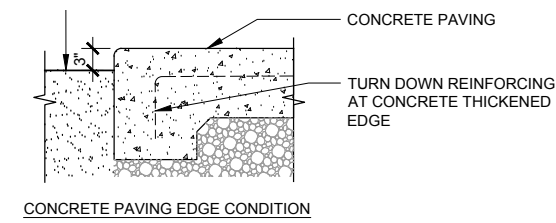
Date:	12/17/2018
Project Number:	18dw276
Drawn by:	MT/GY
Checked by:	AP
Scale:	As Noted

Date:	Issue:
08/20/2018	OFF-SITE SUBMITTAL 1
10/10/2018	OFF-SITE SUBMITTAL 2
12/17/2018	OFF-SITE SUBMITTAL 3

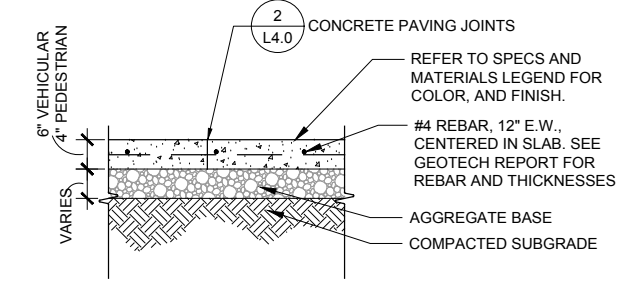
CONSTRUCTION
DETAILS
L400



3 WOOD BENCH SURFACE MOUNT
3/4" = 1'-0"



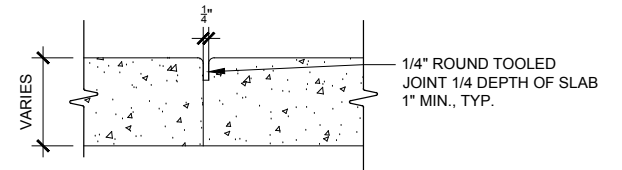
CONCRETE PAVING EDGE CONDITION



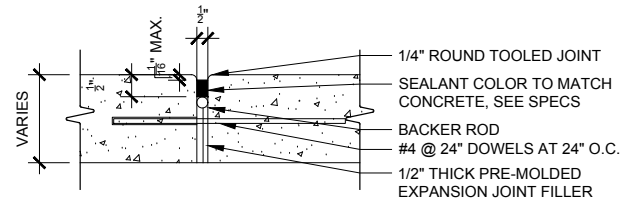
PEDESTRIAN & VEHICULAR CONCRETE PAVING

2 CONCRETE PAVING ON GRADE
1" = 1'-0"

SCORE / CONTROL JOINT
(10' O.C. MAX. SPACING EACH WAY, UNLESS NOTED OTHERWISE ON PLAN)



COLD JOINT

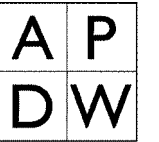


EXPANSION JOINT
(20' O.C. MAX. SPACING EACH WAY, UNLESS NOTED OTHERWISE ON PLAN)

1 CONCRETE PAVING JOINTS
1" = 1'-0"

P:\17dw276\CAD\OFF-SITE\SHEETS\L400 DETAIL.dwg, 12/17/2018 4:14:46 PM, MarionT,
 ARCH full bleed D (24.00 x 36.00 Inches)

Exhibit B - Improvement Agreement



APRIL PHILIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE PLANNING ILLUSTRATION
819 FIFTH AVENUE, SAN RAFAEL, CA 94901
P: 415-451-2274 F: 415-451-8339 WWW.APDW.COM

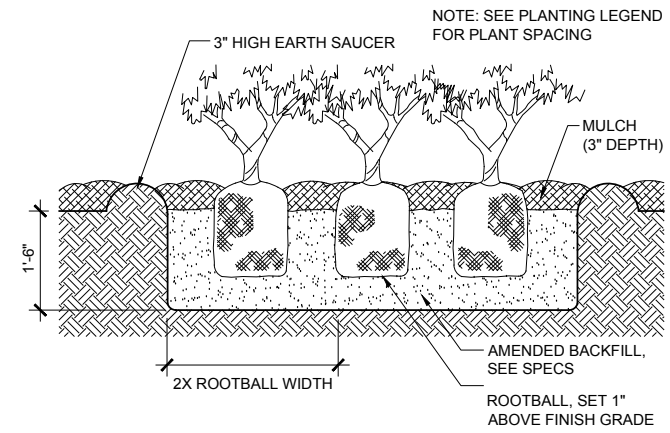
988 EL CAMINO REAL
SOUTH SAN FRANCISCO, CA 94080



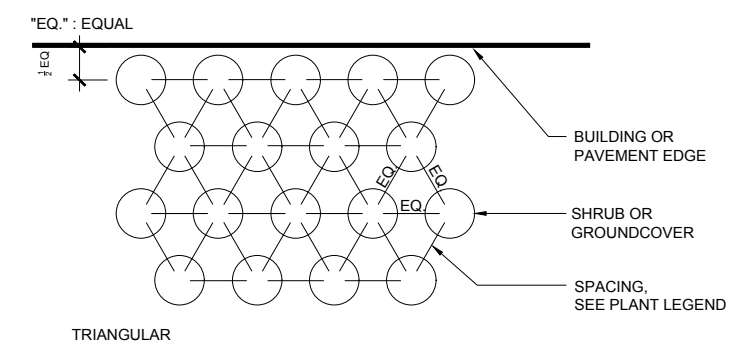
Date:	12/17/2018
Project Number:	18dw276
Drawn by:	MT/GY
Checked by:	AP
Scale:	As Noted

Date:	Issue:
06/20/2018	OFF-SITE SUBMITTAL 1
10/10/2018	OFF-SITE SUBMITTAL 2
12/17/2018	OFF-SITE SUBMITTAL 3

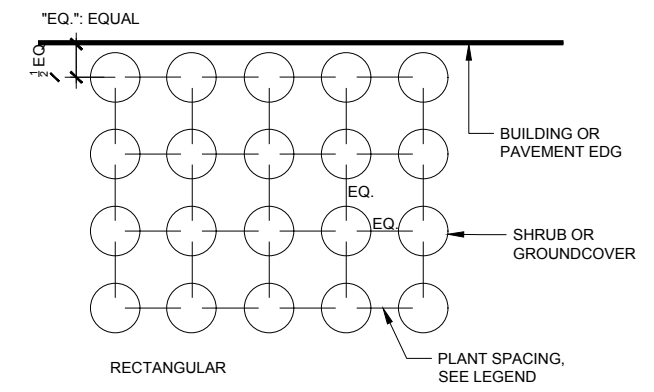
PLANTING
DETAILS
L500



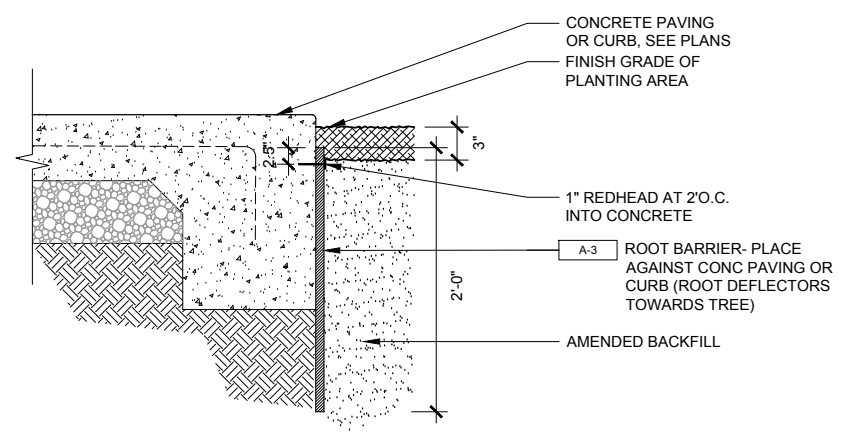
3 SHRUB & GROUNDCOVER PLANTING
3/4" = 1'-0"



2 TRIANGULAR SHRUB & GROUNDCOVER SPACING
1/2" = 1'-0"

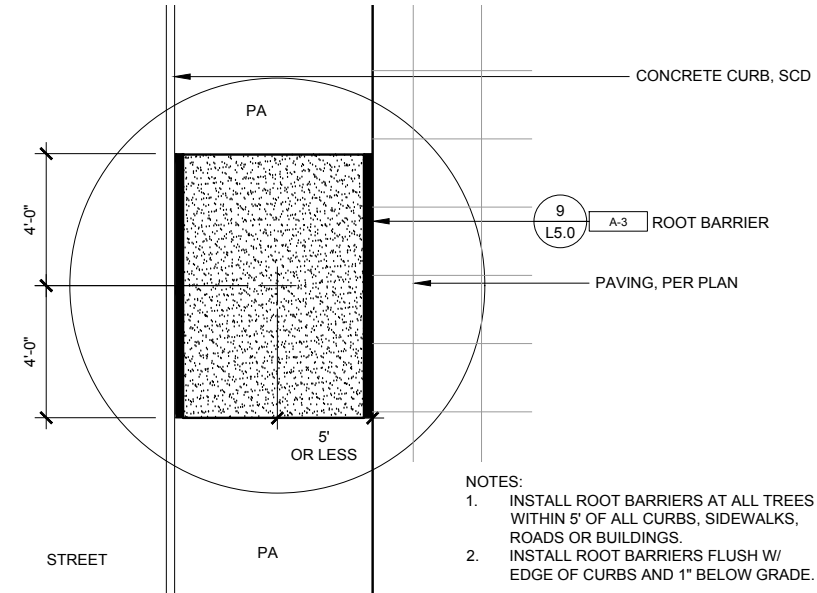


1 RECTANGULAR SHRUB & GROUNDCOVER SPACING
1/2" = 1'-0"



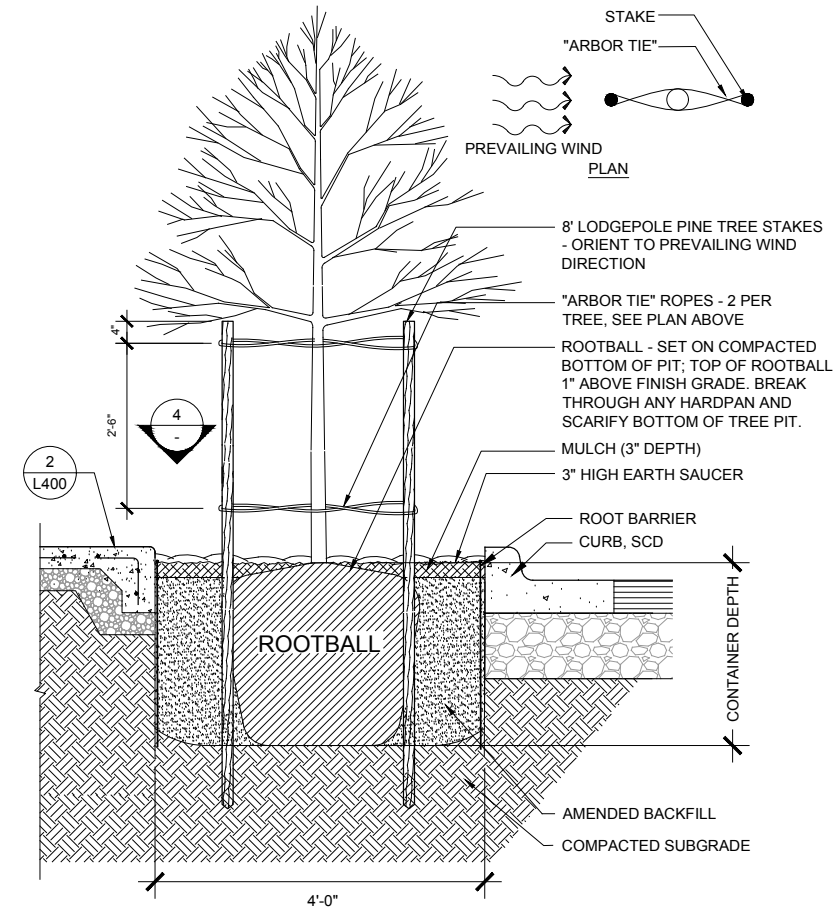
- NOTES:
1. ROOT BARRIERS TO BE CONTINUOUS AND INSTALLED AT WALKS AND CURBS WHERE SHOWN ON PLAN, FOR A DISTANCE OF 3'-9" MIN EACH SIDE OF TREE.
 2. REMOVE DEFECTS FROM CONCRETE EDGE & PLACE ROOT BARRIER FLUSH AGAINST VERTICAL, SMOOTH CONCRETE SURFACE TYP.

5 ROOT BARRIER AT CONCRETE
1 1/2" = 1'-0"



- NOTES:
1. INSTALL ROOT BARRIERS AT ALL TREES WITHIN 5' OF ALL CURBS, SIDEWALKS, ROADS OR BUILDINGS.
 2. INSTALL ROOT BARRIERS FLUSH W/ EDGE OF CURBS AND 1" BELOW GRADE.

4 ROOT BARRIER PLAN
3/8" = 1'-0"



6 TREE PLANTING & STAKING ON GRADE

Exhibit B - Improvement Agreement

CALIFORNIA DEPARTMENT OF TRANSPORTATION				
APPROVED _____		FOR ELECTRICAL FEATURES AFFECTING STATE FACILITIES _____ DATE _____		
COUNTY	ROUTE	PM	PERMIT NUMBER/EA	

GENERAL CALTRANS ELECTRICAL NOTES:

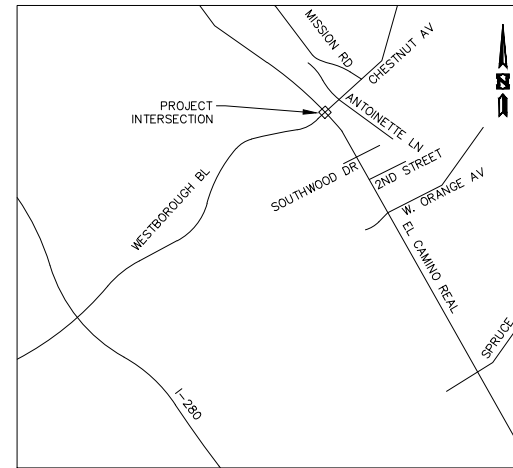
1. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) 2015 STANDARD PLANS, STANDARD SPECIFICATIONS, AND ANY REVISED STANDARD PLANS AND SPECIFICATIONS, THE 2014 CALIFORNIA MUTCD, APPLICABLE CITY OF SOUTH SAN FRANCISCO SPECIFICATIONS, AND THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE IMPROVEMENTS SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES AND TO COMPLY WITH THE AGENCIES' REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL LAWS.
3. A LIST OF MATERIALS PROPOSED BY THE CONTRACTOR TO BE USED ON THIS PROJECT FOR TRAFFIC SIGNAL CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, POLES, CONDUIT, CONDUCTORS, PULL BOXES, GROUND RODS AND SIGNAL EQUIPMENT SHALL BE SUBMITTED TO THE CITY'S PROJECT INSPECTOR FOR APPROVAL PRIOR TO THE START OF WORK. THE LIST SHALL INCLUDE MANUFACTURER'S SPECIFICATIONS FOR ALL APPLICABLE PRODUCTS.
4. EXISTING ELECTRICAL SYSTEMS INCLUDING TRAFFIC SIGNALS, TRAFFIC SIGNAL VEHICLE AND PEDESTRIAN DETECTION FACILITIES, TRAFFIC SIGNAL COMMUNICATION AND MONITORING FACILITIES, STREET LIGHTING FACILITIES, FLASHING BEACONS AND SIGN ILLUMINATION FACILITIES, OR APPROVED TEMPORARY REPLACEMENTS THEREOF, SHALL BE KEPT IN EFFECTIVE OPERATION FOR THE BENEFIT OF THE TRAVELING PUBLIC DURING THE PROGRESS OF WORK, EXCEPT WHEN SHUTDOWN IS PERMITTED TO ALLOW FOR ALTERATIONS OR FINAL REMOVAL OF THE SYSTEMS.
5. ALL NEW SIGNAL AND LIGHTING STANDARDS SHALL HAVE A GALVANIZED FINISH AND SHALL NOT BE PAINTED.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INCURRED TO SERVICE LATERALS (GAS, WATER, ELECTRICAL, SEWER, ETC.) WHICH MAY OR MAY NOT BE SHOWN ON THESE PLANS. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND HAVE THEM MARK THE LATERALS.
7. CONTRACTOR SHALL CONFIRM EXISTING CONDITIONS. ANY MAJOR DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE DETAILS SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT INSPECTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DELIVER COMPLETE AND FULLY FUNCTIONAL ELECTRICAL SYSTEMS.
8. ALL SYMBOLS AND NOTATIONS ARE PER CALTRANS STANDARD PLANS RSP ES-1A, RSP ES-1B, AND RSP ES-1C, UNLESS OTHERWISE NOTED.
9. REWIRING OF EXISTING TRAFFIC SIGNAL CONDUITS SHALL BE PERFORMED. PER CALTRANS 2015 REVISED STANDARD SPECIFICATIONS SECTION 87-1.03F(1):

"THE INSTALLATION OF CONDUCTORS AND CABLES INCLUDES SPLICING CONDUCTORS AND ATTACHING THE TERMINALS AND CONNECTORS TO THE CONDUCTORS.

CLEAN THE CONDUIT AND PULL ALL CONDUCTORS AND CABLES AS A UNIT.

IF NEW CONDUCTORS OR CABLES ARE TO BE ADDED IN AN EXISTING CONDUIT:

1. REMOVE THE CONTENT
2. CLEAN THE CONDUIT
3. PULL BOTH OLD AND NEW CONDUCTORS AND CABLES AS A UNIT"



VICINITY MAP (NO SCALE)

SHEET INDEX:

- TS-1 COVER SHEET
- TS-2 TRAFFIC SIGNAL MODIFICATION - EL CAMINO REAL AND CHESTNUT AVENUE
- TS-3 TRAFFIC SIGNAL SCHEDULES - EL CAMINO REAL AND CHESTNUT AVENUE



DRAWN T. CHANG	DESIGNED T. CHANG	SCALE NO SCALE
CHECKED J. ELIA	DATE 2/5/19	
APPROVED _____		
ENGINEER	DATE	CONTRACT NO.



PREPARED BY:

HEXAGON TRANSPORTATION CONSULTANTS, INC.

4 North Second Street, Suite 400
San Jose, California 95113
Ph: (408) 971-6100

www.hextrans.com

REVISIONS					
NO.	DATE	BY	DESCRIPTION	APPR.	DATE



CITY OF SOUTH SAN FRANCISCO

988 EL CAMINO REAL
COVER SHEET

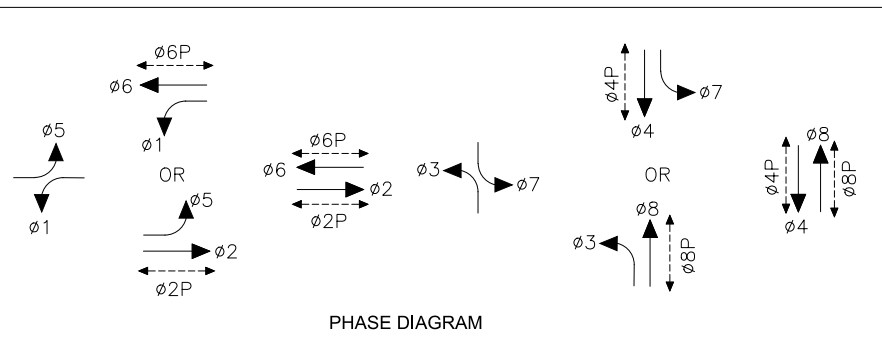
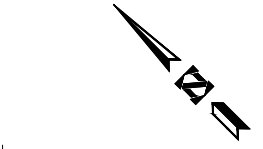
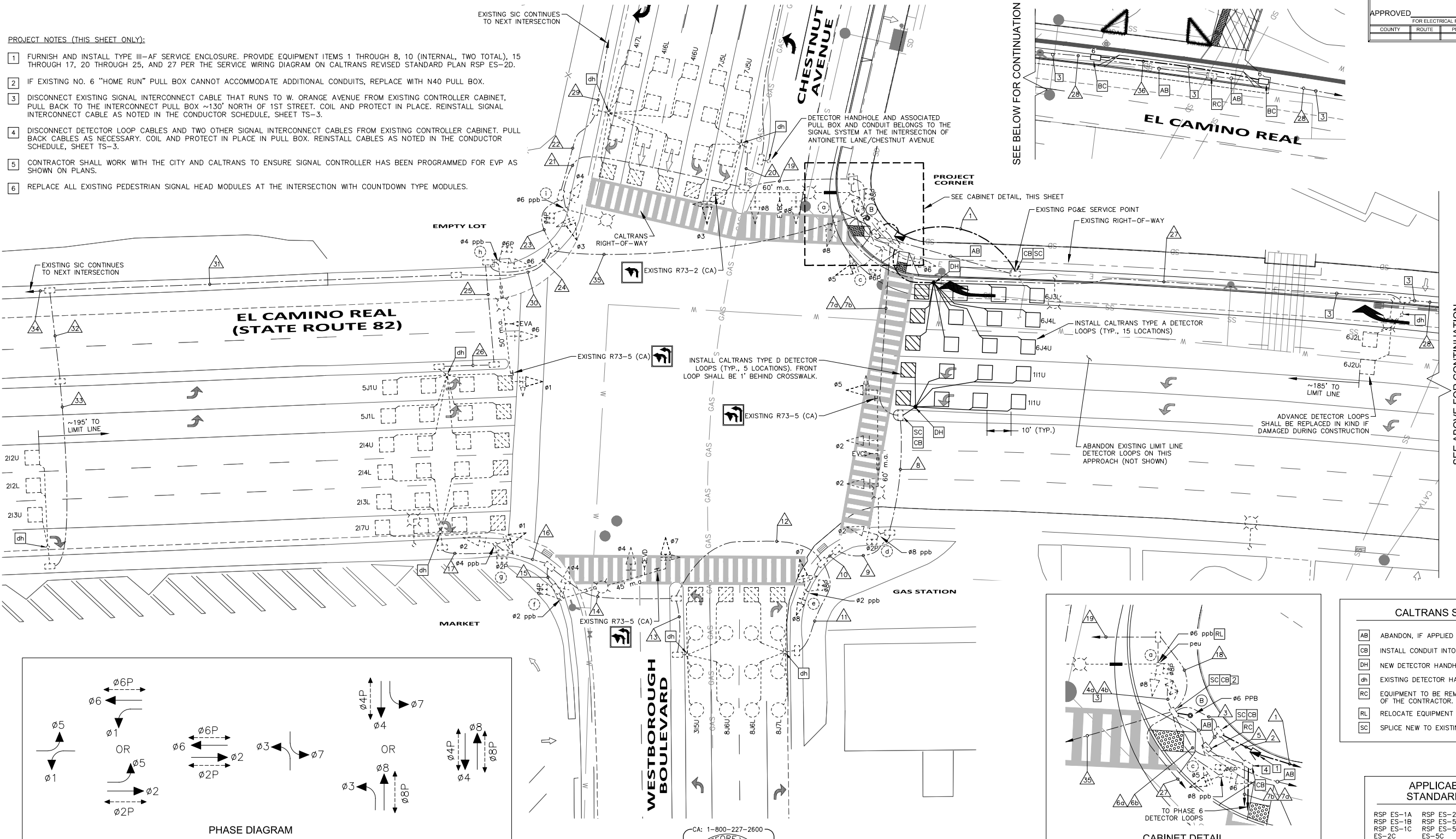
DRAWING NO.	TS-1
SHEET 1 OF 3	

Exhibit B - Improvement Agreement

CALIFORNIA DEPARTMENT OF TRANSPORTATION			
APPROVED _____ FOR ELECTRICAL FEATURES AFFECTING STATE FACILITIES _____ DATE _____			
COUNTY	ROUTE	PM	PERMIT NUMBER/EA

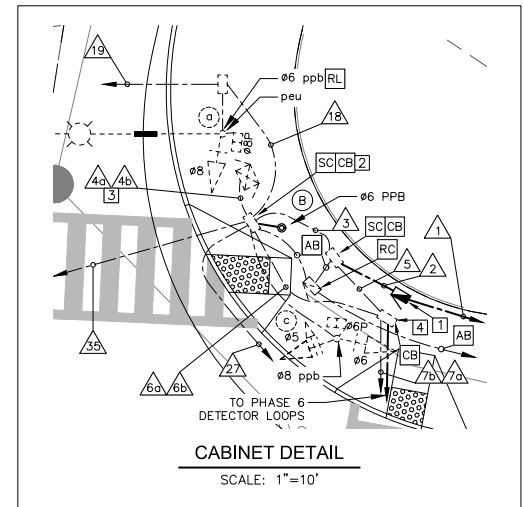
PROJECT NOTES (THIS SHEET ONLY):

- 1 FURNISH AND INSTALL TYPE III-AF SERVICE ENCLOSURE. PROVIDE EQUIPMENT ITEMS 1 THROUGH 8, 10 (INTERNAL, TWO TOTAL), 15 THROUGH 17, 20 THROUGH 25, AND 27 PER THE SERVICE WIRING DIAGRAM ON CALTRANS REVISED STANDARD PLAN RSP ES-2D.
- 2 IF EXISTING NO. 6 "HOME RUN" PULL BOX CANNOT ACCOMMODATE ADDITIONAL CONDUITS, REPLACE WITH N40 PULL BOX.
- 3 DISCONNECT EXISTING SIGNAL INTERCONNECT CABLE THAT RUNS TO W. ORANGE AVENUE FROM EXISTING CONTROLLER CABINET. PULL BACK TO THE INTERCONNECT PULL BOX ~130' NORTH OF 1ST STREET. COIL AND PROTECT IN PLACE. REINSTALL SIGNAL INTERCONNECT CABLE AS NOTED IN THE CONDUCTOR SCHEDULE, SHEET TS-3.
- 4 DISCONNECT DETECTOR LOOP CABLES AND TWO OTHER SIGNAL INTERCONNECT CABLES FROM EXISTING CONTROLLER CABINET. PULL BACK CABLES AS NECESSARY. COIL AND PROTECT IN PLACE IN PULL BOX. REINSTALL CABLES AS NOTED IN THE CONDUCTOR SCHEDULE, SHEET TS-3.
- 5 CONTRACTOR SHALL WORK WITH THE CITY AND CALTRANS TO ENSURE SIGNAL CONTROLLER HAS BEEN PROGRAMMED FOR EVP AS SHOWN ON PLANS.
- 6 REPLACE ALL EXISTING PEDESTRIAN SIGNAL HEAD MODULES AT THE INTERSECTION WITH COUNTDOWN TYPE MODULES.



EMERGENCY VEHICLE PREEMPT

- CHANNEL A = ø1 + ø6
- CHANNEL B = ø3 + ø8
- CHANNEL C = ø2 + ø5
- CHANNEL D = ø4 + ø7

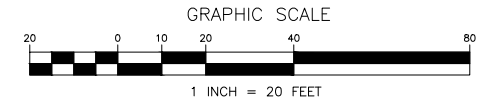


CALTRANS STANDARD NOTES

AB	ABANDON, IF APPLIED TO CONDUIT, REMOVE CONDUCTORS
CB	INSTALL CONDUIT INTO EXISTING PULL BOX
DH	NEW DETECTOR HANDHOLE (TYPE A)
dh	EXISTING DETECTOR HANDHOLE
RC	EQUIPMENT TO BE REMOVED AND BECOME THE PROPERTY OF THE CONTRACTOR.
RL	RELOCATE EQUIPMENT
SC	SPLICE NEW TO EXISTING CONDUCTORS

APPLICABLE CALTRANS STANDARD PLANS (2015)

RSP ES-1A	RSP ES-2D	ES-5D	ES-70
RSP ES-1B	RSP ES-5A	RSP ES-7A	ES-7P
RSP ES-1C	RSP ES-5B	RSP ES-7M	RSP ES-8A
ES-2C	ES-5C	RSP ES-7N	RSP ES-13A



• THIS PLAN IS ACCURATE FOR ELECTRICAL WORK ONLY.
 • SEE SHEET TS-1 FOR GENERAL ELECTRICAL NOTES.
 • SEE SHEET TS-3 FOR PROJECT NOTES AND SCHEDULES.

DRAWN T. CHANG	DESIGNED T. CHANG	SCALE 1" = 20'	
CHECKED J. ELIA	DATE 2/5/19		
APPROVED		CONTRACT NO.	
ENGINEER	DATE		



PREPARED BY:

HEXAGON TRANSPORTATION CONSULTANTS, INC.

4 North Second Street, Suite 400
 San Jose, California 95113
 Ph: (408) 971-6100

www.hextrans.com

REVISIONS					
NO.	DATE	BY	DESCRIPTION	APPR.	DATE

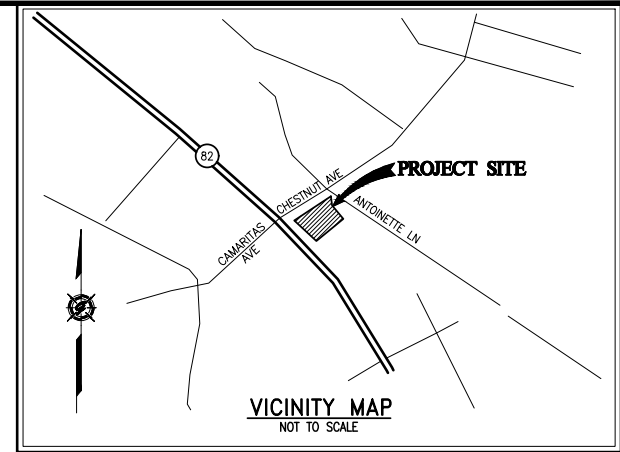


CITY OF SOUTH SAN FRANCISCO

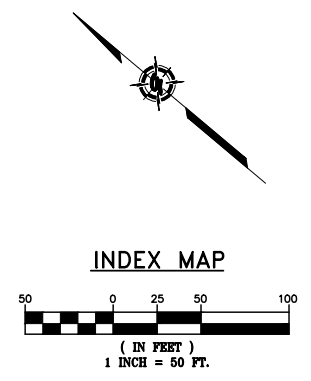
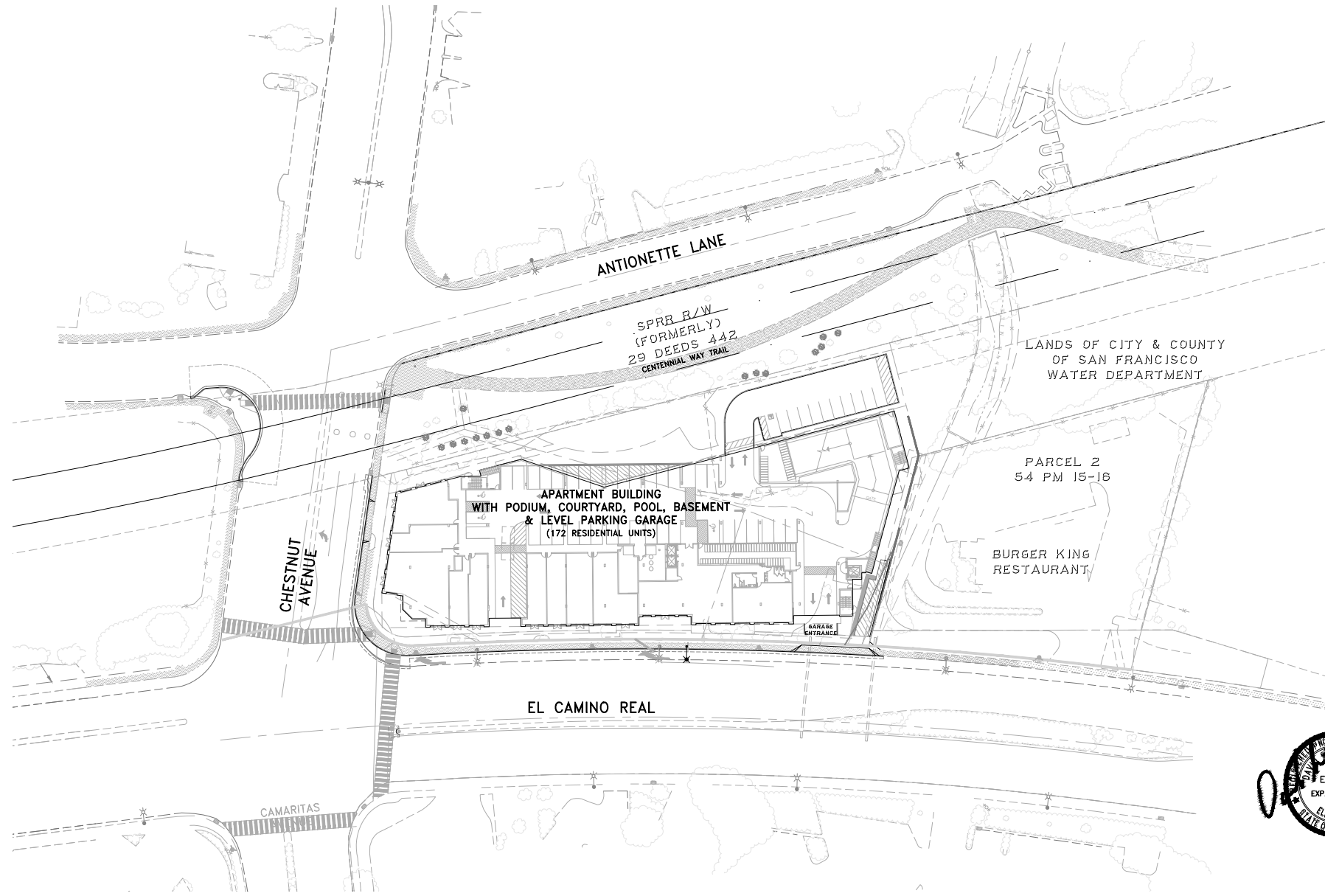
988 EL CAMINO REAL
 TRAFFIC SIGNAL MODIFICATION
 EL CAMINO REAL AND CHESTNUT AVENUE

DRAWING NO.
TS-2
SHEET 2 OF 3

SUMMERHILL APARTMENT COMMUNITIES 988 EL CAMINO REAL SOUTH SAN FRANCISCO, CALIFORNIA



SYMBOL	DATE	DESCRIPTION	APPROVED



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

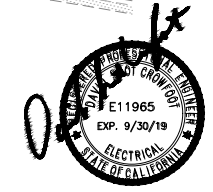


Exhibit B - Improvement Agreement

GIACALONE
DESIGN SERVICES, INC.
5620 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
925.467.1746 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH COMPOSITE TITLE SHEET
SUMMERHILL APARTMENT COMMUNITIES
988 EL CAMINO REAL
SOUTH SAN FRANCISCO CALIFORNIA

PROJECT TEAM CONTACTS		
COMPANY:	CONTACT:	PHONE:
SUMMERHILL HOMES	ELAINE BREEZE	650-842-2404
CARLSON, BARBEE & GIBSON - CBG	RYAN HANSEN	925-866-0322
PG&E - SAN CARLOS	SUSAN MARTINEZ	650-598-7326
AT&T - SAN BRUNO	ROOSEVELT GEORGE III	650-872-6062
ASTOUND - CONCORD	CRAIG CORDOVA	925-278-4471
CABLECOM - SOUTH SAN FRANCISCO	BILL LEE	650-670-6038
GIACALONE DESIGN SERVICES, INC.	DAVID CROWFOOT	925-467-1740

PG&E PM NO.
ELECTRIC:
RULE 15: #35059820
TEMP PWR: #35060310
RULE 20: #31406065
RELOC:
AFSA 114483307
AFSA 112617430
GAS:
RULE 15: #35067340
RELOC:

LATEST FILES RECEIVED				
DESCRIPTION:	BY:	DATE:	STATUS:	
GAS DESIGN	GDSI	01-22-22	F	
ELECTRIC DESIGN R15/TEMP PWR/R20	GDSI	01-14-19/01-14-19/01-14-19	F / F / F	
TELEPHONE LAYOUT	AT&T	9-18-18	INTENT REPLY	
CATV LAYOUT	CABLECOM	02-06-19	REVISED INTENT	
STREET LIGHT PLANS - PUBLIC	GDSI	02-14-19	CURRENT	
FIBER OPTIC PLAN - CITY	GDSI	02-12-19	CURRENT	
IMPROVEMENT PLANS (ELECTRONIC FILE)	CBG	02-12-19		

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

PROJECT DESCRIPTION & SCOPE
<ul style="list-style-type: none"> SERVICE TO (1) MIXED BUILDING CONSISTING OF 172 RESIDENTIAL UNITS (AVG: 1000 SF) & 12,200 SF OF COMMERCIAL SPACE (9 RTL MTRS) 375 LF± OF O.H. TO U.G. CONVERSION ONSITE RELOCATE (1) PUBLIC STREETLIGHT RE-ARRANGE ELECTRIC PRIMARY TO EXISTING BURGER KING T-1737 1 GAS SERVICE TO "HOUSE" & 9 RETAIL METERS RELOCATE (2) EXISTING METER PEDESTALS

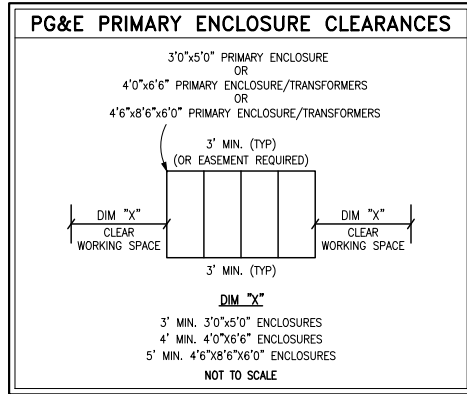
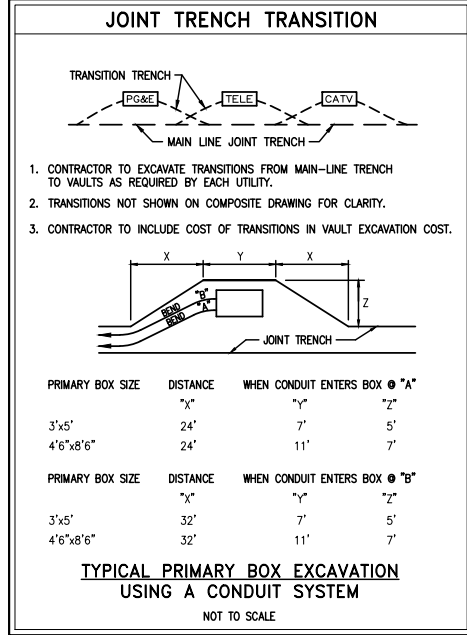
SHEET INDEX	
SHEET	DESCRIPTION
JT1	JOINT TRENCH COMPOSITE TITLE SHEET
JT2	JOINT TRENCH GENERAL NOTES & DETAILS
JT3	JOINT TRENCH SECTIONS & DETAILS
JT4	JOINT TRENCH COMPOSITE PLAN
SL1	PUBLIC STREET LIGHTING TITLE SHEET & DETAILS
SL2	PUBLIC STREET LIGHTING SITE PLAN
PM	PHOTOMETRICS
FO1	FIBER OPTIC - CITY

PROJECT MANAGER:
DAVID CROWFOOT
DRAWN BY:
D. SHAY
CHECKED BY:
DSC
SCALE:
1"=50'
JOB NUMBER:
17-072
DATE LAST MODIFIED:
02-14-19
SHEET
JT1
OF 4 SHEETS

Exhibit B - Improvement Agreement

LABOR & CONSTRUCTION RESPONSIBILITY	
1. TRENCHING: EXCAVATE, BACKFILL AND COMPACT	PG&E ELECTRIC GAS TELEPHONE CONTRACTOR
2. GAS MATERIAL: SUPPLY INSTALL	PG&E
3. ELECTRIC CABLE: SUPPLY INSTALL	PG&E
4. ELECTRIC CONDUIT: SUPPLY INSTALL	PG&E
5. ELECTRIC SPLICE BOXES: EXCAVATE SUPPLY INSTALL	PG&E
6. ELECTRIC TFM. ENCLS: EXCAVATE SUPPLY INSTALL	PG&E
7. ELECTRIC EQUIP. ENCLS.: EXCAVATE SUPPLY INSTALL	PG&E
8. ELECTRIC TRANS. PADS: GRADE (TEMP FWR) SUPPLY INSTALL	PG&E
9. ELECTRIC SWITCH PADS: GRADE SUPPLY INSTALL	PG&E
10. TELEPHONE CONDUIT: SUPPLY INSTALL	PG&E
11. TELEPHONE CABLE: SUPPLY INSTALL	PG&E
12. TELEPHONE SPLICE BOXES: EXCAVATE SUPPLY INSTALL	PG&E
13. TELEPHONE INTER PADS: GRADE SUPPLY INSTALL	PG&E
14. CATV CONDUITS: SUPPLY INSTALL	PG&E
15. CATV SPLICE BOXES: EXCAVATE SUPPLY INSTALL	PG&E
16. WAVE SPLICE BOXES: EXCAVATE SUPPLY INSTALL	PG&E
17. STREET LIGHTING/CITY FIBER: EXCAVATE SUPPLY INSTALL	PG&E

THE ● ABOVE DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.

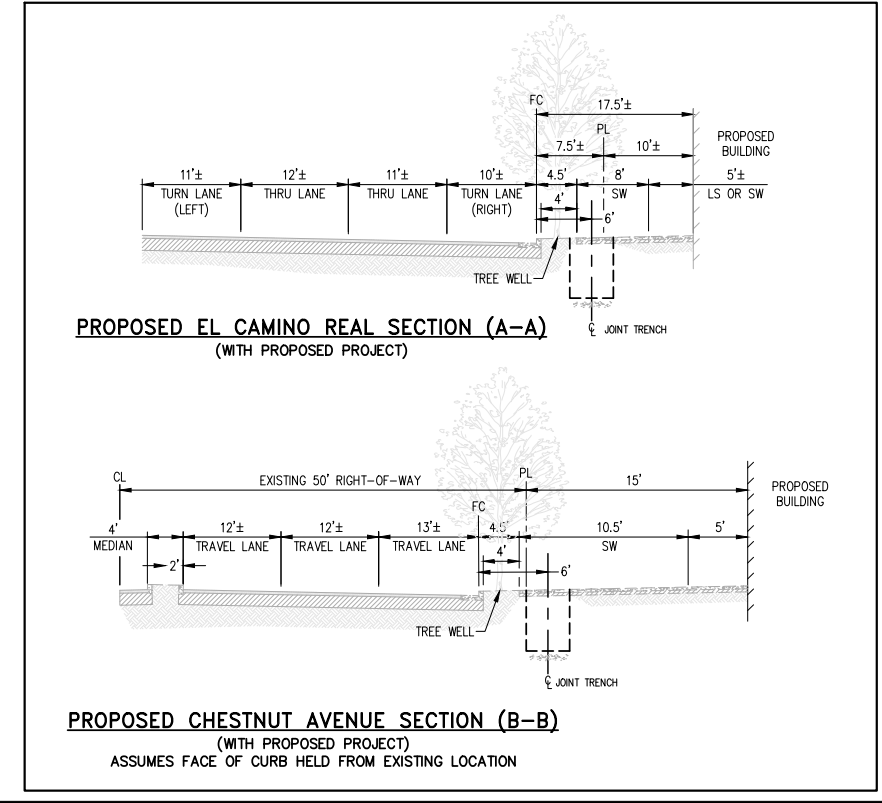
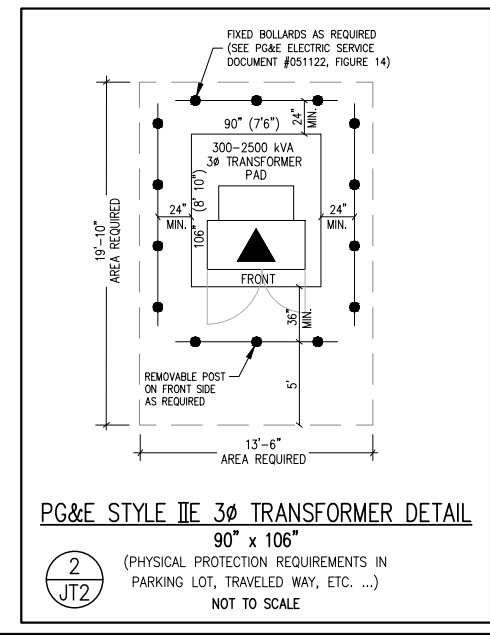
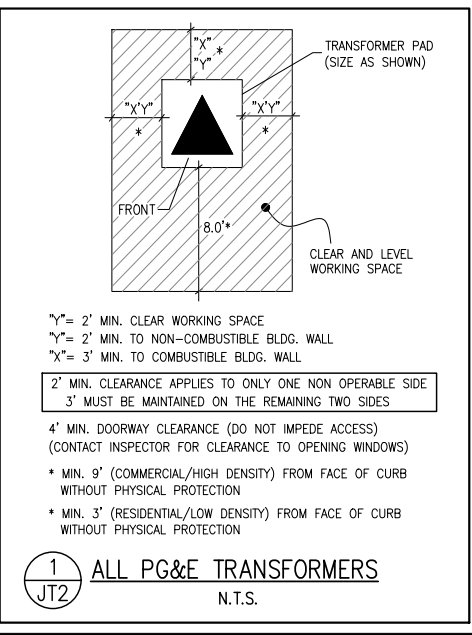


STREET LIGHTING NOTES

- FOR STREET LIGHT LOCATIONS & CIRCUITRY SEE PUBLIC STREET LIGHT PLANS SHEETS SL1-SL2.
- STREET LIGHT CONDUIT INSTALLED IN SEPARATE TRENCH. REFER TO J.T. COMPOSITE PLANS FOR LOCATION OF STREET LIGHT TRENCH.

- ### JOINT TRENCH CONTRACTORS NOTES
- THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL INSTALLATIONS INSPECTED AND APPROVED BY THE RESPECTIVE UTILITY COMPANY, MUNICIPALITY, OR SOILS ENGINEER PRIOR TO ANY BACK FILLING. (48 HOUR NOTICE)
 - CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
 - THE CONTRACTOR TO BE AWARE THAT THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE BASED UPON RECORD DATA MADE AVAILABLE BY PG&E, TELEPHONE, CATV, IMPROVEMENT PLANS AND CITY RECORDS. GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR THE INFORMATION SHOWN. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE PRECISE LOCATION OF ALL UNDERGROUND FACILITIES. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) (811) AT LEAST 48 HOURS (2 WORKING DAYS) PRIOR TO START OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION WITH THE RESPECTIVE UTILITY AGENCIES, ALLOWING 48 HOURS PRIOR TO THE NEED FOR INSTALLATIONS.
 - THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT IN PLACE ALL EXISTING FACILITIES. EXCAVATION MAY BE REQUIRED OVER, UNDER OR ADJACENT TO EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO LOCATE, EXPOSE AND PROTECT ALL EXISTING FACILITIES. THE CONTRACTOR IS RESPONSIBLE TO BID THE WORK BASED ON THE REVIEW OF THE IMPROVEMENT PLANS IN CONJUNCTION WITH THESE PLANS.
 - IT'S THE CONTRACTOR/DEVELOPER RESPONSIBILITY TO MAKE SURE THAT THE MOST CURRENT SET OF PLANS ARE BEING USED. CALL GIACALONE DESIGN SERVICES, INC. (925) 467-1740 TO VERIFY.
 - THE CONTRACTOR SHALL COORDINATE ALL TIE-INS WITH UTILITY COMPANIES AS REQUIRED.
 - THE CONTRACTOR SHALL PROVIDE TIE-IN HOLE TO 12" BELOW EXISTING GAS MAIN FOR PG&E GAS TIE-IN(S) UNLESS OTHERWISE NOTED ON PLANS.
 - JOINT TRENCH FACILITIES SHALL MAINTAIN A MINIMUM OF 3' HORIZONTAL CLEARANCE FROM EDGE OF JOINT TRENCH TO EDGE OF "WET" UTILITIES WITH A MINIMUM 6" VERTICAL CLEARANCE WHEN CROSSING (I.O.M.). THE CONTRACTOR SHALL REFER TO PG&E UO STANDARD S5453 FOR ADDITIONAL INFORMATION.
 - TRANSITION TRENCH FOR VAULTS/PEDESTALS NOT SHOWN FOR CLARITY. THE CONTRACTOR SHALL PROVIDE INCIDENTAL TRENCHING AS REQUIRED FOR CONDUIT/CABLE ROUTING INTO VAULTS/PEDESTALS. CONTRACTOR SHALL INCLUDE COST OF TRANSITION TRENCH IN VAULT/PEDESTAL EXCAVATION COST.
 - THE CONTRACTOR SHALL OFFSET VAULTS/PEDESTALS AS REQUIRED FOR CONDUIT/CABLE ROUTING.
 - THE CONTRACTOR SHALL FIELD ADJUST VAULTS/PEDESTALS AS REQUIRED TO AVOID CONFLICTS WITH DRIVEWAYS, SIDEWALKS, HANDICAP RAMPS, FIRE HYDRANTS, WATER & SEWER LATERALS, ETC.
 - SERVICE LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THEIR EXACT LOCATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL FIELD ADJUST SERVICE STUB AND CROSSING LOCATIONS AS REQUIRED TO AVOID CONFLICTS WITH OTHER FACILITIES.
 - SERVICE COMPLETION TRENCHES SHALL BE INSTALLED AFTER CURB AND GUTTER, UNLESS DIRECTED OTHERWISE. THE CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS AS NECESSARY TO COMPLETE THE SERVICES TO EACH INDIVIDUAL UNIT WITH THE DEVELOPER, UTILITY COMPANIES & ALL INVOLVED AGENCIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTORS UNIT BID PRICE FOR TRENCHING.
 - EDGE OF SPLICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF F.H. AND 3' FROM STREET LIGHT (TYP.) CONTRACTOR TO AVOID DISTURBING F.H. THRUST BLOCK.
 - THE CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING, INSTALLATION AND ALL OTHER WORK AS SHOWN OR NOTED ON THESE PLANS & SPECIFICATIONS.
 - ALL TRENCHES, BOXES AND CONDUIT LAYOUTS IN THIS PLAN SET ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL INSTALL ALL UTILITY VAULTS, PADS, CONDUITS, ETC. IN PROPER RELATION TO FINAL GRADE. VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIERS PRIOR TO EXCAVATING.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK.
 - THE BOTTOM OF ALL TRENCHES SHALL BE CLEARED OF ROCKS AND ALL OTHER HARD SURFACE MATERIAL. A SAND BEDDING OF AT LEAST 2" (TWO INCHES) SHALL BE PROVIDED ON WHICH THE UTILITIES WILL BE PLACED. (MAY NOT BE REQUIRED IN NATIVE SAND AREAS, CONSULT WITH LOCAL AGENCIES).
 - THE CONTRACTOR SHALL NOTIFY GIACALONE DESIGN SERVICES, INC. OF ANY DIFFERENCES IN THE ACTUAL LOCATION OF EXISTING FACILITIES FROM THAT SHOWN IN THESE PLANS, OR ANY OTHER CONFLICTS WITH THE DESIGN, PRIOR TO CONTINUING WORK IN THAT AREA. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING GIACALONE DESIGN SERVICES, INC.
 - GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR ANY DIFFERENCES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PRIOR TO SUBMITTING BID.
 - THE CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN EXISTING AND PROPOSED FACILITIES WITH THE RESPECTIVE UTILITY INSPECTOR. ALL EXISTING CONDUIT TO BE USED SHALL BE MANDREL TESTED AND PROVED PRIOR TO MAKING CONNECTION AS DIRECTED BY THE GOVERNING INSPECTOR. UTILITY COMPANIES SHALL MAKE ALL "HOT" TIE-INS AND CONNECTIONS. THE CONTRACTOR SHALL NOT ENTER OR WORK ON ANY ENERGIZED FACILITIES UNLESS DIRECTED BY THE UTILITY INSPECTOR. THIS COST SHALL BE INCLUDED IN CONTRACTOR BID.
 - THE CONTRACTOR IS REQUIRED TO EXCAVATE "BELL HOLES" AT THE TIE-IN LOCATIONS AS REQUIRED BY THE UTILITY COMPANIES.
 - TRENCHING AND/OR SUBSTRUCTURE EXCAVATIONS MAY TAKE PLACE OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND FACILITIES (STORM, SEWER, WATER, ETC.). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, EXPOSE AND PROTECT IN PLACE ALL EXISTING FACILITIES. THIS WORK SHALL NOT BE CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL IMPROVEMENT AND GRADING PLANS, IN CONJUNCTION WITH THESE PLANS, AND BID HIS WORK ACCORDINGLY.
 - THE RESPECTIVE UTILITY INSPECTOR WILL DETERMINE IN THE FIELD IF RETAINING WALLS WILL BE NEEDED TO MEET THE MINIMUM CLEARANCE REQUIREMENTS. REFER TO THE PG&E "GREEN BOOK" STANDARD DRAWING 051122 FOR APPROVED RETAINING WALL REQUIREMENTS. RETAINING WALLS ARE THE DEVELOPERS RESPONSIBILITY AND ARE NOT INCLUDED IN THIS CONTRACT.
 - THE CONTRACTOR SHALL "RED-LINE" (1) ONE SET OF THE JOINT TRENCH COMPOSITE PLANS AND (2) TWO SETS OF THE GAS AND ELECTRIC PLANS WITH "AS-BUILT" INFORMATION AND GIVE TO THE DEVELOPER PRIOR TO SPLICING OF THE PRIMARY ELECTRIC SYSTEM.
 - CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
 - SUBSTRUCTURES MUST HAVE 12" MINIMUM CLEARANCE FROM JOINT TRENCH.

- ### GENERAL NOTES
- PG&E'S UO STANDARD S5453 TO BE UTILIZED FOR ALL TRENCHING, BACK-FILLING, AND INSTALLATION WORK.
 - SHOULD A DISPUTE OR DISAGREEMENT OVER ANY INSTALLATION, DESIGN, PLAN, OR DRAWING OCCUR THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANY AND THEIR INSPECTOR SHALL TAKE PRECEDENCE.
 - GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR THE QUALITY, QUANTITY OR TIMING OF WORK BY CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS OR OTHER SUBCONTRACTORS TO THE DEVELOPER.
 - THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO ONE ANOTHER. ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS SHALL BE CONSIDERED OF LIKE EFFECT AS IF APPEARING IN BOTH. CONTACT GIACALONE DESIGN SERVICES, INC. PRIOR TO START OF WORK OR SUBMITTAL OF BID IF A DISCREPANCY IS FOUND.
 - CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACK FILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
 - GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR THE PROJECT CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE PROJECT AND SITE PRIOR TO SUBMITTING HIS BID.
 - ALL LENGTHS SHOWN ON THESE PLANS ARE ESTIMATES. FINAL QUANTITIES SHALL BE BASED ON WHAT WILL BE NEEDED TO COMPLETE THIS PROJECT. DUE TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS FINAL QUANTITIES MAY VARY.
 - SHOULD A CONFLICT ARISE BETWEEN FACILITIES SHOWN ON THESE PLANS AND IMPROVEMENT PLANS FOR THIS PROJECT, THE IMPROVEMENT PLANS SHALL TAKE PRECEDENCE. CONTACT GIACALONE DESIGN SERVICES, INC. (925) 467-1740 IF A PROBLEM SHOULD OCCUR.
 - ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED AS DIRECTED BY UTILITY INSPECTOR.
 - THE MINIMUM TRENCH WIDTHS AND DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR WIDTH, DEPTH AND SEPARATIONS. THE CONTRACTOR SHALL EXCAVATE FOR ADDITIONAL WIDTH OR DEPTH WHERE THE PROPOSED JOINT TRENCH FACILITIES APPROACH AND CROSS OTHER EXISTING UTILITY LINES (STORM DRAIN, SEWER, WATER, ETC.) TO ADEQUATELY CLEAR THESE FACILITIES. THE JOINT TRENCH FACILITIES MAY BE PLACED EITHER BELOW OR ABOVE THE EXISTING UTILITY LINES WITH AT LEAST 6" FREE CLEARANCE BETWEEN THE EXISTING UTILITY LINES BEING CROSSED, OR SUCH GREATER MINIMUM DISTANCE AS MAY BE REQUIRED BY THE LOCAL GOVERNMENTAL AGENCY OR OTHER PUBLIC REGULATORY AGENCY. (SEE MINIMUM COVER AND CLEARANCE TABLE)
 - TRENCH SECTIONS SHOWN ARE SCHEMATIC AND INDICATE AREAS OF OCCUPANCY ONLY. THEY DO NOT REFLECT THE SIZE OR QUANTITY OF THE FACILITIES BEING INSTALLED AND ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS SHOWN ON EACH TRENCH PARTICIPANTS' CONSTRUCTION DRAWINGS. REFER TO THE COMPOSITE CONDUIT, STREETLIGHT PLAN AND/OR EACH RESPECTIVE UTILITY COMPANIES CONSTRUCTION DRAWINGS FOR THE NECESSARY CONDUIT, CABLE AND/OR PIPE BEING INSTALLED.
 - RESPECTIVE UTILITY TO OBTAIN CITY OR COUNTY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
 - ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.
 - ANY QUESTIONS OR UNCERTAINTIES REGARDING REMOVAL AND/OR REPLACEMENT OF EXISTING HARDSCAPE OR LANDSCAPE SHALL BE COORDINATED WITH THE DEVELOPER AND/OR OTHER PARTIES/AGENCIES INVOLVED.
 - A 3 FOOT CLEAR & LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES, EXCEPT 4'-6"x8'-0" VAULTS WHICH SHALL MAINTAIN A 5 FOOT MINIMUM CLEAR & LEVEL WORKING AREA ON THE SHORT SIDES AND 3 FOOT ON THE LONG WALL SIDES; PAD MOUNT EQUIPMENT SHALL MAINTAIN AN 8 FOOT CLEAR & LEVEL WORKING AREA IN FRONT OF EQUIPMENT DOORS AND 3 FOOT CLEAR ON SIDES & BACK, UNLESS DIRECTED OTHERWISE BY INSPECTOR. REFER TO THE PG&E "GREEN BOOK" STANDARD DRAWING 051122 FOR ADDITIONAL CLEARANCE PROTECTION REQUIREMENTS.



APPLICANT TO WATERPROOF ALL TRANSFORMER ENCLOSURES AND SEAL ELECTRIC CONDUITS ENTERING ENCLOSURE PER PG&E STANDARDS 072149 & 062288

DESIGN CHANGE COMPONENT
ANY CHANGES TO THIS DESIGN MUST BE APPROVED BY
NAME & TELEPHONE NUMBER
PG&E Gas ADE

DEVELOPER PLEASE NOTE AND SIGN
ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER. ALL COSTS TO RELOCATE OR RE-ADJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR SUPERINTENDENT VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND BOXES AND SIGN AND DATE DRAWING.

THANK YOU

SIGNED: _____
DATE: _____

PRELIMINARY PLANS NOT FOR CONSTRUCTION

CALL BEFORE YOU DIG
TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811

APPROVED	REVISIONS	DESCRIPTION	DATE

GIACALONE DESIGN SERVICES, INC.
5820 STONERIDGE, MALL RD., #245 | PLEASANTON, CA 94588
925.467.1740 | WWW.GIACALONEDSIGN.COM

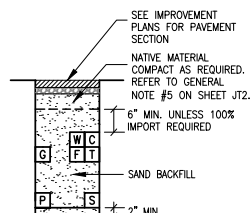
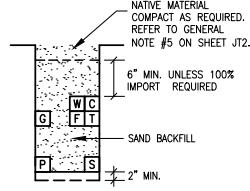
JOINT TRENCH GENERAL NOTES & DETAILS
SUMMERHILL APARTMENT COMMUNITIES
988 EL CAMINO REAL
SOUTH SAN FRANCISCO CALIFORNIA

PROJECT MANAGER:
DAVID CROWFOOT
DRAWN BY:
D. SHAY
CHECKED BY:
DSC
SCALE:
NONE
JOB NUMBER:
17-072
DATE LAST MODIFIED:
02-14-19
SHEET
JT2
OF 4 SHEETS

Exhibit B - Improvement Agreement

MINIMUM COVER & CLEARANCE CHART

UTILITY	G	T	C	S	P	PUB. SL	ST. SL	F	MINIMUM COVER
G (GAS) SEE NOTE 3 & 4	12"	12"	6"	12"	12"	12"	12"	1"	24"; 30" IN STREET
T (TELEPHONE)	12"	1"	12"	12"	12"	12"	12"	1"	24"; 30" IN STREET
C (CABLE T.V.)	12"	1"	12"	12"	12"	12"	12"	1"	24"; 30" IN STREET
S (ELECT. SECONDARY)	6"	12"	12"	1.5"	3"	12"	1.5"	12"	24"; 30" IN STREET
P (ELECT. PRIMARY)	12"	12"	12"	3"	3"	12"	3"	12"	36"; 36" IN STREET
*SL (PUBLIC-STREET LIGHT)	12"	12"	1"	12"	12"	12"	12"	1"	24"; 30" IN STREET
SL (PG&E-STREET LIGHT)	6"	12"	12"	1.5"	3"	12"	1.5"	12"	24"; 30" IN STREET
F (CITY-FIBER OPTIC)	12"	1"	1"	12"	12"	12"	12"	1"	24"; 30" IN STREET



NOTE:

- TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
- IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUBBASE DISTURBANCE.
- WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, CATV & FIBER OPTIC).
- WHERE 6" GAS MAIN IS IN JOINT TRENCH 12" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
- 3" MINIMUM BETWEEN 600A (6") MAINLINE PRIMARY ELECTRIC DUCTS.
- WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, ST. LT. SEPARATION MAY BE REDUCED TO 0" BETWEEN ST. LT. AND COMMUNICATION DUCTS (TELEPHONE, CATV, & FIBER OPTIC).

TRENCH SECTION LEGEND

- MEETS UTILITY TRENCH ALLOTMENT
- EXCEEDS UTILITY TRENCH ALLOTMENT
- P** PG&E PRIMARY
- S** PG&E SECONDARY
- G** PG&E GAS
- T** TELEPHONE
- C** CABLE T.V.
- W** CABLE T.V.
- F** CITY FIBER OPTIC
- SL** STREET LIGHTING

XX LF--TOTAL = TOTAL TRENCH LENGTH
 XX LF--R&R = REMOVE & REPLACE PAVEMENT ONLY, TRENCH INCLUDED IN TOTAL TRENCH LENGTH

GENERAL TRENCH SECTION NOTES

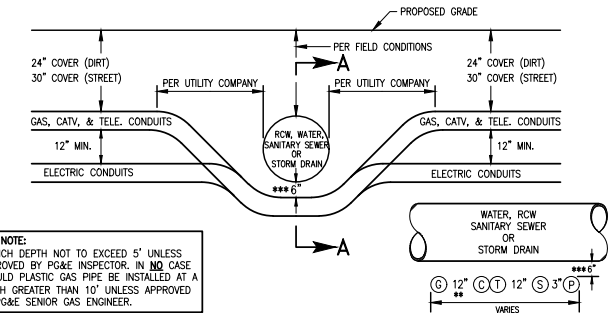
- TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATIONS WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS, OR REDUCED DIMENSIONS, MAY BE USED PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
- CONTRACTOR TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
- TRENCH SECTIONS SHOWN ARE SCHEMATIC AND INDICATE AREAS OF OCCUPANCY ONLY, THEY DO NOT REFLECT THE SIZE OR QUANTITY OF THE FACILITIES BEING INSTALLED AND ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS SHOWN ON EACH TRENCH PARTICIPANTS' CONSTRUCTION DRAWINGS. REFER TO THE COMPOSITE, CONDUIT, STREETLIGHT PLAN AND/OR EACH RESPECTIVE UTILITY COMPANIES CONSTRUCTION DRAWINGS FOR THE NECESSARY CONDUIT, CABLE AND/OR PIPE BEING INSTALLED.

JOINT TRENCH OCCUPANCY GUIDE

SECTION	G	T	C	S	P	OTHER
*A	X	X	X	X	X	
*B	X	X	X	X	X	
*C	X	X	X	X	X	
*D	X	X	X	X	X	
*E	X	X	X	X	X	
*F	X	X	X	X	X	
*G			X	X	X	
*H			X	X	X	
I	X	X	X	X	X	
J	X	X	X	X	X	
K	X	X	X	X	X	
L	X	X	X	X	X	
M	X	X	X	X	X	
N	X	X	X	X	X	
O	X	X	X	X	X	
P	X	X	X	X	X	
Q	X	X	X	X	X	
R	X	X	X	X	X	
S	X	X	X	X	X	
T	X	X	X	X	X	
U	X	X	X	X	X	
V	X	X	X	X	X	
W	X	X	X	X	X	

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

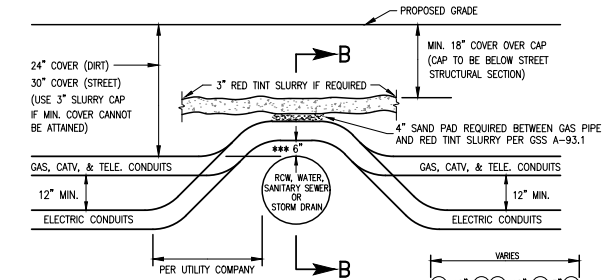
DRY UTILITY CROSSING DETAILS



GAS NOTE:
 TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY PG&E INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY PG&E SENIOR GAS ENGINEER.

SECTION A-A
NOT TO SCALE

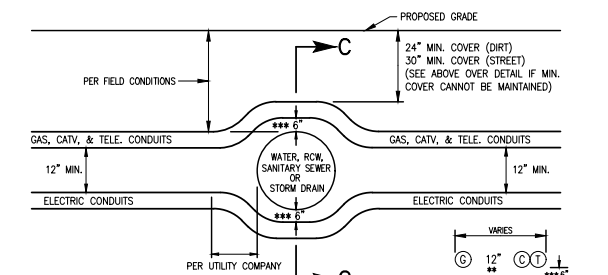
JOINT TRENCH UNDER WATER, RECYCLED WATER, SANITARY SEWER OR STORM DRAIN



GAS NOTE:
 TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY PG&E INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY PG&E SENIOR GAS ENGINEER.

SECTION B-B
NOT TO SCALE

JOINT TRENCH OVER WATER, RECYCLED WATER, SANITARY SEWER OR STORM DRAIN

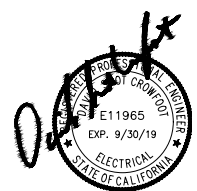


GAS NOTE:
 TRENCH DEPTH NOT TO EXCEED 5' UNLESS APPROVED BY PG&E INSPECTOR. IN NO CASE SHOULD PLASTIC GAS PIPE BE INSTALLED AT A DEPTH GREATER THAN 10' UNLESS APPROVED BY PG&E SENIOR GAS ENGINEER.

SECTION C-C
NOT TO SCALE

JOINT TRENCH OVER/UNDER WATER, RECYCLED WATER, SANITARY SEWER OR STORM DRAIN (PREFERRED METHOD)

- NOTE:
- SEE MINIMUM COVER & CLEARANCE CHART.
 - WITH MUTUAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV).
 - 6" MINIMUM REQUIRED BY PG&E-ADDITIONAL CLEARANCE MAYBE REQUIRED BY CITY OR COUNTY. BED THE BOTTOM OF THE TRENCH WITH IMPORTED SAND. INSTALL THE CONDUIT AND/OR GAS PIPE COVER THE FACILITY WITH THE SAME IMPORTED SAND AND MECHANICALLY COMPACT USING A VIBRATORY TYPE COMPACTOR.
 - CROSSING METHODS ARE NOT LIMITED TO THE ABOVE DETAILS. OTHER APPROVED CONFIGURATIONS MAY BE USED. CONTRACTOR TO VERIFY METHOD OF CROSSING WITH GOVERNING AGENCY AND/OR UTILITY COMPANIES AS REQUIRED PRIOR TO CONSTRUCTION.
 - JOINT TRENCH CONTRACTOR SHALL NOT ASSUME THAT ANY OF THE METHODS ABOVE WILL BE ACCEPTABLE TO PG&E & THE UTILITIES. J.T. CONTRACTOR IS REQUIRED TO COORDINATE THE LOCAL INSPECTORS PRIOR TO INSTALLING DRY UTILITIES ACROSS WATER, RECYCLED WATER, SANITARY SEWER, STORM DRAIN OR ANY OTHER FACILITY WITH ANY ISSUE RELATING TO COVERS LESS THAN THE MINIMUM OR COVERS REQUIRING SHOWING. CONCRETE CAPPING IS ONLY ACCEPTABLE WHERE NO OTHER SOLUTION IS POSSIBLE AND ONLY WHEN CERTAIN CRITERIA ARE MET AND ONLY WITH PG&E APPROVAL.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

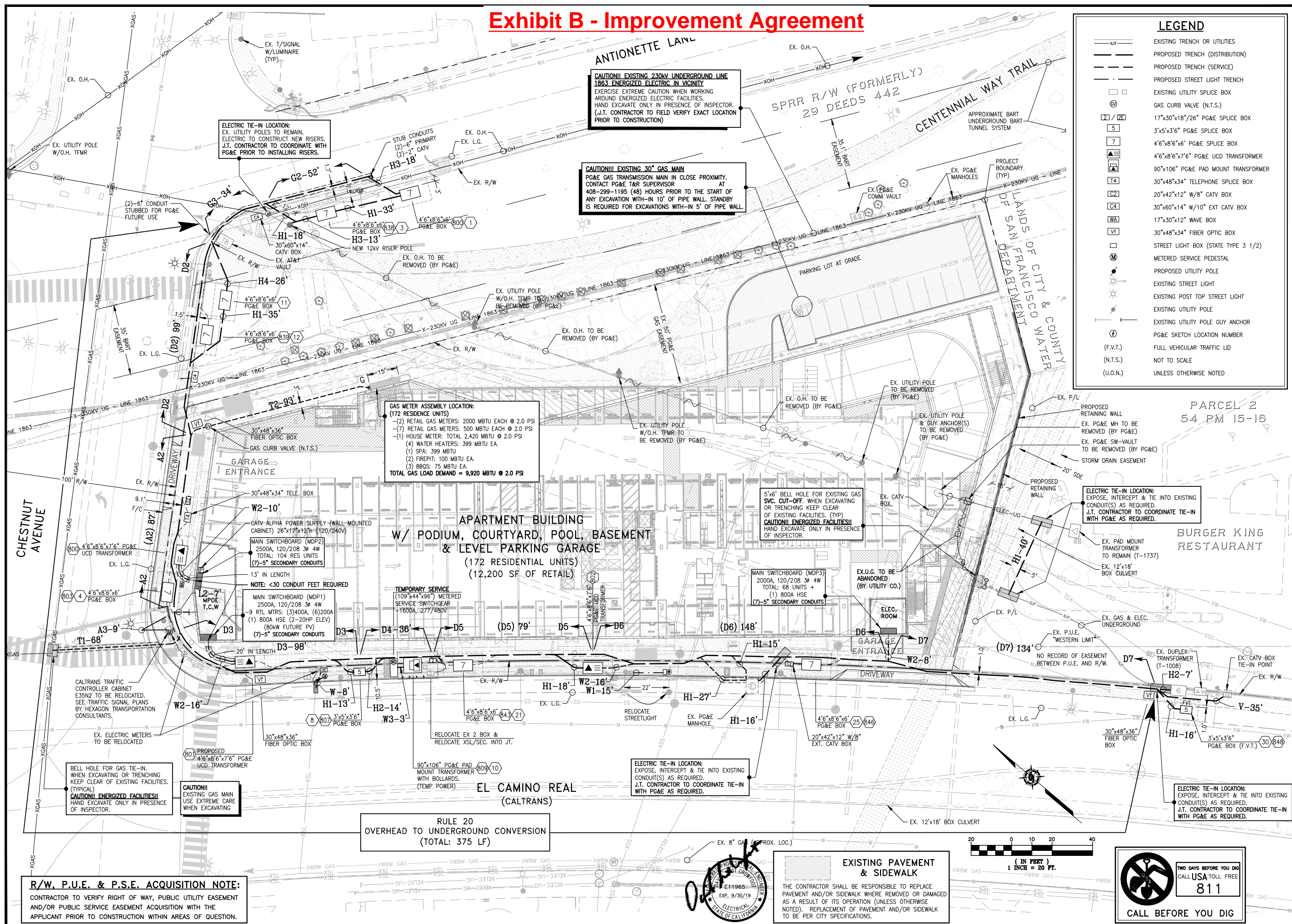
REVISIONS	DESCRIPTION	DATE

GIACALONE
 DESIGN SERVICES, INC.
 5820 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
 925.467.7748 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH SECTIONS & DETAILS
 SUMMERHILL APARTMENT COMMUNITIES
 988 EL CAMINO REAL
 SOUTH SAN FRANCISCO CALIFORNIA

PROJECT MANAGER:
DAVID CROWFOOT
 DRAWN BY:
D. SHAY
 CHECKED BY:
DSC
 SCALE:
NONE
 JOB NUMBER:
17-072
 DATE LAST MODIFIED:
02-14-19
 SHEET
JT3
 OF 4 SHEETS

Exhibit B - Improvement Agreement



LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPlice BOX
	GAS CURB VALVE (N.T.S.)
	17"x30"x18"/26" PG&E SPlice BOX
	3"x5"x3/6" PG&E SPlice BOX
	4"x6"x8/6" PG&E SPlice BOX
	4"x6"x8/6"x7/6" PG&E UCD TRANSFORMER
	90"x106" PG&E PAD MOUNT TRANSFORMER
	30"x48"x34" TELEPHONE SPlice BOX
	20"x42"x12" W/8" CATV BOX
	30"x60"x14" W/10" EXT CATV BOX
	17"x30"x12" WAVE BOX
	30"x48"x34" FIBER OPTIC BOX
	STREET LIGHT BOX (STATE TYPE 3 1/2)
	METERED SERVICE PEDESTAL
	PROPOSED UTILITY POLE
	EXISTING STREET LIGHT
	EXISTING POST TOP STREET LIGHT
	EXISTING UTILITY POLE
	EXISTING UTILITY POLE GUY ANCHOR
	PG&E SKETCH LOCATION NUMBER
	FULL VEHICULAR TRAFFIC LID
	NOT TO SCALE
	UNLESS OTHERWISE NOTED

CAUTION!!! EXISTING 230KV UNDERGROUND LINE 1863 ENERGIZED ELECTRIC IN VICINITY
 EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR. (J.T. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION)

CAUTION!!! EXISTING 30" GAS MAIN
 PG&E GAS TRANSMISSION MAIN IN CLOSE PROXIMITY. CONTACT PG&E T&R SUPERVISOR AT 408-299-1195 (48) HOURS PRIOR TO THE START OF ANY EXCAVATION WITH-IN 10' OF PIPE WALL. STANDBY IS REQUIRED FOR EXCAVATIONS WITH-IN 5' OF PIPE WALL.

GAS METER ASSEMBLY LOCATION:
 (172 RESIDENCE UNITS)
 (2) RETAIL GAS METERS: 2000 MBTU EACH @ 2.0 PSI
 (7) RETAIL GAS METERS: 500 MBTU EACH @ 2.0 PSI
 (1) HOUSE METER: TOTAL 2,420 MBTU @ 2.0 PSI
 (4) WATER HEATERS: 399 MBTU EA.
 (1) SPA: 399 MBTU
 (2) FIREPIT: 100 MBTU EA.
 (3) BBQS: 75 MBTU EA.
TOTAL GAS LOAD DEMAND = 9,920 MBTU @ 2.0 PSI

5'x6" BELL HOLE FOR EXISTING GAS SVC. CUT-OFF. WHEN EXCAVATING OR TRENCHING KEEP CLEAR OF EXISTING FACILITIES. (TYP) **CAUTION!!! ENERGIZED FACILITIES!!** HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

ELECTRIC TIE-IN LOCATION: EXPOSE, INTERCEPT & TIE INTO EXISTING CONDUIT(S) AS REQUIRED. J.T. CONTRACTOR TO COORDINATE TIE-IN WITH PG&E AS REQUIRED.

ELECTRIC TIE-IN LOCATION: EXPOSE, INTERCEPT & TIE INTO EXISTING CONDUIT(S) AS REQUIRED. J.T. CONTRACTOR TO COORDINATE TIE-IN WITH PG&E AS REQUIRED.

ELECTRIC TIE-IN LOCATION: EXPOSE, INTERCEPT & TIE INTO EXISTING CONDUIT(S) AS REQUIRED. J.T. CONTRACTOR TO COORDINATE TIE-IN WITH PG&E AS REQUIRED.

REVISIONS	DATE	DESCRIPTION

GIACALONE DESIGN SERVICES, INC.
 5820 STONERIDGE, MALL RD., #245 | PLEASANTON, CA 94588
 925.467.1748 | WWW.GIACALONEDSG.COM

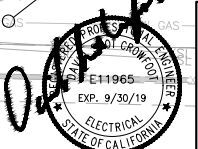
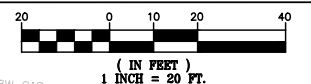
JOINT TRENCH COMPOSITE PLAN
 SUMMERHILL APARTMENT COMMUNITIES
 988 EL CAMINO REAL
 SOUTH SAN FRANCISCO CALIFORNIA

PROJECT MANAGER: DAVE CROWFOOT
DRAWN BY: D. SHAY
CHECKED BY: DSC
SCALE: 1"=20'
JOB NUMBER: 17-072
DATE LAST MODIFIED: 02-14-19
SHEET JT4 **OF** 4 SHEETS

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
 CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

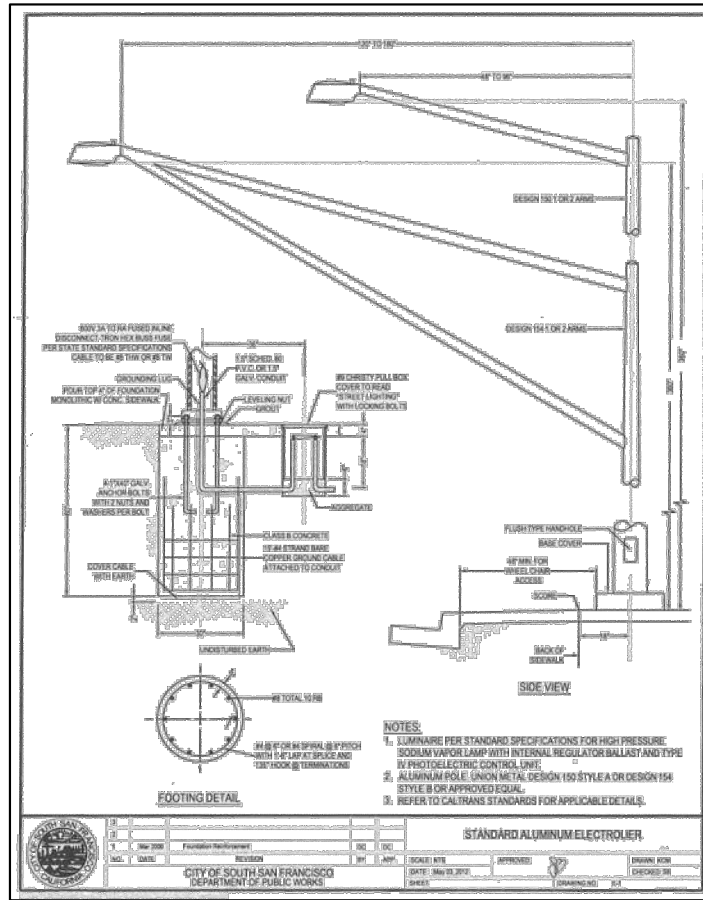
RULE 20 OVERHEAD TO UNDERGROUND CONVERSION (TOTAL: 375 LF)

EXISTING PAVEMENT & SIDEWALK
 THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.



988 EL CAMINO REAL - PUBLIC STREET LIGHTING

Exhibit B - Improvement Agreement



CITY STREET LIGHT FOUNDATION DETAIL
NOT TO SCALE

**E-Cobra™ LED Street and Area Light
EC M2 Series Specification Data Sheet**

Project: 988 El Camino Real - South San Francisco
Type: CC & CC-T, 87 watts, 9,350 lumens
Catalog No.: EC3-10M2-MV-NW-2-GY-700-FDC-PCR7-WL

Luminaire Data			
	L	Weight	EPA
EC1	16.1 in (409 mm)	10.8 lb (4.9 kg)	0.40 ft
EC3	20.8 in (528 mm)	12.7 lb (5.8 kg)	0.45 ft
EC4	23.5 in (597 mm)	14.0 lb (6.3 kg)	0.48 ft
EC7	30.6 in (777 mm)	19.3 lb (8.8 kg)	0.57 ft
EC9	35.4 in (899 mm)	21.3 lb (9.7 kg)	0.63 ft

Ordering Information
Sample Catalog No. EC7 24M2 MV NW 2 GY 700 PCRS WL

Product	LED Code	Voltage	Correlated Color Temperature	Distribution	Finish	Drive Current Code	Options
EC1	4M2	120-277V	3000K	2	DT	300	FDC ¹ Fixed Drive Current, Full Field Adjustability
EC3	6M2	120-277V	4000K	3	DB	330	FFA ² Full Field Adjustability, Less Photocell Receptacle
EC4	10M2	120-277V	5000K	4	DB	330	FFA ² Full Field Adjustability, Less Photocell Receptacle
EC7	18M2	120-277V	5000K	5	DB	330	FFA ² Full Field Adjustability, Less Photocell Receptacle
EC9	30M2	120-277V	5000K	5	DB	330	FFA ² Full Field Adjustability, Less Photocell Receptacle

Notes:
1. Gray, Dark Bronze, and Black standard powder coat finish; consult factory for other finishes. The Full Dark Bronze option (FDB) includes the Dark Bronze finish over the entire aluminum extrusion in addition to the electrical housing.
2. Specified drive current code is the factory set maximum drive current. Field adjustable current selector enables standard dimming to lower wattage drive currents only. Consult factory if wattage limits require a special drive current.
3. Non-field adjustable, fixed drive current. Specify required drive current. Not available with PCR7-CR option.
4. The FFA option enables full field adjustability from the specified drive current code to all drive currents available. This option is not DLC qualified.
5. Field adjustable current selector included to enable standard dimming to lower wattage drive currents only. Field changeable connectors included to enable connection to PCR7 (wireless node dimming is disabled by default).
6. Control-ready wired at factory for wireless node dimming. Supplied at maximum drive current. If lower drive current is required, consult factory.
7. Flush mounted house side shield. Shield cuts light off at 1/2 mounting height behind luminaire.
8. Flush mounted cut-de-sac shield. Shield cuts light off at 1/2 mounting height behind luminaire and 1-1/2 mounting height on either side of luminaire.
9. Specify Color (DT, DB, BK)
10. Specify MV (120-277V) or HV (347V or 480V)
11. Replace the "X" in Accessory Code with the appropriate product code number.

Accessories:
HSSECK¹¹ House Side Shield, Snap-On Cut-De-Sac Side Shield, Snap-On Square Pole Horizontal Arm Bracket
RFB¹ Round Pole Horizontal Arm Bracket
PTB¹ Pole Top Tenon Horizontal Arm Bracket
PTB2¹ Pole Top Tenon Horizontal Arm Bracket (2@180°)
WB¹ Wall Horizontal Arm Bracket
BSK¹ Bird Deterrent Spider Kit
LLPC¹ Long-Life Twist Lock Photocell
SC¹ Twist Lock Shorting Cap

©2018 Leotek Electronics USA LLC. EC_M2_Series_Spec_Sheet_031918. Specifications subject to change without notice.

CITY STREET LIGHT FIXTURE DETAIL
NOT TO SCALE

CONTRACTORS NOTES

- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, FEDERAL AND ALL APPLICABLE CITY, COUNTY, STATE AND LOCAL UTILITY COMPANY REGULATIONS; N.E.C., AND THE LATEST APPROVED STANDARDS OF I.E.E.E., A.S.A., N.E.M.A., U.L. AND OSHA WHERE APPLICABLE. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE ABOVE. ALSO, ALL SECTIONS OF STATE OF CALIFORNIA P.U.C. G.O. 95 SHALL APPLY.
- THE ELECTRICAL CONTRACTOR SHALL INSTALL THE UNDERGROUND SERVICE FROM THE LUMINAIRE TO PG&E SERVICE POINT AND TERMINATE CONDUIT AND WIRES AT BOX AS DIRECTED BY PG&E.
- KEEP STREET LIGHTS A MINIMUM OF 3 FEET AWAY FROM THE EDGE OF DRIVEWAYS OR 5 FEET AWAY FROM FIRE HYDRANTS.
- TWO OR MORE STREET LIGHTS ON THE SAME CIRCUIT SHALL BE WIRED TO BALANCE THE LOAD. (SEE WIRING DIAGRAM)
- CONDUIT AND FITTINGS: ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED, UNLESS OTHERWISE NOTED OR REQUIRED, USE MINIMUM 1-1/2" SCHEDULE 80 P.V.C. CONDUIT AND FITTINGS BELOW GRADE. MINIMUM RADIUS BENDS SHALL BE 18". FOR ABOVE GROUND INSTALLATION AND IN POLE BASE, USE METALLIC RIGID STEEL CONDUIT. PROVIDE PULL WIRE IN ALL EMPTY CONDUITS. ALL CROSSINGS TO BE PERPENDICULAR TO STREET.
- CONDUIT DEPTH: 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 36" UNDER PAVEMENT.
- CABLE: CABLE SHALL BE U.L. LISTED 600 VOLT A.W.G. NO. 8, 7-STRAND SOFT COPPER, TYPE THW OR THWN WITH MINIMUM OF 3/64" (54 MIL) POLYVINYL CHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED.
- SPLICE BOXES: SPLICE BOXES SHALL BE A CHRISTY NO. 9 TYPE WITH LID AND BRASS HOLDDOWN BOLTS, UNLESS OTHERWISE NOTED. LIDS TO BE INSCRIBED 'STREET LIGHTING'. SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. (SEE CALTRANS DETAIL ES-8A).
- FUSES: EACH POLE SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS (BUSHMAN HER SERIES) AT EACH ADJACENT SPLICE BOX WITH 10 AMP FUSE.
- SPLICING: ALL SPLICES SHALL BE MADE IN STREET LIGHT BOXES ONLY. SPLICES SHALL BE MADE WITH 'C' SHAPED COMPRESSION CONNECTORS. ON SPLICES, WRAP WITH MOISTURE PROOF INSULATION A MINIMUM OF 1-1/2 TIMES THE THICKNESS OF REQUIRED WIRE INSULATION THICKNESS. SPLICES SHALL BE IN ACCORDANCE WITH CALTRANS STANDARD METHOD 'B'. (SEE CALTRANS DETAIL ES-13A).
- POLE NUMBERS: OBTAIN AND PLACE POLE NUMBERS ON ALL STREET LIGHT STANDARDS AS REQUIRED. COORDINATE WITH PG&E AND/OR COUNTY. FOR THEIR REQUIREMENTS.
- TRENCH: CONDUIT CAN NOT BE PLACED IN JOINT TRENCH. CONDUIT LAYOUT IS SHOWN SCHEMATICALLY. SEE COMPOSITE DRAWING FOR TRENCH LOCATION. ANY INCIDENTAL TRENCHING NOT PROVIDED BY TRENCHING AGENT IS CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR TO INSTALL CIRCUIT GROUNDING AND GROUND WIRE IN CONDUIT AS PER PLANS.
- CENTERLINE OF STREET LIGHTS SHALL BE LOCATED ON THE LOT LINE UNLESS OTHERWISE NOTED ON THESE PLANS.
- A LIST OF ALL MATERIALS & SUPPLIERS SHOULD BE PROVIDED TO AUTHORITY HAVING JURISDICTION FOR APPROVAL.
- BURN TEST: DAY BURN FOR 24 HOURS FOR 5 CONSECUTIVE DAYS FOR COUNTY INSPECTOR APPROVAL.
- GROUNDING AND BONDING SHALL PROPERLY INTERCONNECT ALL METAL PARTS OF THE SYSTEM.
- ALL CONNECTIONS SHALL BE SECURED WITH LOCK NUTS AND INSULATED BUSHINGS.
- CONTRACTOR SHALL CONSULT LOCAL AGENCIES FOR THEIR CIRCUIT GROUNDING REQUIREMENTS. IF GROUND WIRE IS REQUIRED IN CONDUIT, INSTALL ACCORDINGLY.
- WATERPROOF INLINE FUSES SHALL BE PROVIDED IN THE SPLICE BOX NEXT TO EACH NEW OR RELOCATED STREET LIGHT. IF THE DESIGN IS SUCH THAT NO BOXES WILL BE INSTALLED, THE SPLICE SHALL BE LOCATED IN THE HANDHOLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE OPERATING SYSTEM.
- EACH STREET LIGHT SHALL BE CONTROLLED BY A PHOTO ELECTRIC CELL MOUNTED ON TOP OF EACH LUMINAIRE OR THE TOP OF EACH POLE DEPENDING UPON THE MANUFACTURER'S RECOMMENDATIONS OR CONTROLLED BY OTHER MEANS AS SHOWN ON THE DRAWINGS.
- FOUNDATION MOUNTED ELECTROLIERS SHALL BE PLUMBED BY ADJUSTING THE NUTS ON THE ANCHOR BOLTS BEFORE THE FOUNDATION CAP IS PLACED. SHIMS OR OTHER SIMILAR DEVICES FOR PLUMBING OR RAKING WILL NOT BE PERMITTED. AFTER PLUMBING THE STANDARD, ANCHOR BOLTS SHALL BE CUT OFF 1/4" ABOVE THE NUTS AND THE EXPOSED SURFACES SHALL BE REPAIRED AS INDICATED BY THE INSPECTING AGENCY.
- AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE STREET LIGHT ADMINISTRATION DEPT. OF THE COUNTY PRIOR TO ACCEPTANCE OF THE STREET LIGHTING SYSTEM.

STREET LIGHTING GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, FEDERAL AND ALL APPLICABLE CITY, COUNTY, STATE AND LOCAL UTILITY COMPANY REGULATIONS; N.E.C., AND THE LATEST APPROVED STANDARDS OF I.E.E.E., A.S.A., N.E.M.A., U.L. AND OSHA WHERE APPLICABLE. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE ABOVE. ALSO, ALL SECTIONS OF STATE OF CALIFORNIA P.U.C. G.O. 95 SHALL APPLY.
- MATERIALS FURNISHED UNDER THIS SECTION OF THESE SPECIFICATIONS FOR WHICH UL STANDARDS HAVE BEEN ESTABLISHED SHALL BE LISTED AND BEAR THE LABEL OF UNDERWRITER'S LABORATORIES, INC.
- WHERE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS CONFLICT WITH THE DRAWINGS OR THESE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING & OBTAINING APPROVAL FROM CITY/COUNTY AGENCY & GIACALONE DESIGN SERVICES, INC.
- GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- LEGEND SYMBOLS ARE SHOWN IN STREET AREA FOR CLARITY. INSTALL BEHIND CURB AND/OR SIDEWALK PER COUNTY SPECIFICATIONS KEEP CLEAR OF DRIVEWAYS AND PATHWAYS (TYPICAL).
- ANY CHANGES OR MODIFICATIONS TO PROPOSED STREET LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY/COUNTY AGENCY PRIOR TO INSTALLATION.

LUMINAIRE SCHEDULE							
TYPE	LUMINAIRE	MTG. HT.	DIST.	ARM	POLE HT.	COLOR	QUANTITY
☉ EXISTING LED COBRAHEAD	87W, LED, 120V						1
☉ EXISTING LED COBRAHEAD	87W, LED, 120V						4

*NOTE: CONTRACTOR TO VERIFY ALL QUANTITIES AND SPECIFICATIONS PRIOR TO ORDERING.

PUBLIC/PRIVATE LIGHTING: PUBLIC
PG&E RATE SCHEDULE: LS-2A
INSTALL IN JOINT TRENCH:
INSTALL IN SEPARATE TRENCH:
CITY PERMIT REQUIRED:

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811

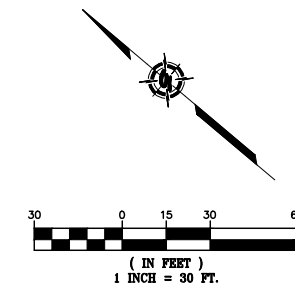
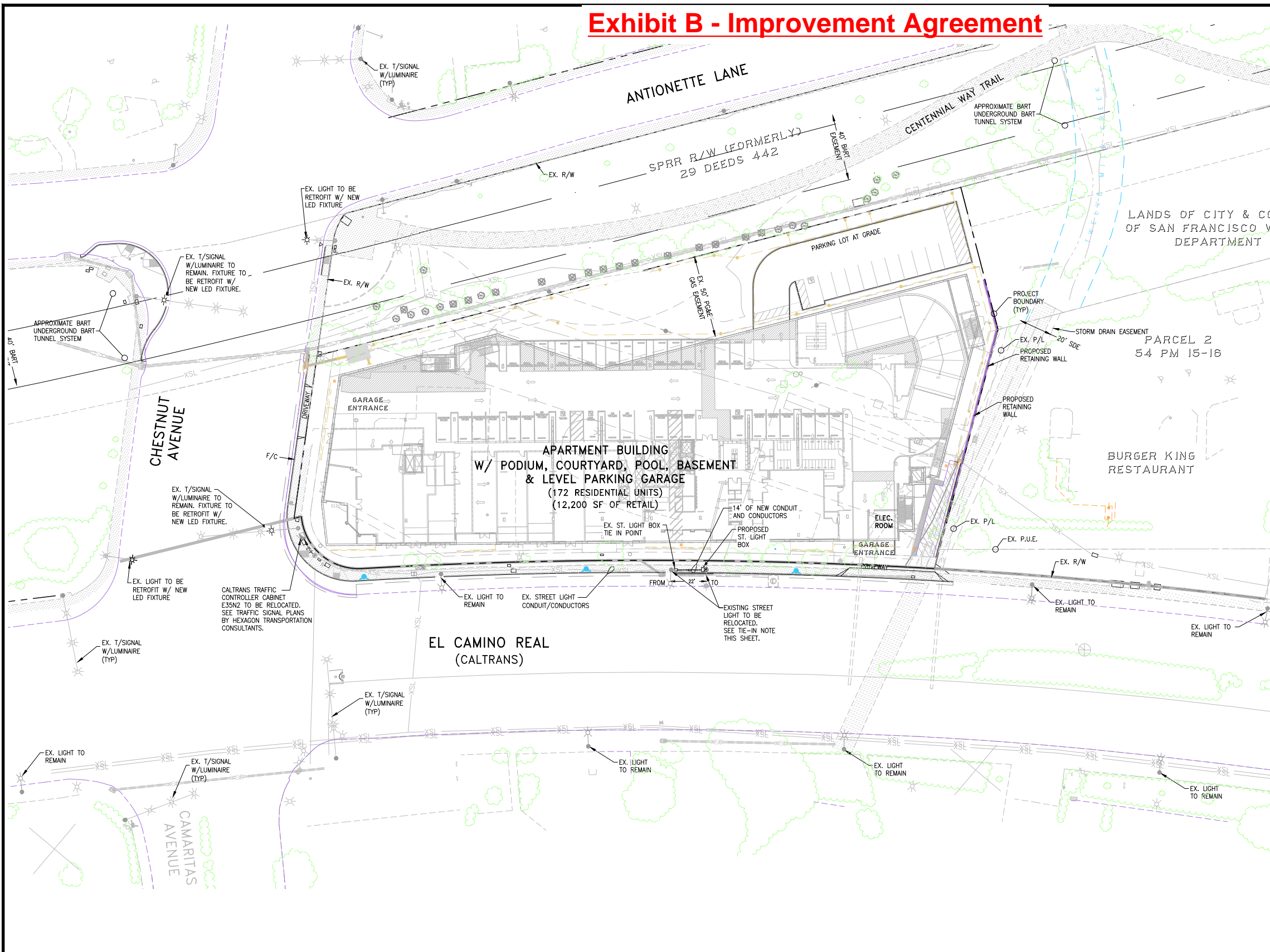
APPROVED	REVISIONS	DESCRIPTION	DATE

GIACALONE
DESIGN SERVICES, INC.
5820 STONERIDGE MALL RD., #245 | PLEASANTON, CA 94588
925.467.7746 | WWW.GIACALONEDSG.COM

PUBLIC STREET LIGHTING TITLE SHEET
SUMMERHILL APARTMENT COMMUNITIES
988 EL CAMINO REAL
SOUTH SAN FRANCISCO CALIFORNIA

PROJECT MANAGER:
DAVE CROWFOOT
DRAWN BY:
CCP
CHECKED BY:
DSC
SCALE:
AS SHOWN
JOB NUMBER:
17-072
DATE LAST MODIFIED:
02-14-19
SHEET
SL1
OF 2 SHEETS

Exhibit B - Improvement Agreement



AWG OR CABLE	RUN NUMBER	
	NUMBER OF CONDUCTORS	
#4		
#6	GND	2
#8	GND	1
#10	GND	1
#12	GND	1
CONDUIT SIZE	1 1/2"	

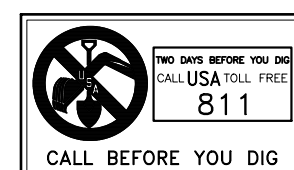
LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED 1 1/2" SCH. 80 PVC CONDUIT
	RELOCATED EXISTING STREET LIGHT
	EX. LIGHT TO BE RETROFIT W/NEW LED FIXTURE
	STREET LIGHT BOX (NO. 9 CHRISTY)
	EXISTING STREET LIGHT
	FIRE HYDRANT (BY OTHERS)

NOTE:
CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH COMPOSITE PLAN FOR EXACT TRENCH AND BOX LOCATIONS.

CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION. FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

- CONTRACTOR ST. LIGHT RELOCATION NOTES:**
- DE-ENERGIZE CIRCUIT AS REQUIRED, COORDINATE WORK WITH PG&E AND/OR CITY INSPECTORS.
 - DISCONNECT & REMOVE EXISTING STREET LIGHT SERVICE CONDUCTOR AS NEEDED.
 - CUT, OR EXTEND EXISTING STREET LIGHT CONDUIT & CONDUCTORS AS REQUIRED.
 - WHEN USING NEW CONDUCTORS, USE SAME SIZE AND TYPE AS EXISTING.
 - RELOCATE EXISTING STREET LIGHT & BOX AS NEEDED & MAKE ALL NECESSARY CONNECTIONS AS REQUIRED FOR A COMPLETE OPERATING SYSTEM.
 - EXISTING STREET LIGHT CIRCUIT LOCATION WAS UNKNOWN AT TIME OF PLAN PREPARATION. CONTRACTOR TO FIELD VERIFY LOCATIONS PRIOR TO CONSTRUCTION. COORDINATE ALL WORK WITH CITY INSPECTOR AS REQUIRED.

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



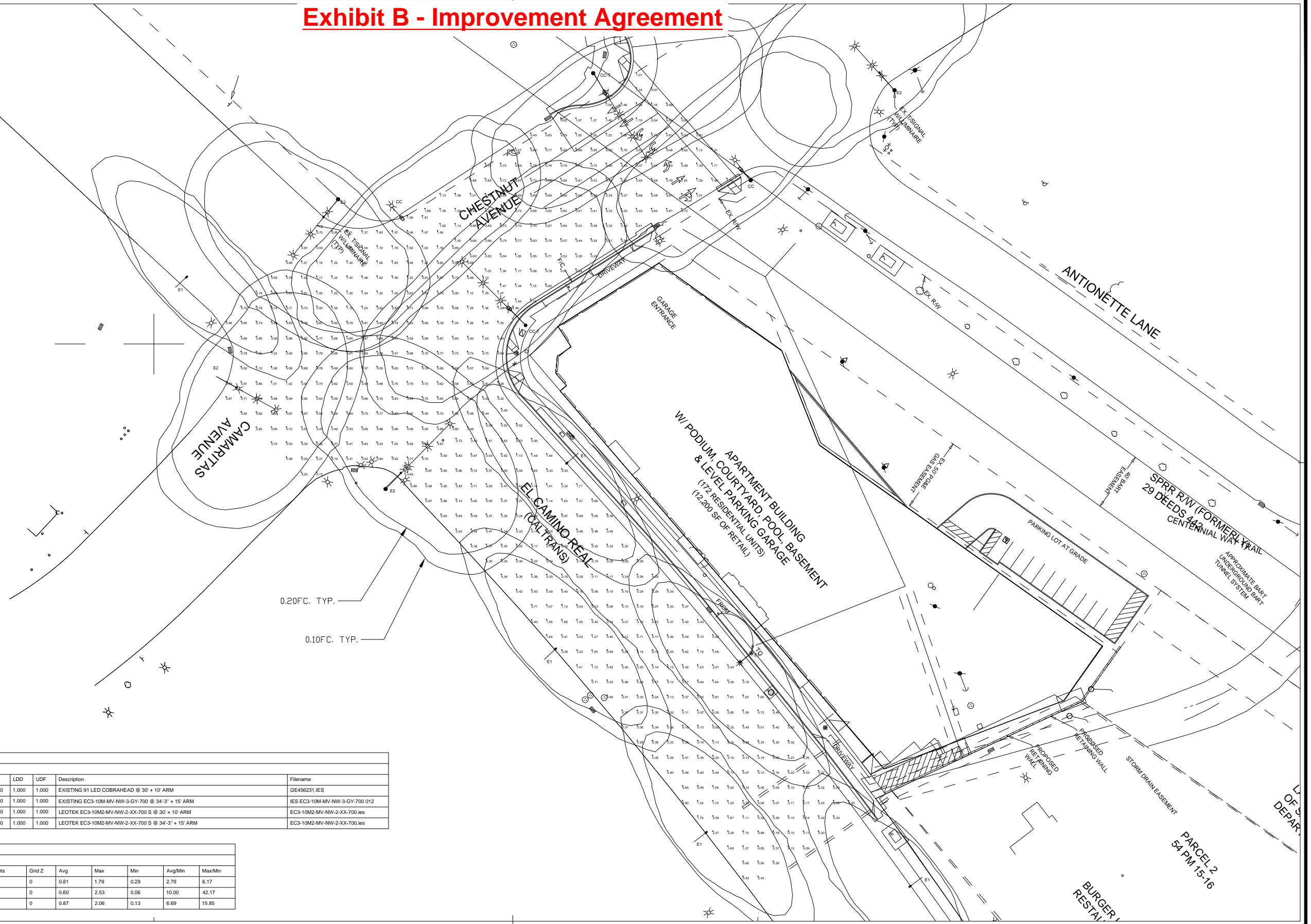
REVISIONS	DESCRIPTION	DATE	APPROVED

GIACALONE
DESIGN SERVICES, INC.
5820 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
925.467.7748 | WWW.GIACALONEDSIGN.COM

PUBLIC STREET LIGHTING SITE PLAN
SUMMERHILL APARTMENT COMMUNITIES
988 EL CAMINO REAL
SOUTH SAN FRANCISCO CALIFORNIA

PROJECT MANAGER:
DAVE CROWFOOT
DRAWN BY:
CCP
CHECKED BY:
DSC
SCALE:
1"=30'
JOB NUMBER:
17-072
DATE LAST MODIFIED:
02-14-19
SHEET
SL2
OF 2 SHEETS

Exhibit B - Improvement Agreement



Luminaire Schedule - LED
Project: 988 EL CAMINO REAL - SOUTH SAN FRANCISCO

Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	LLD	LDD	UDF	Description	Filename
→	8	E1	SINGLE	90	6600	0.850	0.850	1.000	1.000	EXISTING 91 LED COBRAHEAD @ 30' + 10' ARM	GE456231.IES
→	4	E2	SINGLE	87.2	8313	0.900	0.900	1.000	1.000	EXISTING EC3-10M-MV-NW-3-GY-700 @ 34'-3" + 15' ARM	IES EC3-10M-MV-NW-3-GY-700 012
●	2	CC	SINGLE	87.1	9812	0.900	0.900	1.000	1.000	LEOTEK EC3-10M2-MV-NW-2-XX-700 S @ 30' + 10' ARM	EC3-10M2-MV-NW-2-XX-700.ies
●	2	CC-T	SINGLE	87.1	9812	0.900	0.900	1.000	1.000	LEOTEK EC3-10M2-MV-NW-2-XX-700 S @ 34'-3" + 15' ARM	EC3-10M2-MV-NW-2-XX-700.ies

Calculation Summary
Project: 988 EL CAMINO REAL - SOUTH SAN FRANCISCO

Description	CalcType	Units	Grid Z	Avg	Max	Min	Avg/Min	Max/Min
CHESTNUT AVE	Illuminance	Fc	0	0.81	1.79	0.29	2.79	6.17
EL CAMINO REAL	Illuminance	Fc	0	0.60	2.53	0.06	10.00	42.17
INTERSECTION AT CHESTNUT AVE AND EL CAMINO REAL	Illuminance	Fc	0	0.87	2.06	0.13	6.69	15.85

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.

ASSOCIATED LIGHTING REPRESENTATIVES, INC
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: GIACALONE DESIGN SERVICES
BY: APPLICATIONS ENGINEERING; RAMON ZAPATA
SALES REPRESENTATIVE: ALR; JOHN BENSON

AGI32 Lighting Analysts
www.agi32.com

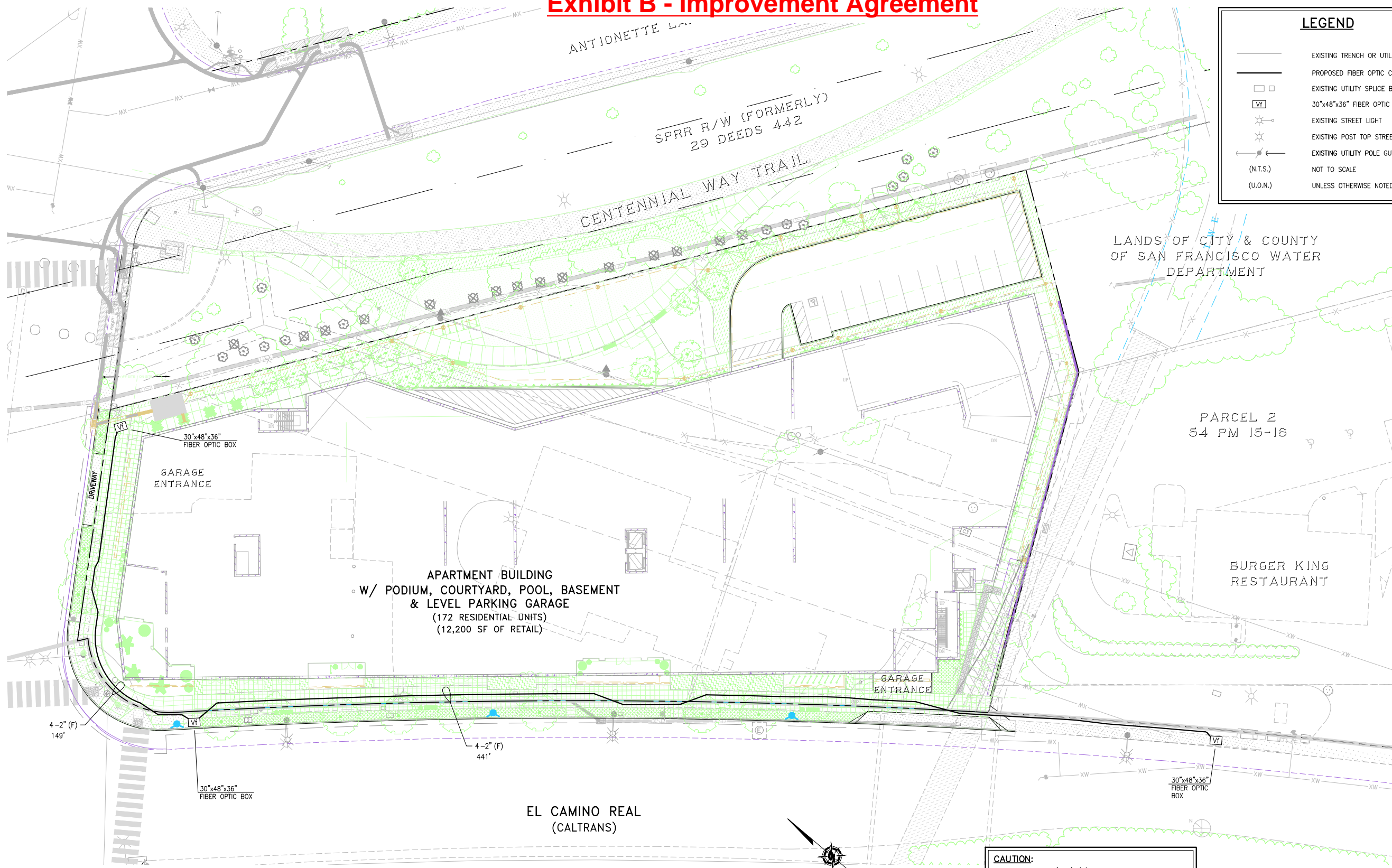
AGI32 VERSION 19.2
AGI (C) 1999-2018 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL ROAD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION
988 EL CAMINO REAL
SOUTH SAN FRANCISCO

DRAWING NO. / INPUT FILE
15240BEN-R2.DWG / 15240BEN-R2.A32

SCALE 1" = 30'	SHEET 1 OF 1	DATE 12.05.2018	REV 2
-------------------	-----------------	--------------------	----------

Exhibit B - Improvement Agreement



LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED FIBER OPTIC CONDUIT
	EXISTING UTILITY SPlice BOX
	30"x48"x36" FIBER OPTIC BOX
	EXISTING STREET LIGHT
	EXISTING POST TOP STREET LIGHT
	EXISTING UTILITY POLE GUY ANCHOR
(N.T.S.)	NOT TO SCALE
(U.O.N.)	UNLESS OTHERWISE NOTED

REVISIONS	DATE	DESCRIPTION	APPROVED

GIACALONE
 DESIGN SERVICES, INC.
 5620 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
 925.467.1746 | WWW.GIACALONEDSG.COM

FIBER OPTIC PLAN
 SUMMERHILL APARTMENT COMMUNITIES
 988 EL CAMINO REAL
 SOUTH SAN FRANCISCO CALIFORNIA

APARTMENT BUILDING
 W/ PODIUM, COURTYARD, POOL, BASEMENT
 & LEVEL PARKING GARAGE
 (172 RESIDENTIAL UNITS)
 (12,200 SF OF RETAIL)

LANDS OF CITY & COUNTY
 OF SAN FRANCISCO WATER
 DEPARTMENT
 PARCEL 2
 54 PM 15-16

BURGER KING
 RESTAURANT

EL CAMINO REAL
 (CALTRANS)

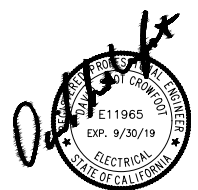
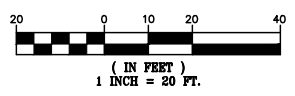
CAUTION:
 CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR
 TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH
 POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING
 UTILITIES A MINIMUM OF 3'-0".

NOTE:
 CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH
 COMPOSITE PLAN FOR EXACT TRENCH AND BOX LOCATIONS.

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
 CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT
 AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE
 APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

**PRELIMINARY PLANS
 NOT FOR CONSTRUCTION**

TWO DAYS BEFORE YOU DIG
 CALL USA TOLL FREE
811
 CALL BEFORE YOU DIG



PROJECT MANAGER: DAVE CROWFOOT
DRAWN BY: SAO
CHECKED BY: DSC
SCALE: 1"=20'
JOB NUMBER: 17-072
DATE LAST MODIFIED: 02-14-19
SHEET FO1
OF 1 SHEETS

Exhibit B - Improvement Agreement

CAMUTCD TABLE 6C-1 (A) AND 6H-3 (A)
 TAPER LENGTH CRITERIA FOR TEMPORARY TRAFFIC CONTROL ZONES FOR 12-FOOT OFFSET WIDTH
 (FOR REFERENCE ONLY, SEE PLANS FOR TAPER LENGTHS):

SPEED* S (MPH)	MINIMUM TAPER LENGTH FOR WIDTH OF OFFSET 12 FEET (W)**			
	MERGING L (feet)	SHIFTING L/2 (feet)	SHOULDER L/3 (feet)	DOWN STREAM (feet)***
20	80	40	27	50
25	125	63	42	50
30	180	90	60	50
35	245	123	82	50
40	320	160	107	50
45	540	270	180	50
50	600	300	200	50
55	660	330	220	50
60	720	360	240	50
65	780	390	260	50
70	840	420	280	50
75	900	450	300	50

* POSTED SPEED LIMIT, OFF-PEAK 85TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED IN MPH.

** FOR OTHER OFFSETS USE THE FOLLOWING MERGING TAPER LENGTH FORMULA FOR L:
 FOR SPEEDS OF 40 MPH OR LESS, $L=WS^2/60$
 FOR SPEEDS OF 45 MPH OR MORE, $L=WS$

WHERE: L=TAPER LENGTH IN FEET
 W=WIDTH OF OFFSET IN FEET
 S=POSTED SPEED LIMIT, OFF-PEAK 85TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED IN MPH

*** MAXIMUM DOWNSTREAM TAPER LENGTH IS 100 FEET.

CAMUTCD TABLE 6C-1 AND 6H-3
 RECOMMENDED ADVANCE WARNING SIGN SPACING
 (FOR REFERENCE ONLY, SEE PLANS FOR SPACING):

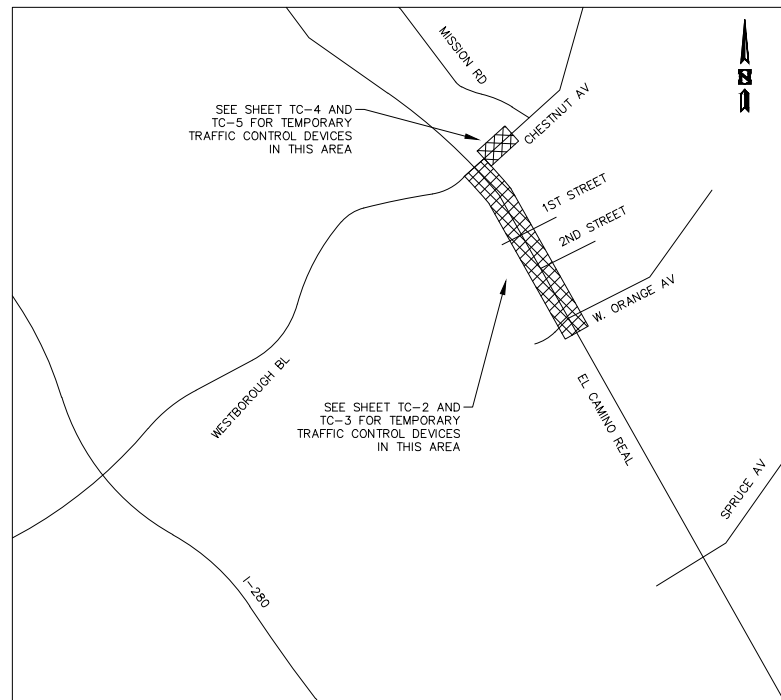
ROAD TYPE	RECOMMENDED DISTANCE BETWEEN SIGNS*		
	A	B	C
URBAN - 25 MPH OR LESS**	100 FEET	100 FEET	100 FEET
URBAN - MORE THAN 25 MPH TO 40 MPH**	250 FEET	250 FEET	250 FEET
URBAN - MORE THAN 40 MPH**	350 FEET	350 FEET	350 FEET
RURAL	500 FEET	500 FEET	500 FEET
EXPRESSWAY/FREEWAY	1000 FEET	1500 FEET	2640 FEET

* THE COLUMN HEADINGS A, B, AND C ARE THE DIMENSIONS SHOWN IN FIGURES 6H-1 THROUGH 6H-46. THE A DIMENSION IS THE DISTANCE FROM THE TRANSITION OR POINT OF RESTRICTION TO THE FIRST SIGN. THE B DIMENSION IS THE DISTANCE BETWEEN THE FIRST AND SECOND SIGNS. THE C DIMENSION IS THE DISTANCE BETWEEN THE SECOND AND THIRD SIGNS. (THE "FIRST SIGN" IS THE SIGN IN A THREE-SIGN SERIES THAT IS CLOSEST TO THE TTC ZONE. THE "THIRD SIGN" IS THE SIGN THAT IS FURTHEST UPSTREAM FROM THE TTC ZONE.)

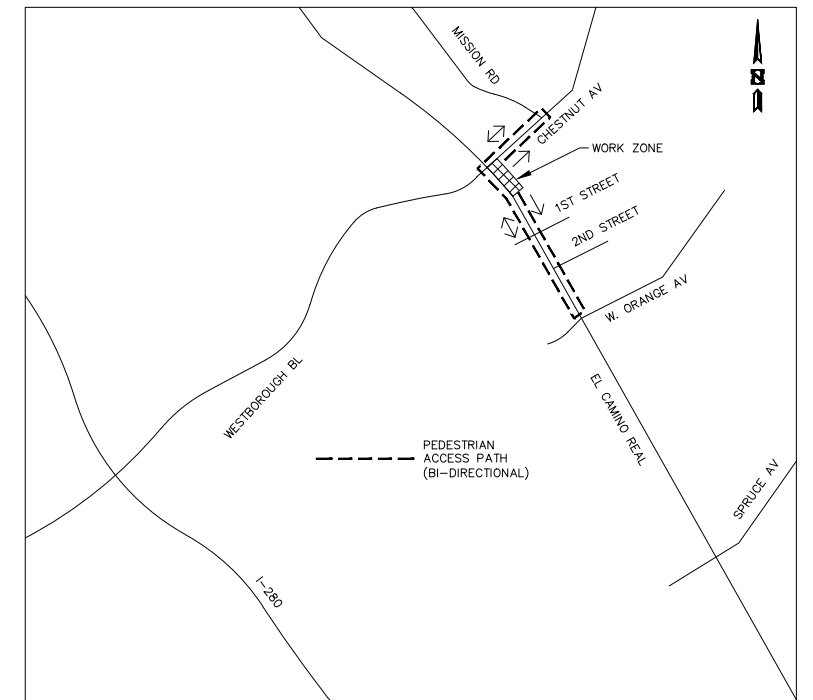
**POSTED SPEED LIMIT, OFF-PEAK 85TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR OTHER ANTICIPATED OPERATING SPEED IN MPH.

REVIEW SUBMITTAL
 FEBRUARY 2019
 NOT FOR CONSTRUCTION

- GENERAL TRAFFIC CONTROL NOTES:**
- ALL SIGNS, LEGENDS, ABBREVIATIONS, AND TRAFFIC CONTROL DEVICES PER THE CURRENT EDITIONS OF THE CALIFORNIA MUTCD AND CALTRANS STANDARD PLANS.
 - ALL EXISTING SIGNING THAT CONFLICTS WITH THIS PLAN SHALL BE TEMPORARILY REMOVED OR COVERED. A LIST OF ANY EXISTING SIGNS REMOVED BY THE CONTRACTOR SHALL BE PROVIDED TO CALTRANS ALONG WITH THE LOCATION OF THE SIGN AND DATE OF REINSTALLATION.
 - ALL WARNING SIGNS SHALL HAVE LEGEND AND BORDERS IN BLACK ON ORANGE BACKGROUND.
 - CONTRACTOR SHALL MAKE CHANGES TO THE TRAFFIC CONTROL PLAN AS DIRECTED BY THE PROJECT INSPECTOR DURING THE COURSE OF CONSTRUCTION FOR CHANGES IN TRAFFIC CONDITIONS OR CONSTRUCTION ACTIVITIES.
 - CONTRACTOR MUST POST TEMPORARY "NO PARKING" SIGNS ALONG ROADWAY FRONTAGE, WHERE APPLICABLE, A MINIMUM 72 HOURS PRIOR TO COMMENCEMENT OF WORK AND MUST NOTIFY THE POLICE DEPARTMENT. SIGNS MUST STATE DAYS AND HOURS WHEN RESTRICTIONS APPLY.
 - ALL EXISTING TRAVEL LANES MUST MAINTAIN A WIDTH OF 11' MINIMUM, UNLESS OTHERWISE SPECIFIED ON THE PLAN.
 - MAINTAIN SIDEWALK AND CROSSWALK ACCESS WHEN WORK IS NOT OCCURRING IN THESE AREAS.
 - ALL AFFECTED RESIDENTS, BUSINESSES, AGENCIES, AND SCHOOLS SHALL BE GIVEN 72 HOURS NOTICE PRIOR TO START OF WORK AND THEIR ACCESS SHALL BE MAINTAINED AT ALL TIMES.



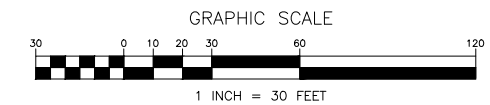
VICINITY MAP (NO SCALE)



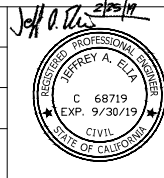
VICINITY MAP (NO SCALE)

LEGEND:

- DELINEATOR OR CONE
- Ⓢ CONSTRUCTION SIGN
- Ⓢ TYPE II BARRICADE WITH SIGN
- ▨ WORK ZONE
- ⬅ FLASHING ARROW BOARD



DRAWN T. CHANG	DESIGNED T. CHANG	SCALE NO SCALE
CHECKED J. ELIA	DATE 2/25/19	
APPROVED		CONTRACT NO.
ENGINEER	DATE	



PREPARED BY:
HEXAGON TRANSPORTATION CONSULTANTS, INC.
 4 North Second Street, Suite 400
 San Jose, California 95113
 Ph: (408) 971-6100
www.hextrans.com

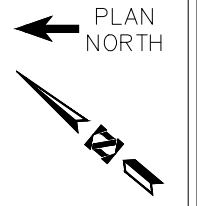
REVISIONS				
NO.	DATE	BY	DESCRIPTION	APPR. DATE



CITY OF SOUTH SAN FRANCISCO
 988 EL CAMINO REAL
 TRAFFIC CONTROL PLAN
 GENERAL NOTES AND LEGEND

DRAWING NO. TC-1
SHEET X OF X

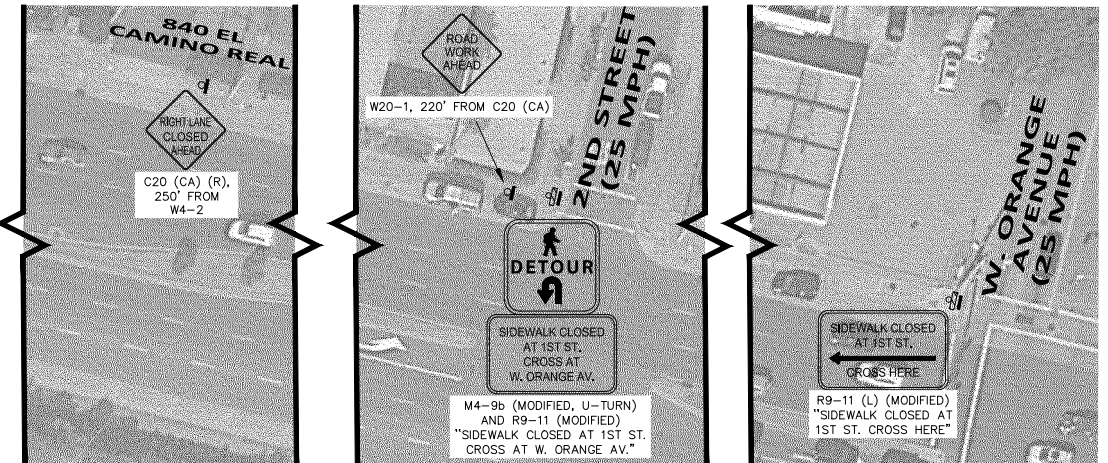
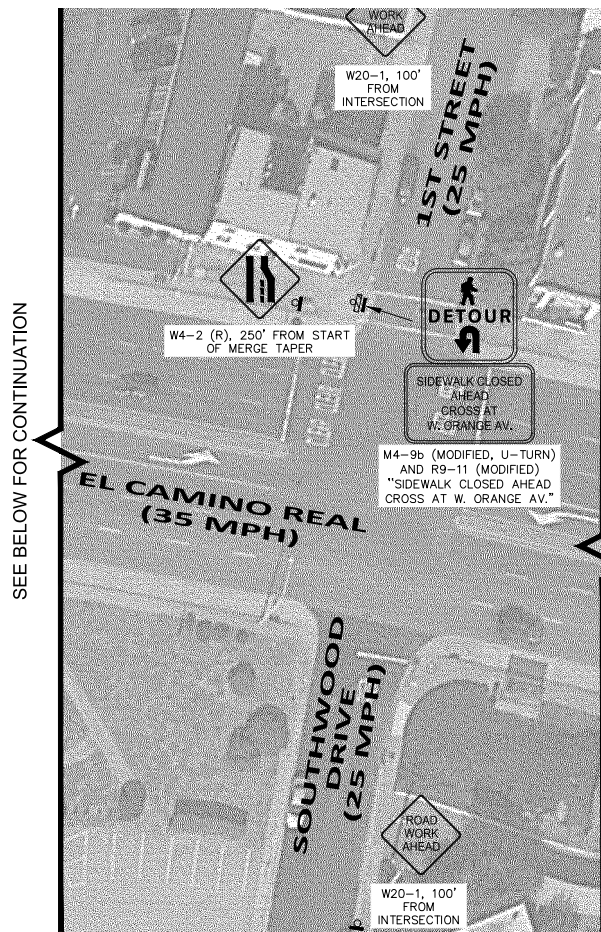
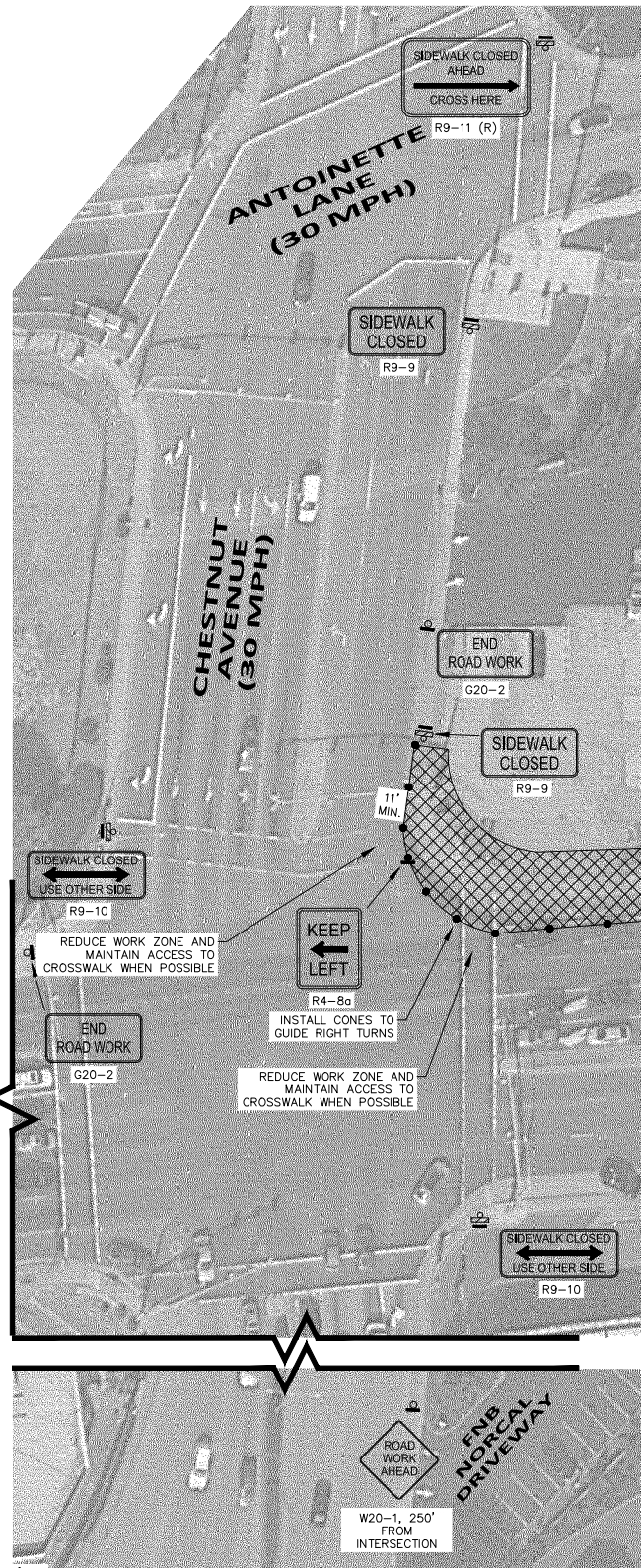
Exhibit B - Improvement Agreement



REVIEW SUBMITTAL
FEBRUARY 2019
NOT FOR CONSTRUCTION



SIGN SIZES	
SIGN TYPE	SIGN SIZE
C20 (CA)	36"x36"
C30 (CA)	30"x30"
G20-2	36"x18"
M4-9b (MODIFIED, U-TURN)	30"x30"
R4-8a	24"x30"
R9-9	24"x12"
R9-10	24"x12"
R9-11	24"x18"
R9-11 (MODIFIED)	24"x18"
W4-2	36"x36"
W20-1	36"x36"

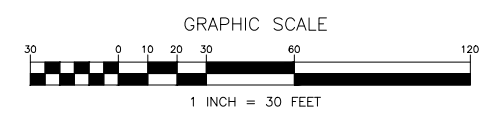


SEE BELOW FOR CONTINUATION

SEE ABOVE FOR CONTINUATION

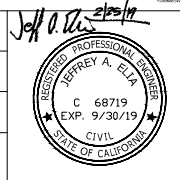
PLAN A - NORTHBOUND CURB LANE AND SIDEWALK CLOSURE

- PROJECT NOTES (THIS SHEET ONLY):**
1. CONE SPACING SHALL BE 20', UNLESS OTHERWISE NOTED.
 2. TRAFFIC CONTROL PLAN ON THIS SHEET SHALL BE USED ONLY BETWEEN THE HOURS OF 9 AM AND 3 PM.
 3. SEE SHEET TC-1 FOR PEDESTRIAN ACCESS PATH.



* THIS PLAN IS ACCURATE FOR TRAFFIC CONTROL WORK ONLY.
* SEE SHEET TC-1 FOR GENERAL TRAFFIC CONTROL NOTES AND LEGEND.

DRAWN T. CHANG	DESIGNED T. CHANG	SCALE 1" = 30'
CHECKED J. ELIA	DATE 2/25/19	
APPROVED		CONTRACT NO.
ENGINEER	DATE	



PREPARED BY:
HEXAGON TRANSPORTATION CONSULTANTS, INC.
4 North Second Street, Suite 400
San Jose, California 95113
Ph: (408) 971-6100
www.hextrans.com

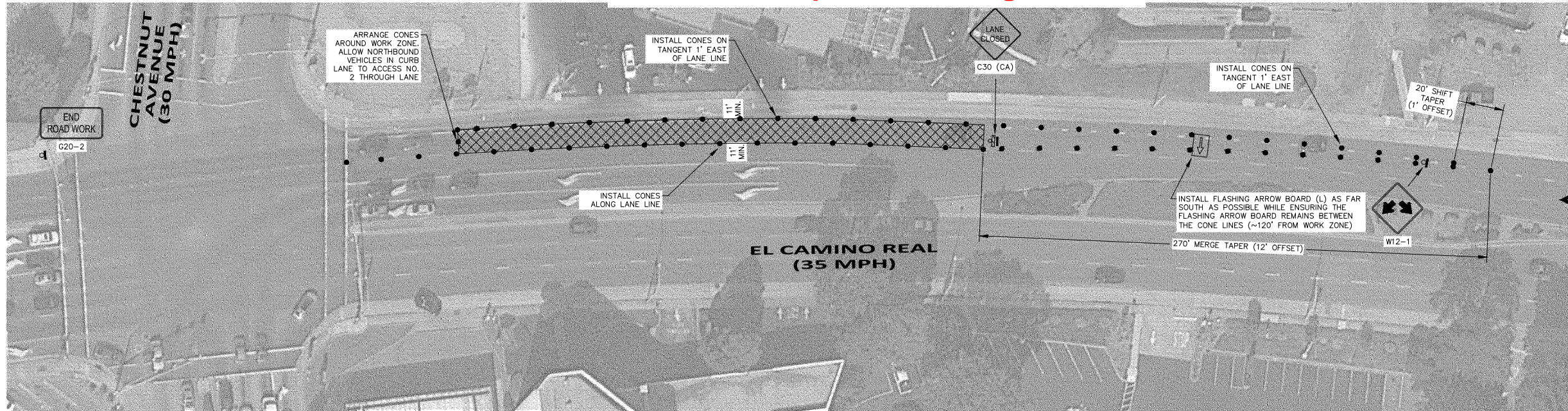
REVISIONS				
NO.	DATE	BY	DESCRIPTION	APPR. DATE



CITY OF SOUTH SAN FRANCISCO
988 EL CAMINO REAL
TRAFFIC CONTROL PLAN
FRONTAGE AND SANITARY SEWER LATERAL WORK

DRAWING NO. TC-2
SHEET X OF X

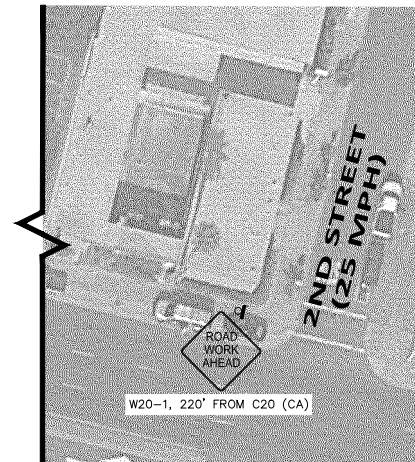
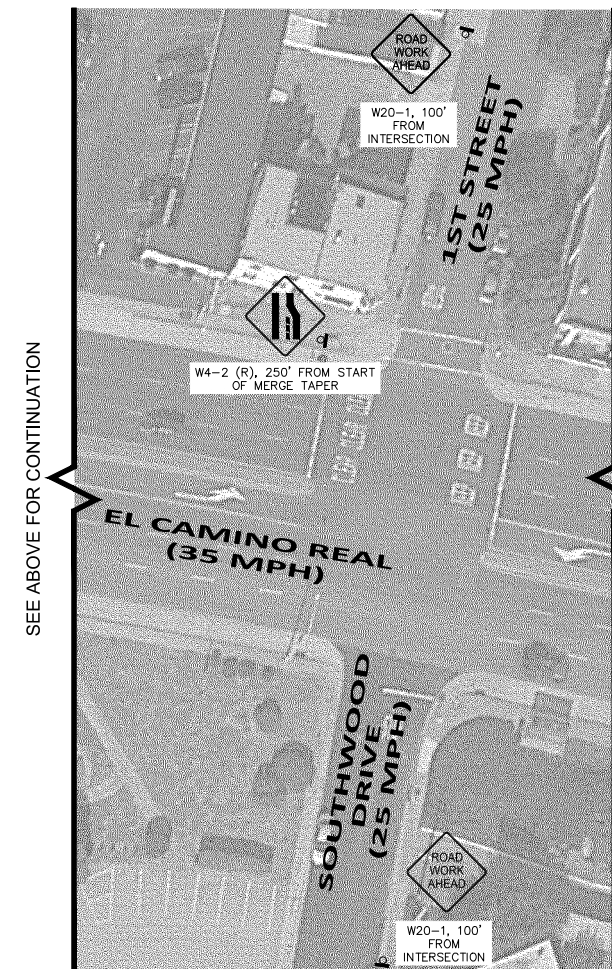
Exhibit B - Improvement Agreement



SEE BELOW FOR CONTINUATION

SIGN SIZES	
SIGN TYPE	SIGN SIZE
C20 (CA)	36"X36"
C30 (CA)	30"X30"
G20-2	36"X18"
W1-4	36"X36"
W4-2	36"X36"
W12-1	30"X30"
W20-1	30"X30"

REVIEW SUBMITTAL
FEBRUARY 2019
NOT FOR CONSTRUCTION

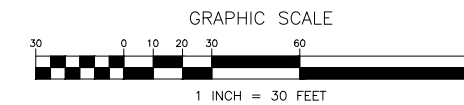


PLAN B - NORTHBOUND NO. 2 LANE CLOSURE

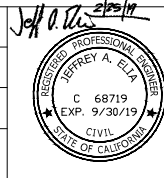
PROJECT NOTES (THIS SHEET ONLY):

1. CONE SPACING SHALL BE 20', UNLESS OTHERWISE NOTED.
2. TRAFFIC CONTROL PLAN ON THIS SHEET SHALL BE USED ONLY BETWEEN THE HOURS OF 9 AM AND 3 PM.

• THIS PLAN IS ACCURATE FOR TRAFFIC CONTROL WORK ONLY.
• SEE SHEET TC-1 FOR GENERAL TRAFFIC CONTROL NOTES AND LEGEND.



DRAWN T. CHANG	DESIGNED T. CHANG	SCALE 1" = 30'
CHECKED J. ELIA	DATE 2/25/19	
APPROVED		CONTRACT NO.
ENGINEER	DATE	



PREPARED BY:
HEXAGON TRANSPORTATION CONSULTANTS, INC.
4 North Second Street, Suite 400
San Jose, California 95113
Ph: (408) 971-6100
www.hextrans.com

REVISIONS					
NO.	DATE	BY	DESCRIPTION	APPR.	DATE

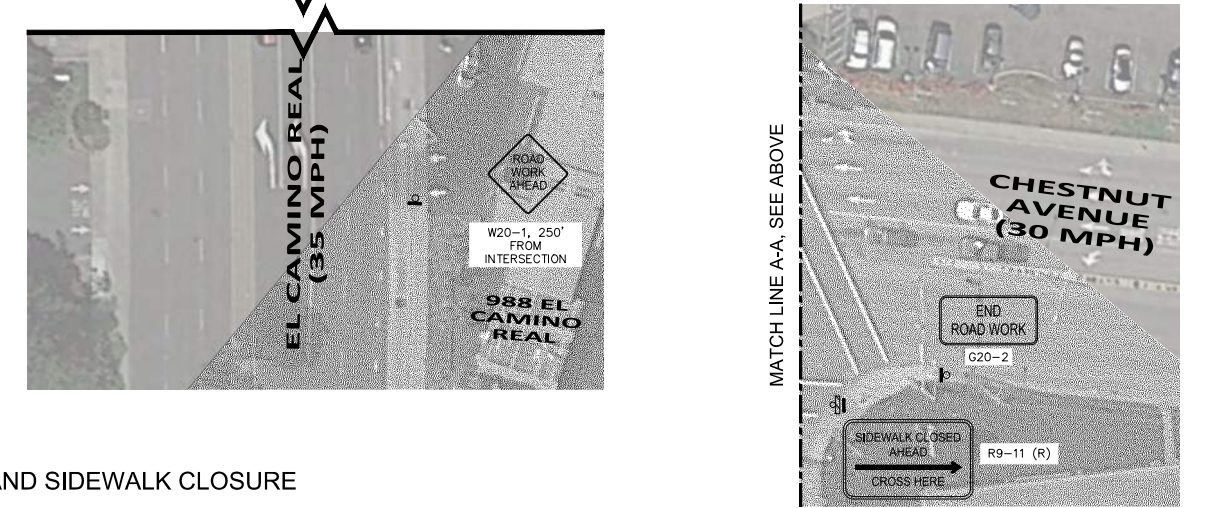
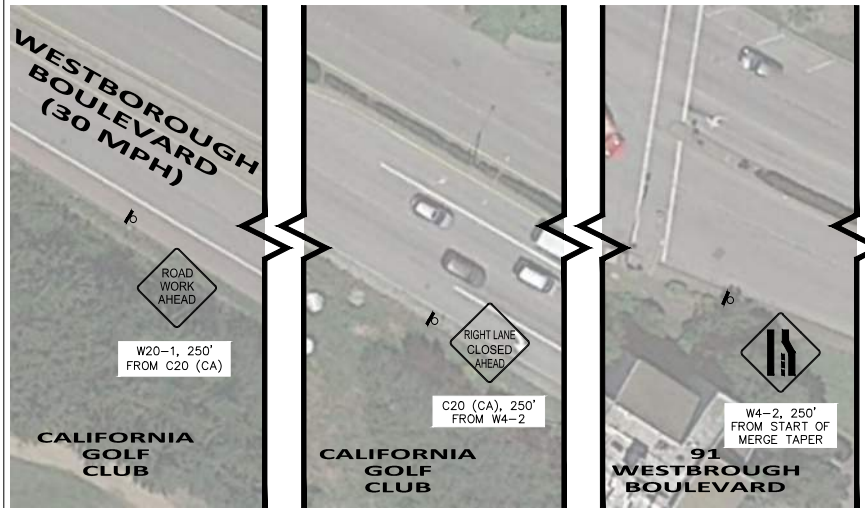
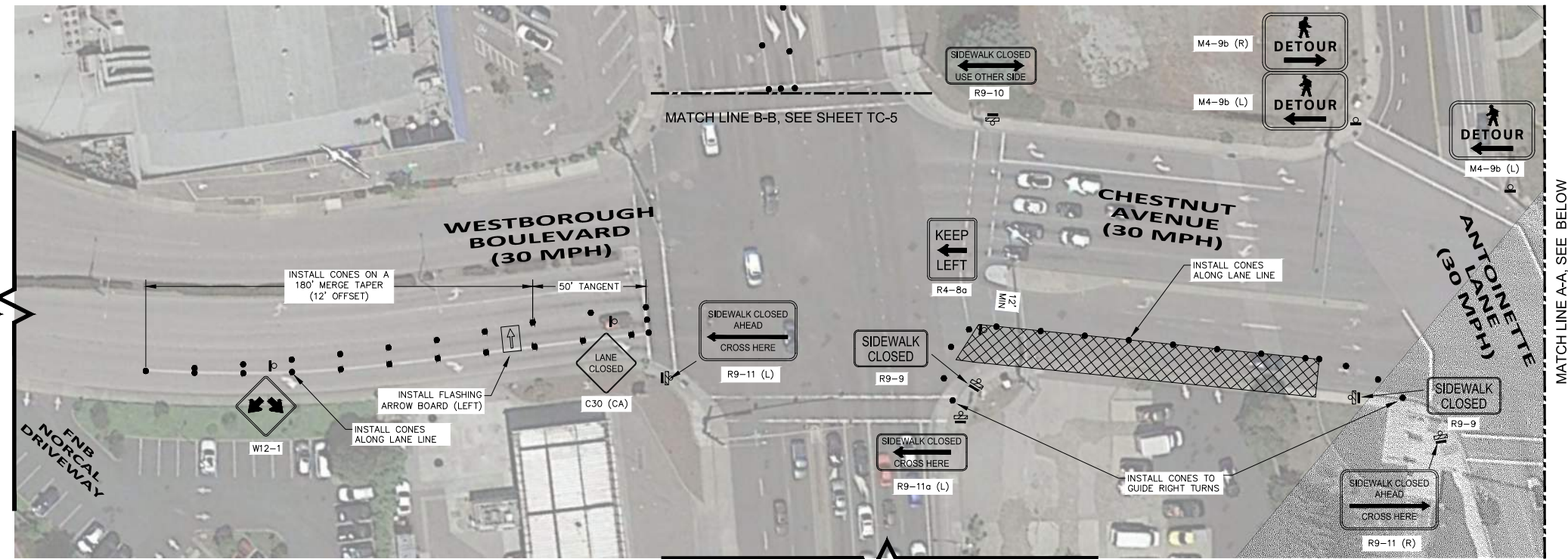
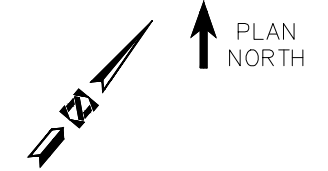
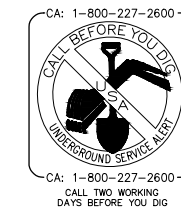


CITY OF SOUTH SAN FRANCISCO
988 EL CAMINO REAL
TRAFFIC CONTROL PLAN
SANITARY SEWER LATERAL WORK

DRAWING NO.
TC-3
SHEET X OF X

Exhibit B - Improvement Agreement

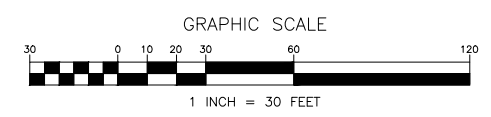
SIGN SIZES	
SIGN TYPE	SIGN SIZE
C20 (CA)	36"x36"
C30 (CA)	30"x30"
G20-2	36"x18"
R4-8A	24"x30"
R9-9	24"x12"
R9-10	24"x12"
R9-11	24"x18"
R9-11a	24"x12"
W4-2	36"x36"
W12-1	30"x30"
W20-1	36"x36"



REVIEW SUBMITTAL
 FEBRUARY 2019
 NOT FOR CONSTRUCTION

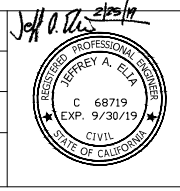
PLAN C - EASTBOUND CURB LANE AND SIDEWALK CLOSURE

- PROJECT NOTES (THIS SHEET ONLY):**
1. CONE SPACING SHALL BE 20', UNLESS OTHERWISE NOTED.
 2. TRAFFIC CONTROL PLAN ON THIS SHEET SHALL BE USED ONLY BETWEEN THE HOURS OF 9 AM AND 3 PM.



• THIS PLAN IS ACCURATE FOR TRAFFIC CONTROL WORK ONLY.
 • SEE SHEET TC-1 FOR GENERAL TRAFFIC CONTROL NOTES AND LEGEND.

DRAWN T. CHANG	DESIGNED T. CHANG	SCALE 1" = 30'
CHECKED J. ELIA	DATE 2/25/19	
APPROVED		CONTRACT NO.
ENGINEER	DATE	



PREPARED BY:

HEXAGON TRANSPORTATION CONSULTANTS, INC.

4 North Second Street, Suite 400
 San Jose, California 95113
 Ph: (408) 971-6100
 www.hextrans.com

REVISIONS				
NO.	DATE	BY	DESCRIPTION	APPR. DATE

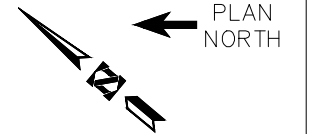
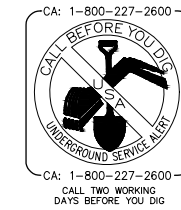


CITY OF SOUTH SAN FRANCISCO

988 EL CAMINO REAL
 TRAFFIC CONTROL PLAN
 SANITARY SEWER LATERAL WORK

DRAWING NO.
TC-4
SHEET X OF X

Exhibit B - Improvement Agreement



PLAN C - EASTBOUND CURB LANE AND SIDEWALK CLOSURE

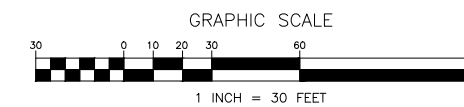
SIGN SIZES	
SIGN TYPE	SIGN SIZE
C30 (CA)	30"x30"
W12-1	30"x30"
W20-1	36"x36"

REVIEW SUBMITTAL
FEBRUARY 2019
NOT FOR CONSTRUCTION

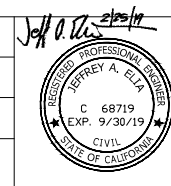
PROJECT NOTES (THIS SHEET ONLY):

1. CONE SPACING SHALL BE 20', UNLESS OTHERWISE NOTED.
2. TRAFFIC CONTROL PLAN ON THIS SHEET SHALL BE USED ONLY BETWEEN THE HOURS OF 9 AM AND 3 PM.

• THIS PLAN IS ACCURATE FOR TRAFFIC CONTROL WORK ONLY.
• SEE SHEET TC-1 FOR GENERAL TRAFFIC CONTROL NOTES AND LEGEND.



DRAWN T. CHANG	DESIGNED T. CHANG	SCALE 1" = 30'
CHECKED J. ELIA	DATE 2/25/19	
APPROVED		CONTRACT NO.
ENGINEER	DATE	



PREPARED BY:

**HEXAGON TRANSPORTATION
CONSULTANTS, INC.**

4 North Second Street, Suite 400
San Jose, California 95113
Ph: (408) 971-6100

www.hextrans.com

REVISIONS					
NO.	DATE	BY	DESCRIPTION	APPR.	DATE



CITY OF SOUTH SAN FRANCISCO

988 EL CAMINO REAL
TRAFFIC CONTROL PLAN
SANITARY SEWER LATERAL WORK

DRAWING NO.	TC-5
SHEET X OF X	

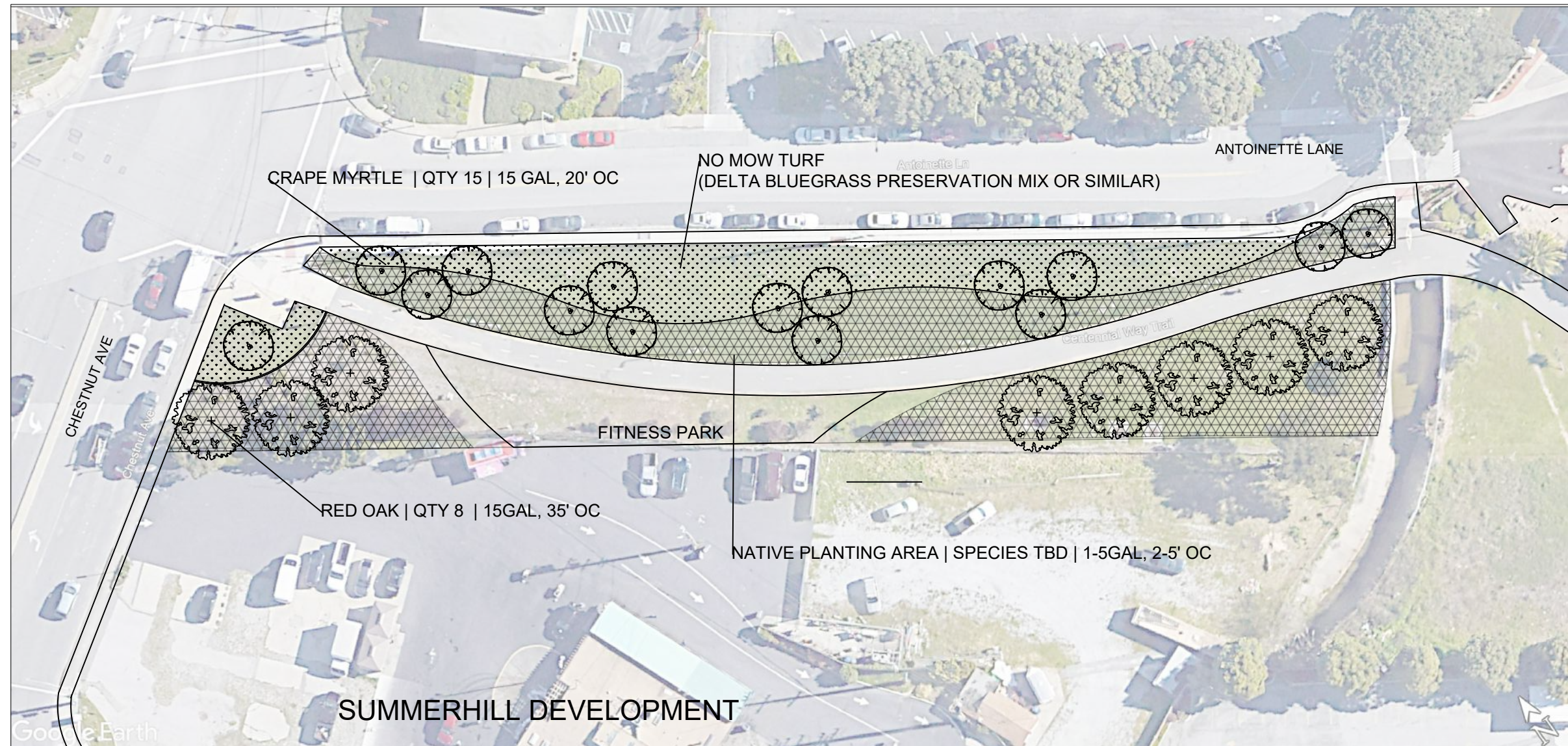
Exhibit B - Improvement Agreement

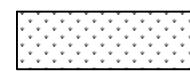
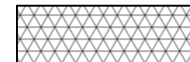
EXHIBIT C

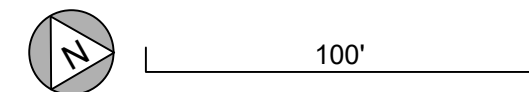
(Centennial Trail area/construction access and staging restoration work)

DRAFT

Exhibit B - Improvement Agreement



-  NO MOW TURF (DELTA BLUEGRASS PRESERVATION MIX OR SIMILAR)
-  NATIVE PLANTING AREA (SPECIES TBD, 1-5 GALLON, 2-5' ON CENTER)



CENTENNIAL WAY CONCEPTUAL RESTORATION PLAN

7/31/2019

IRRIGATION NOTES

1. SPECIFICATIONS: SEE IRRIGATION SPECIFICATIONS FOR ADDITIONAL INFORMATION.

2. VERIFICATION: SYSTEM DESIGN IS BASED ON THE FOLLOWING PRESSURES AND FLOWS AVAILABLE AT DISCHARGE OUTLET OF METER:

- IRRIGATION P.O.C. #1: 66 P.S.I. AND 52 G.P.M.
- IRRIGATION P.O.C. #2: 60 P.S.I. AND 51 G.P.M.
- IRRIGATION P.O.C. #3: 108 P.S.I. AND 55 G.P.M.

VERIFY SAME AND NOTIFY ENGINEER IF SUCH DATA ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING ANY IRRIGATION WORK.

3. UTILITIES: VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE ENGINEER.

4. SCHEMATIC: SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE. ALL VALVES SHALL BE LOCATED IN GROUND COVER OR SHRUB AREAS WHENEVER POSSIBLE.

5. CODES: IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY ENGINEER BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.

6. SERVICE LINE: WATER AGENCY SHALL TAP CITY MAIN WATER LINES AND PROVIDE SERVICE LINES TO (3) WATER METER LOCATIONS AS SHOWN ON PLANS. AGENCY SHALL REPAIR ALL DAMAGES INCURRED DURING INSTALLATION AND SHALL BE RESPONSIBLE FOR ALL ASSOCIATED FEES AND CHARGES. DEPTH OF PIPE, TRENCHING AND BACKFILLING, AS REQUIRED BY GOVERNING AGENCY.

7. WATER METER: WATER AGENCY SHALL INSTALL (3) WATER METERS AS SHOWN ON PLANS, INCLUDING ALL ASSOCIATED CONNECTIONS, VAULTS, ETC. CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH PURCHASE AND INSTALLATION.

8. BACKFLOW ASSEMBLY: CONTRACTOR SHALL CONNECT THE BACKFLOW ASSEMBLY WITH THE WATER METER USING 2-1/2 INCH COPPER TYPE K LINE BURIED A MINIMUM OF 18 INCHES.

9. BACKFLOW DEVICES: LOCATE ALL BACKFLOW DEVICES IN SHRUB OR GROUND COVER AREAS. DEVICES SHALL BE LOCATED WITHIN SHRUB PLANTING AREAS AND IN AN INCONSPICUOUS LOCATION APPROVED PRIOR TO INSTALLATION BY THE ENGINEER.

10. SLEEVING: ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVING INTO PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.

11. QUICK COUPLING VALVES: INSTALL ON TRIPLE SWING JOINT. LOCATE 12 INCHES AWAY FROM EDGE OF WALKS, WALLS, CURBS, AND HEADERBOARDS WITHIN PLANTING AREAS. PROVIDE ENGINEER WITH ONE OPERATING KEY, TWO SETS OF LOCKING COVER KEYS, AND ONE SWIVEL HOSE ELL.

12. HEAD ALLOWANCE: ALLOW IN BID PRICE AN AMOUNT SUFFICIENT TO PROVIDE AND INSTALL AN ADDITIONAL 10 SPRINKLER HEADS OF EACH TYPE SPECIFIED ON PLAN TO ACCOMMODATE FIELD CHANGES. THESE HEADS SHALL BE LOCATED AS DIRECTED BY THE ENGINEER. DELIVER TO THE ENGINEER ANY UN-USED ADDITIONAL HEADS AT THE END OF THE MAINTENANCE PERIOD.

13. CONTROLLER: ALL ABOVE-GRADE CONDUIT EITHER 24V. OR 110V. SHALL BE RIGID STEEL AND SECURELY FASTENED TO STRUCTURE AND TO CONTROLLER. CONTRACTOR TO PROVIDE CITY WITH TWO (2) HANDHELD INTEGRATED RADIO REMOTE CONTROL TRANCEIVERS (MODEL: RR-TRAN).

14. CHECK VALVES: INSTALL PLASTIC CHECK VALVE AT BASE OF HEADS ON LOW ENDS OF SYSTEM AS SHOWN ON PLANS AND AS REQUIRED TO MINIMIZE LINE DRAINAGE. ALLOW IN BID PRICE AN AMOUNT SUFFICIENT TO PROVIDE AND INSTALL AN ADDITIONAL 20 CHECK VALVES TO ACCOMMODATE ANY NECESSARY FIELD CHANGES.

15. RECLAIMED WATER: ALL IRRIGATION LINES AND COMPONENTS SHALL BE INSTALLED TO ACCOMMODATE NON-POTABLE RECLAIMED WATER AND SHALL BE PURPLE IN COLOR.

IRRIGATION LEGEND

○ SHRUB SPRAY, RAINBIRD, 1812-SAM-MPR-NP, 8 SERIES, ARC AS REQUIRED	○ SHRUB SPRAY, RAINBIRD, 1812-SAM-MPR-NP, 10 SERIES, ARC AS REQUIRED	○ SHRUB SPRAY, RAINBIRD, 1812-SAM-MPR-NP, 12 SERIES, ARC AS REQUIRED	● SHRUB SPRAY, RAINBIRD, 1812-SAM-MPR-NP, 15 SERIES, ARC AS REQUIRED	○ TURF SPRAY, RAINBIRD, 1804-SAM-MPR-NP, 12 SERIES, ARC AS REQUIRED	● TURF SPRAY, RAINBIRD, 1804-SAM-MPR-NP, 15 SERIES, ARC AS REQUIRED	■ STRIP SPRAY, RAINBIRD 1812-SAM-MPR-NP, MODEL 15EST	□ STRIP SPRAY, RAINBIRD 1812-SAM-MPR-NP, MODEL 15SST	○ BUBBLERS, RAINBIRD MODEL 1402-NP, 2 PER SHRUB	○ BUBBLERS, RAINBIRD MODEL 1404-NP, 2 PER TREE	⊕ BUBBLER WITH CHECK VALVE, KING BROTHERS INDUSTRIES, CV-0500-FF, NON-POTABLE	△ SHRUB ROTARY SPRAY, RAINBIRD 1812-SAM-R13-18-NP, ARC AS REQUIRED	▲ SHRUB ROTARY SPRAY, RAINBIRD 1812-SAM-R17-24-NP, ARC AS REQUIRED	△ _{1.5} ROTOR, RAINBIRD 3504-PC-SAM-NP, 3500 SERIES, 4" POP-UP, PART-CIRCLE, NOZZLE SIZE PER PLAN	▲ _{1.5} ROTOR, RAINBIRD 3504-SAM-NP, 3500 SERIES, 4" POP-UP, FULL-CIRCLE, NOZZLE SIZE PER PLAN
○	○	○	●	○	●	■	□	○	○	⊕	△	▲	△ _{1.5}	▲ _{1.5}
<p>○ VALVE # APPROXIMATE GPM THROUGH VALVE VALVE SIZE</p> <p>EXISTING</p> <ul style="list-style-type: none"> ● SPRAYHEAD TO REMAIN ■ BUBBLER TO REMAIN ⊕ REMOTE CONTROL VALVE TO REMAIN — LATERAL TO REMAIN - - - MAINLINE TO REMAIN ⊗ SPRAYHEAD TO BE REMOVED ⊗ BUBBLER TO BE REMOVED ⊗ REMOTE CONTROL VALVE TO BE REMOVED. CAP MAINLINE AND REMOVE LATERAL PIPE DOWNSTREAM OF VALVE. 														

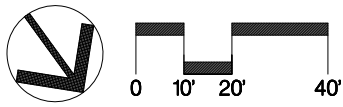
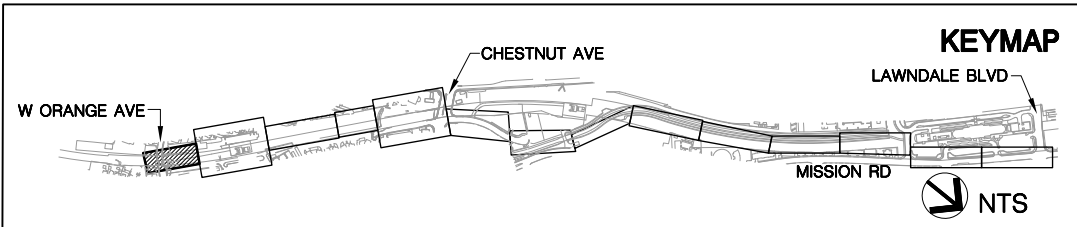
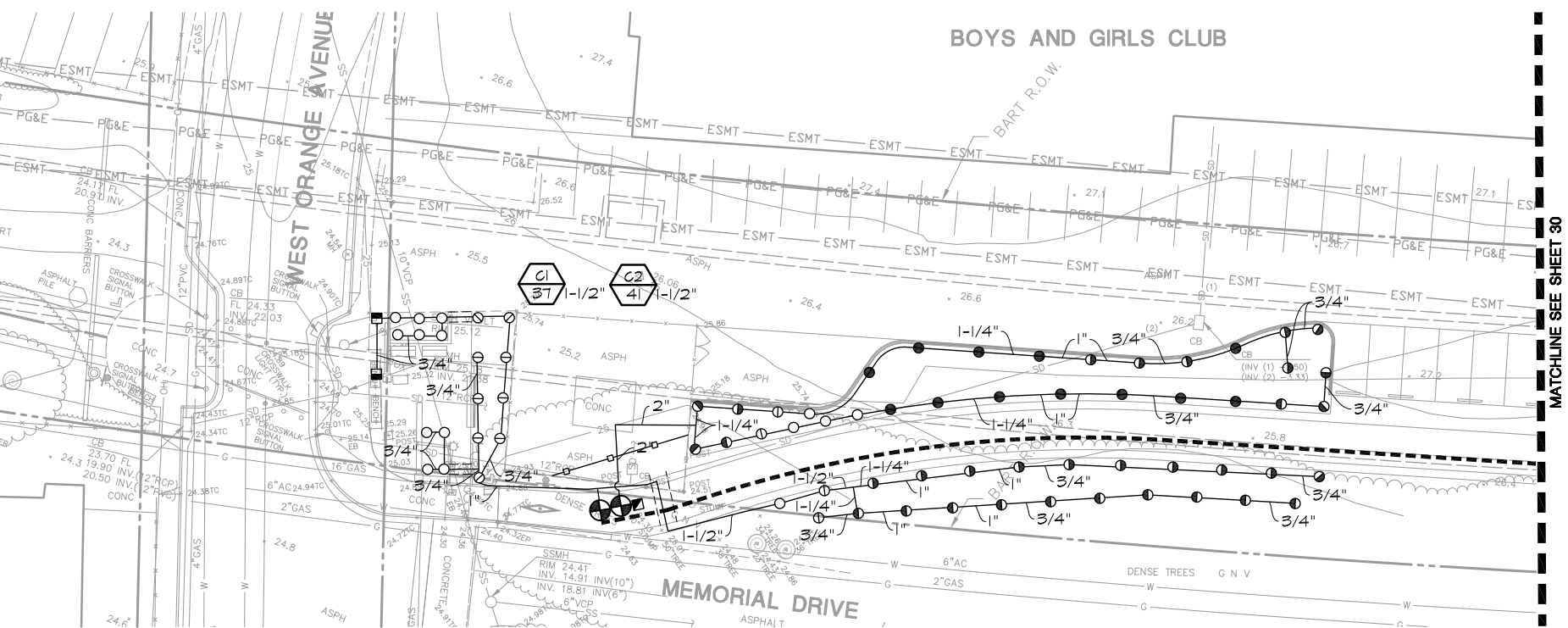


Exhibit B - Improvement Agreement

Callander Associates
 Architecture
 Urban Design
 Land Planning
 Park and Recreation Planning
 Environmental Planning
 311 Seventh Ave.
 San Mateo, CA 94401
 T 650.375.1313
 F 650.344.3290
 Ca Lic #1308

Revisions

1	AS BUILT 10/21/09

© Copyright 2008
 Callander Associates
 Landscape Architecture, Inc.

IRRIGATION PLAN

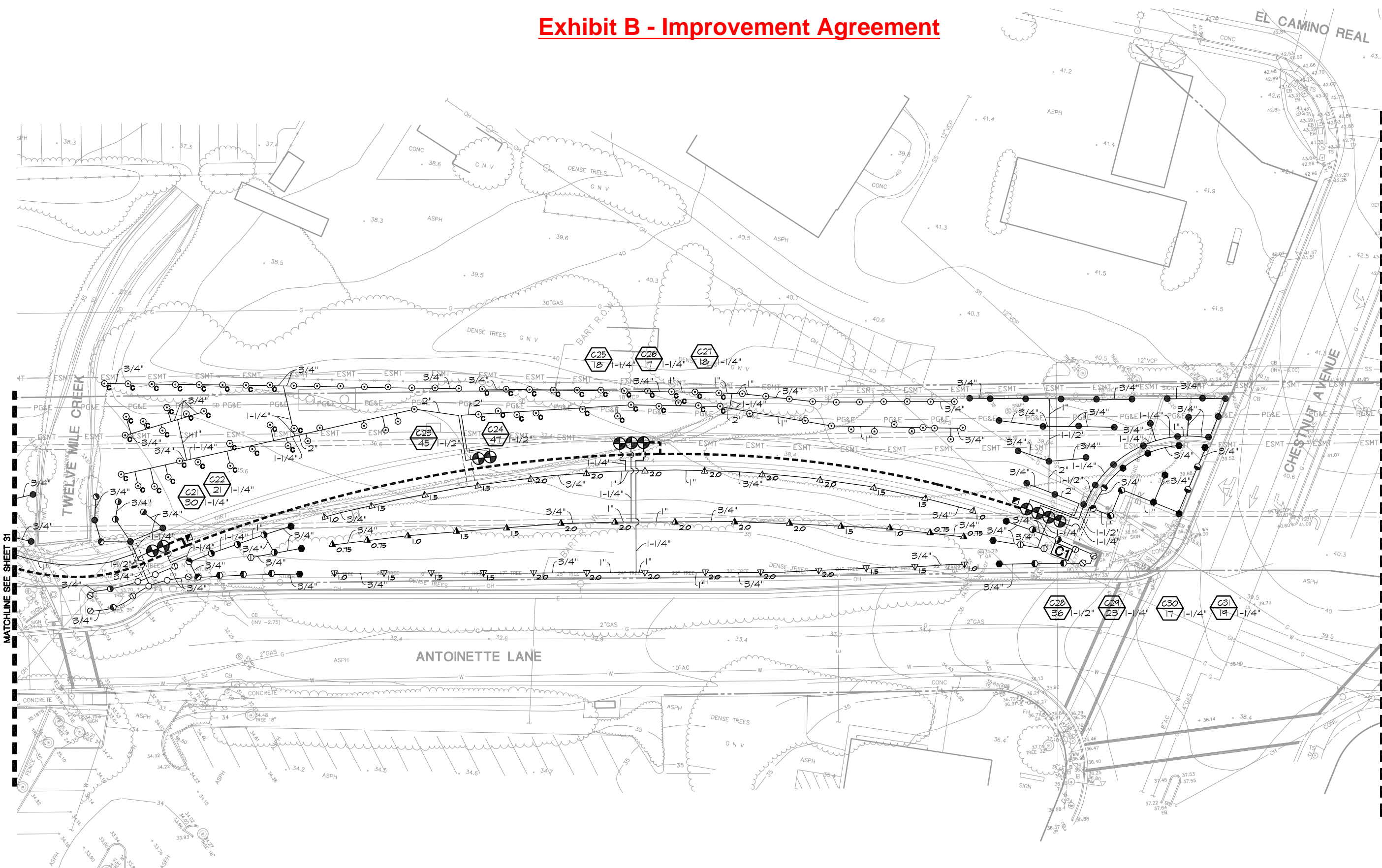
BART LINEAR PARK PHASE 2 & 3

SOUTH SAN FRANCISCO, CA

Date	05.27.08
Scale	AS SHOWN
Drawn By	CS
Checked	MG
Project No.	07.038
Cadd File	07038IR

Sheet No.	29
of	85

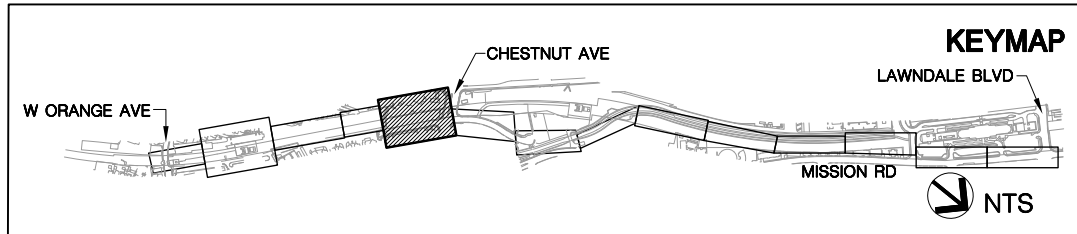
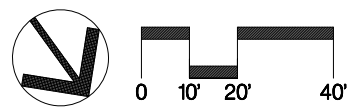
Exhibit B - Improvement Agreement



MATCHLINE SEE SHEET 31

MATCHLINE SEE SHEET 33

FOR IRRIGATION LEGEND AND NOTES SEE SHEET 29



Callander Associates
 Landscape Architecture
 Urban Design
 Park and Recreation Planning
 Environmental Planning
 311 Seventh Ave.
 San Mateo, CA 94401
 T 650.375.1313
 F 650.344.3290
 Ca Lic #1308

Revisions	
AS BUILT	10/21/09

© Copyright 2008
 Callander Associates
 Landscape Architecture, Inc.

IRRIGATION PLAN
BART LINEAR PARK PHASE 2 & 3
 SOUTH SAN FRANCISCO, CA

Date	05.27.08
Scale	AS SHOWN
Drawn By	CS
Checked	MG
Project No.	07.038
Cadd File	07038IR
Sheet No.	32
of	85