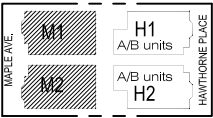




NEW DETACHED TOWN-HOUSES AT 616 MAPLE AVE.

TOWN-HOUSE ADDRESSES: 616 MAPLE & 614 MAPLE AVE.



SMALL CONDO-UNITS AT REAR BUILDINGS

(ALONG HAWTHORNE PLACE)

REAR CONDO-UNITS ADDRESSES:
616-A & 616-B MAPLE AVE.
614-A & 614-B MAPLE AVE.

DOWNTOWN MEDIUM DENSITY RESIDENTIAL
MAPLE - NEW TOWNHOUSES
6 UNITS - 3 size-styles within 4 detached buildings
616 MAPLE AVENUE, SOUTH SAN FRANCISCO CA 94080



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DATE : [Oct 10, 2025](#)

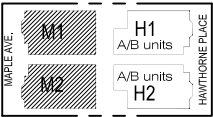
SHEET TITLE :
3D-RENDERING

SCALE : 3/16" = 1'-0"

SHEET NO.:

(N) FRONT ELEVATIONS ALONG MAPLE AVE. (UNIT M1& M2) - SHOWN WITH TWO ADJACENT SIDE NEIGHBORS

3/16" = 1'-0"



SCALED HALF-SIZE SET

Planning Commission Hearing HzCkSet-2025-1010



NEW DETACHED TOWN-HOUSES AT 616 MAPLE AVE.

AND SMALL CONDO-UNITS AT REAR BUILDINGS ALONG HAWTHORNE PLACE

(E) SITE PHOTOS



LEFT-SIDE NEIGHBOR FRONT ELEVATION - A 2-STORY SINGLE FAMILY BUILDING.



EXISTING LOT FRONT ELEVATION WITH A 2-STORY SINGLE FAMILY BUILDING ON THE LEFT SIDE.

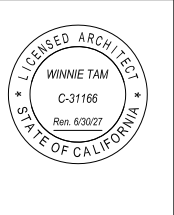


RIGHT-SIDE NEIGHBOR FRONT ELEVATION- A 2 STORY BUILDING.

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MAPLE - NEW TOWNHOUSES

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SHEET TITLE :
COVER SHEET

SCALE : 3/16" = 1'-0"

SHEET NO. :

A-0.0

1 SHEET OF

SYMBOLS

③

KEY NOTES

7'-3"

CEILING HEIGHT

③

WINDOW TYPE

CLOUD AROUND REVISION

②

DOOR SYMBOL

INTERIOR ELEVATION(S)

ELEVATION IDENTIFICATION (UNFOLD ELEVATIONS CLOCKWISE NO ARROWS MEANS ELEVATION NOT SHOWN.)

SHEET WHERE ELEVATION IS DRAWN

DETAIL

DETAIL IDENTIFICATION

SHEET IDENTIFICATION

SECTION/ELEVATION(S)

ELEV. IDENTIFICATION

SHEET IDENTIFICATION

FENCE

GATE

PROPERTY LINE

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODES
- California Building Code (2021 International Building Code)
 - California Residential Code (2021 International Residential Code)
 - California Plumbing Code (2021 Uniform Plumbing Code)
 - California Mechanical Code (2021 Uniform Mechanical Code)
 - California Electrical Code (2020 National Electrical Code)
 - California Fire Code (2021 International Fire Code)
 - California Existing Building Code (2021 International Existing Building Code)
 - California Energy Code
 - California Green Building Standards Code
 - California Historical Building Code
 - Local and State Amendments, Ordinances and law

AERIAL PHOTO

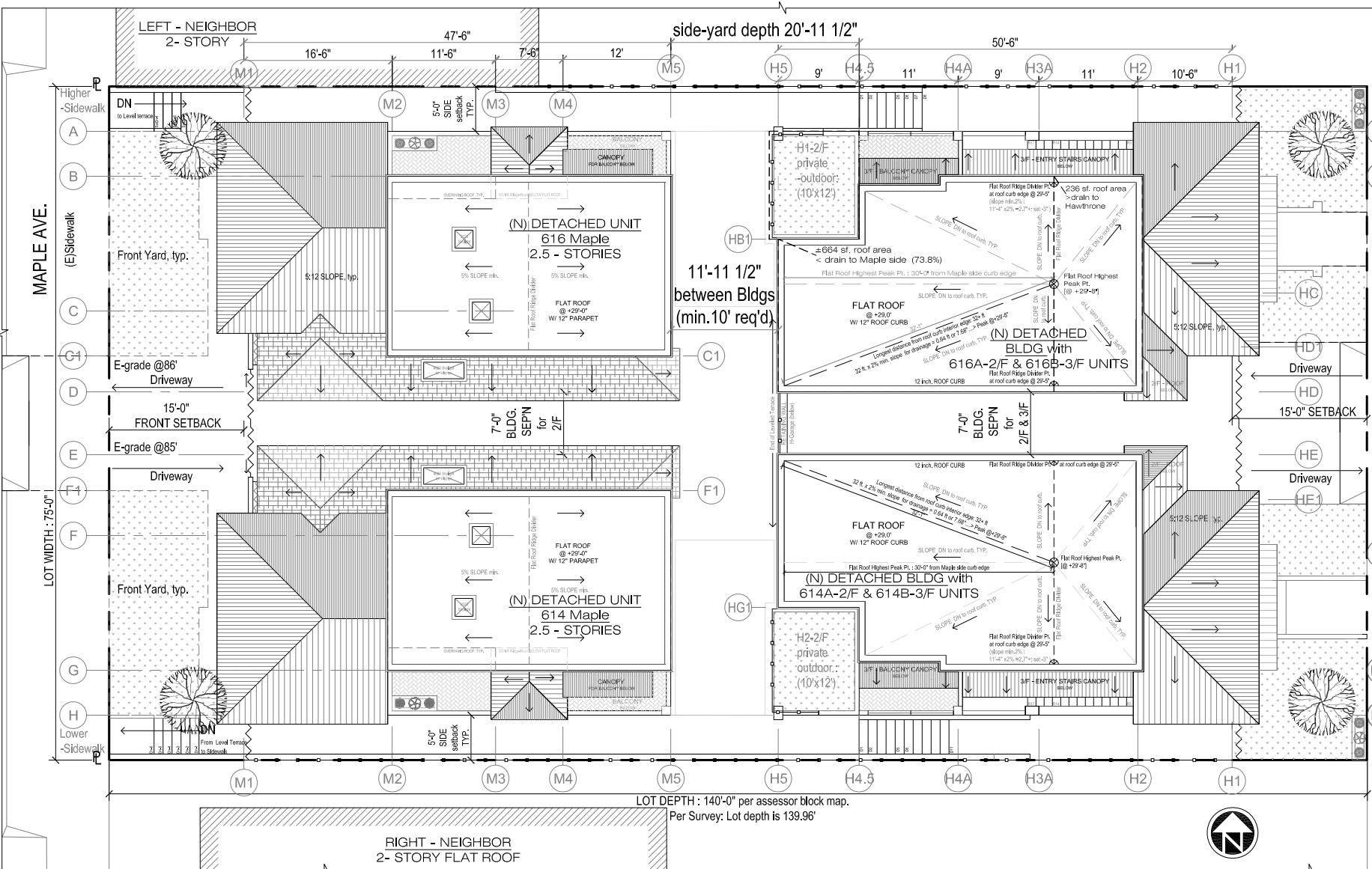


SITE PHOTO



EXISTING LOT FRONT ELEVATION WITH A 2-STORY SINGLE FAMILY BUILDING ON THE LEFT SIDE.

(N) SITE PLAN / ROOF PLAN



PROJECT TEAM

Owners :

JENSEN LU / RICHARD LEE
730 THIRD AVE., SAN BRUNO, CA 94066
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Architect :

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Landscape Architect :

TANIGUCHI Landscape Architecture CLA 2942
1013 South Claremont St. Ste 1, San Mateo CA 94401
(650) 638-9985 EMAIL : dennis@dtlandarch.com

DRAWING INDEX

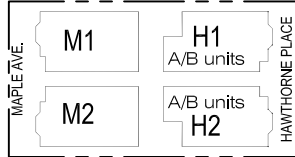
- A-0.0 Cover Sheet: Maple Front Elevation w/Ngbars.
A-1.0 Project Data, Location Map, Scope of work. (N) Plot/Roof Plan.
A-1.1 (N) Site Plan with G/F Plan of M units, Garage/Parking Plan for H1 & H2 units, Landscape and Drainage Plan.
A-2.0 (E) Site Plan w/Garage Plan, (E) Bldg. Floor Plans, & (E) Bldg. Elevation. [(E) Non-conforming Bldg to be removed.]
A-2.1 Proposed (N) Floor Plans/ Roof Plan of detached Townhouse Unit M1 along Maple Ave. (Unit M2, similar.)
A-2.2 Proposed (N) Floor Plans/ Roof Plan of H1 units along rear Hawthorne Place. (H2 units sim.)
A-3.1 Proposed (N) Elevations of detached Townhouse Unit M1 along Maple Ave. front. (Unit M2, similar.)
A-3.2 Proposed (N) H1 and H2 Bldg. along Hawthorne : Front, Side & Rear Elevations. (H2 unit sim. H1)
A-3.3 Proposed (N) Long Elevations from Maple front Townhouses to Hawthorne End H-Buildings.
A-3.4 Proposed (N) Short North-South Sections - M1 thru M2; (N) Longitudinal East-West Sections thru Units M1 and H1 Bldg. And Proposed (N) North-South Sections - H2 thru H2.
Survey: 1402-BT BOUNDARY & TOPOGRAPHIC SURVEY

- Civil: TM-1.0 Existing Condition
TM-1.1 Demolition Plan
TM-2.0 Grading and Drainage Plan
TM-3.0 Utility Plan
TM-4.0 Stormwater Control Plan
TM-5.0 Fire Access Plan
Landscape : L-1 Schematic Landscape Plan
L-2 Irrigation Hydrozone Plan

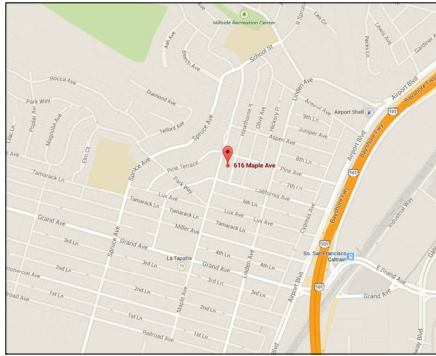
SCOPE OF WORK

- REMOVE (E) 1 detached bldg-unit (with non-conforming setbacks).
- BUILD 2 detached M-BLDGs along Maple Ave. (M-Units are free-standing town-houses of 2.5-Stories.) BUILD 2 detached H-BLDGs at lot rear Hawthorne Place front. (H-Units are Condos. Each H-Bldg has 2 H-Units, w/ground floor Entry Lobby and an Open shared Garage.
- Rear H-Units to be with Maple Ave addresses, per Fire Access. Side entry gates provided at Maple front to access the Rear H-Units.
- PARKING SPACES: Provide 2 spaces per M-UNIT (1 in enclosed garage and 1 in open carport). Provide 1.5 spaces per H-UNIT in open shared garage. Provide 1 CURB CUT per street front for the driveway.
- Apply CUT & FILL to existing grade to provide a LEVEL FIRE ACCESS TERRACE at Maple Ave front to reach to the H-BLDGS at the Mid-terrace separating the M- & H-buildings.
- See Civil & Landscape Plans for Grading, Drainage, Stormwater Control, and Irrigation Standards.

UNITS DIAGRAM



LOCATION MAP



PROJECT INFORMATION

PARCEL :

012-171-170 . (012171140; 012171130)

LOT AREA :

10,500 SF. 0.24 acres.
LOT WIDTH: 75' LOT DEPTH: 140'-0"
DRM (Downtown Residential Medium)

ZONING :

1 Units. 1-STORY over garage.

BUILDING DATA :

PROPOSED 6 Units: 2 Townhouses & 4 condo. units.

OCCUPANCY GP :

R-3 (RESIDENTIAL)
U-1/S-2 (GARAGE)

CONSTRUCTION TYPE :

V-B (WOOD FRAME)
(Steel frame for open garage.)

As (N) construction : to install Photovoltaic, all electric construction; need to be sprinklered; and install EV chargers for single family dwellings.

(N) BUILDING AREAS :

On Maple Ave front - two detached townhouses :
Unit M1 (616 Maple Ave) & Unit M2 (614 Maple Ave):
G/F - (include enclosed Garage 190 sf.) 897 sf.
2/F - 1,328 sf.
3/F - 569 sf.
Total per unit : 2,794 sf.
Outdoor Usable Space:
Open Front Yard 283 sf.
3/F Outdoor Side Decks (private) 90 + 62 sf.

Access at Maple side-gates to Rear Hawthorne Place :

Bldg. H1 (616 A, 616 B) & Bldg. H2 (614 A, 614 B) :
Living Spaces:
2/F Condo unit A 1,116 sf.
2/F Condo unit B 900 sf.
Total Living per Bldg. : 2,016 sf.
Common Space [Enclosed (253+92+40) x 2=770 sf.]:
G/F Lobby+Util/Stor/Stairwell 253 sf.
2/F Front Terrace and to 3/F stairwell (partial) 92+40 sf.
3/F (Open) stairwell 31 sf.
3/F Unit Entry Landing (Open Common) 33 sf.
Outdoor Usable Space:
Open Front Yard (Shared Common) 192 sf.
2/F Rear Open Mid-Yard (private for unit-A): 120 sf.
3/F Side Balcony (private for unit-B): 64 sf.
Open Garage Parking:
Shared Parking areas for H1 & H2 condo units.

GRAND TOTAL :

= M1 + M2 + H1- units A+B + H2-units A+B+Lobby/stair
= 2794 + 2794 + 2016 + 2016 + 770 = 10,390 sf.
(F.A.R. LIMIT : 10,500 sf. x 1.25 = 13,125 sf.)

PARKING PROVIDED :

Each M-unit : provided 1 space in garage & 1 carport.
Each Condo-A unit : provided 1.5 space In open garage
Each Condo-B unit : provided 1.5 spaces in open garage.

(N) BUILDING SETBACKS

PROPOSED
G/F: Bldg. Front set back 15'-0"
Garage setback 20'-0"
G/F & 2/F: Bldg. Side set back 5'-0"
3/F: Bldg. Side set back 10'-0"

LOT COVERAGE :

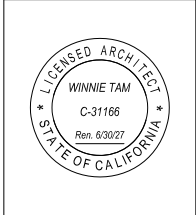
(M:1,378 +H: 1,346 sf.) x2 = 5,448 sf.) - 10.89%
(MAX. LOT COVERAGE 90% : 10,500 sf. x 0.9 = 9,450 sf.)

LANDSCAPE :

(Maple Front: (283x2) + Hawthorne Rear: (287x2) = 1,140 sf.) - 10.86%
(MIN. 10% OF SITE : 10,500 sf. x 10% = 1,050 sf.)

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MAPLE - NEW TOWNHOUSES

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SHEET TITLE :

PROJECT DATA

- Location Map
- Scope of work
- Drawing index

SCALE : 1/8" = 1'-0"

SHEET NO. :

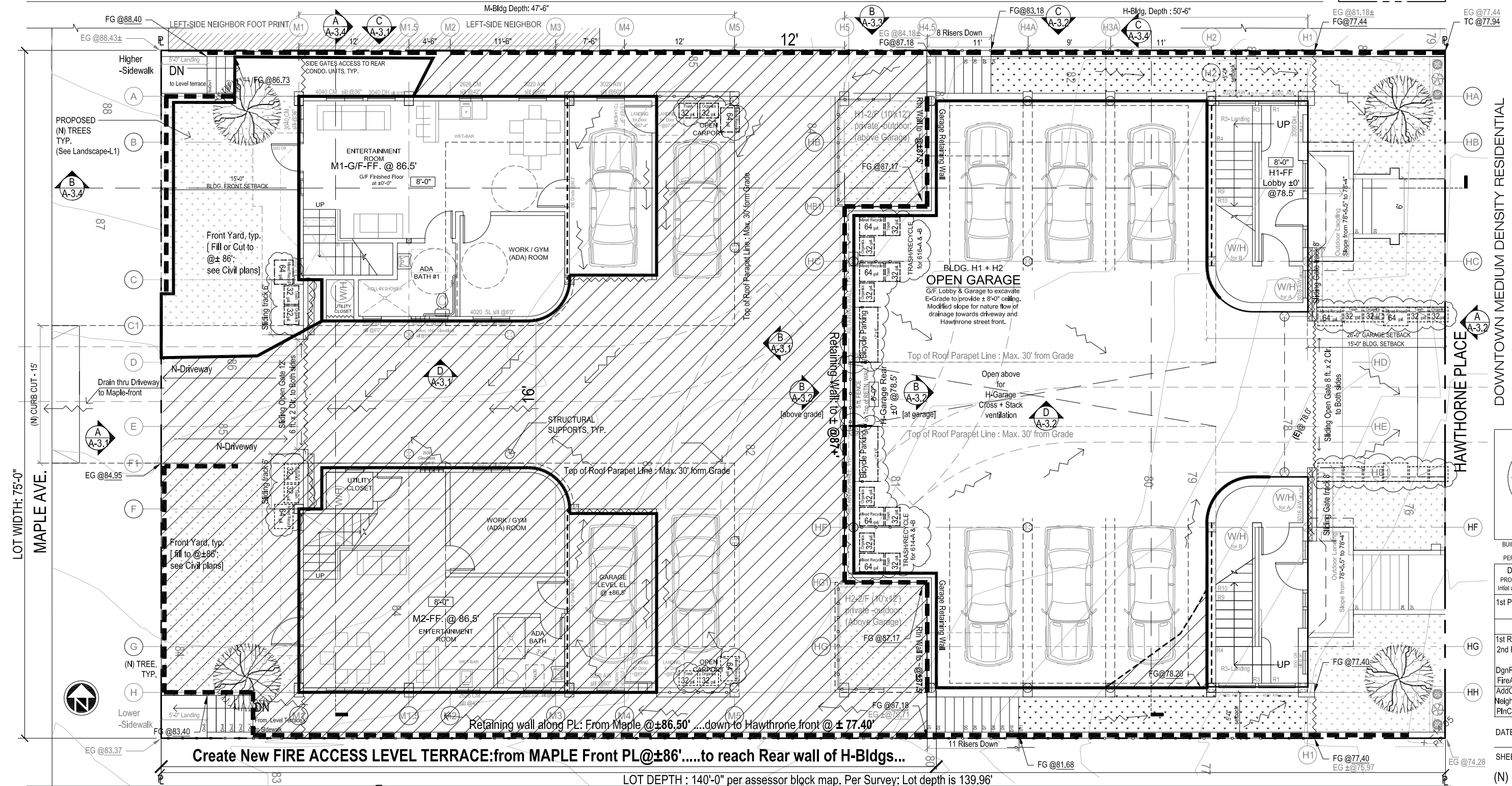
A-1.0

2 SHEET OF

SCALED HALF-SIZE SET

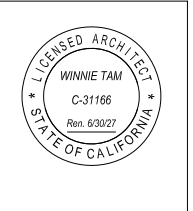
1/8" = 1'-0"

(N) SITE PLAN / LANDSCAPING PLAN with G/F, GARAGE & CARPORT FLOOR PLAN (w/ contours underlay)

$$\frac{3}{16}'' = 1'-0''$$


3 SHEET OF

6 UNITS - 3 size-styles within 4 detached buildings
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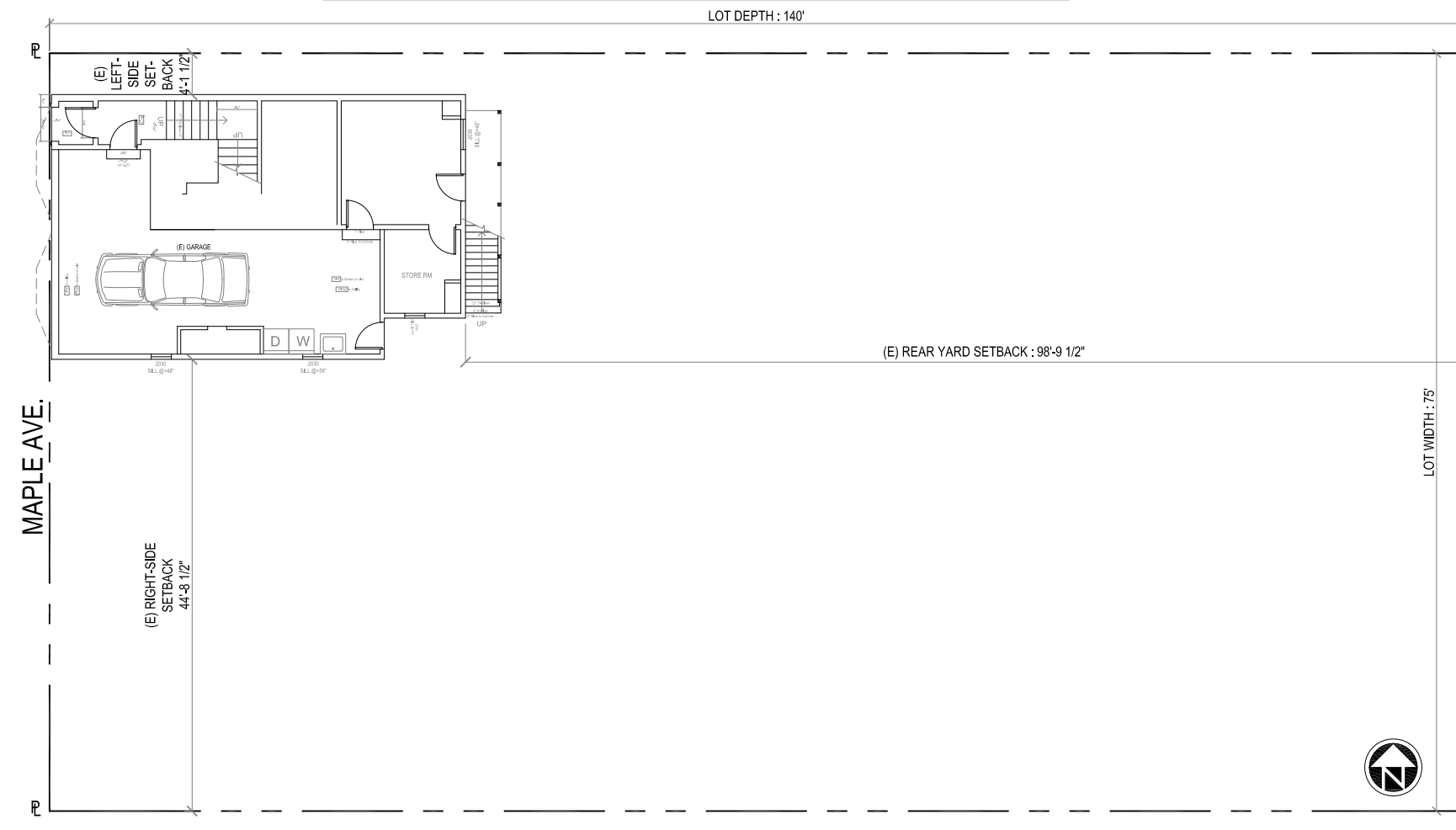
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SHEET TITLE :

(N) SITE PLAN
w/ (N) units @ G/F

(E) SITE PLAN

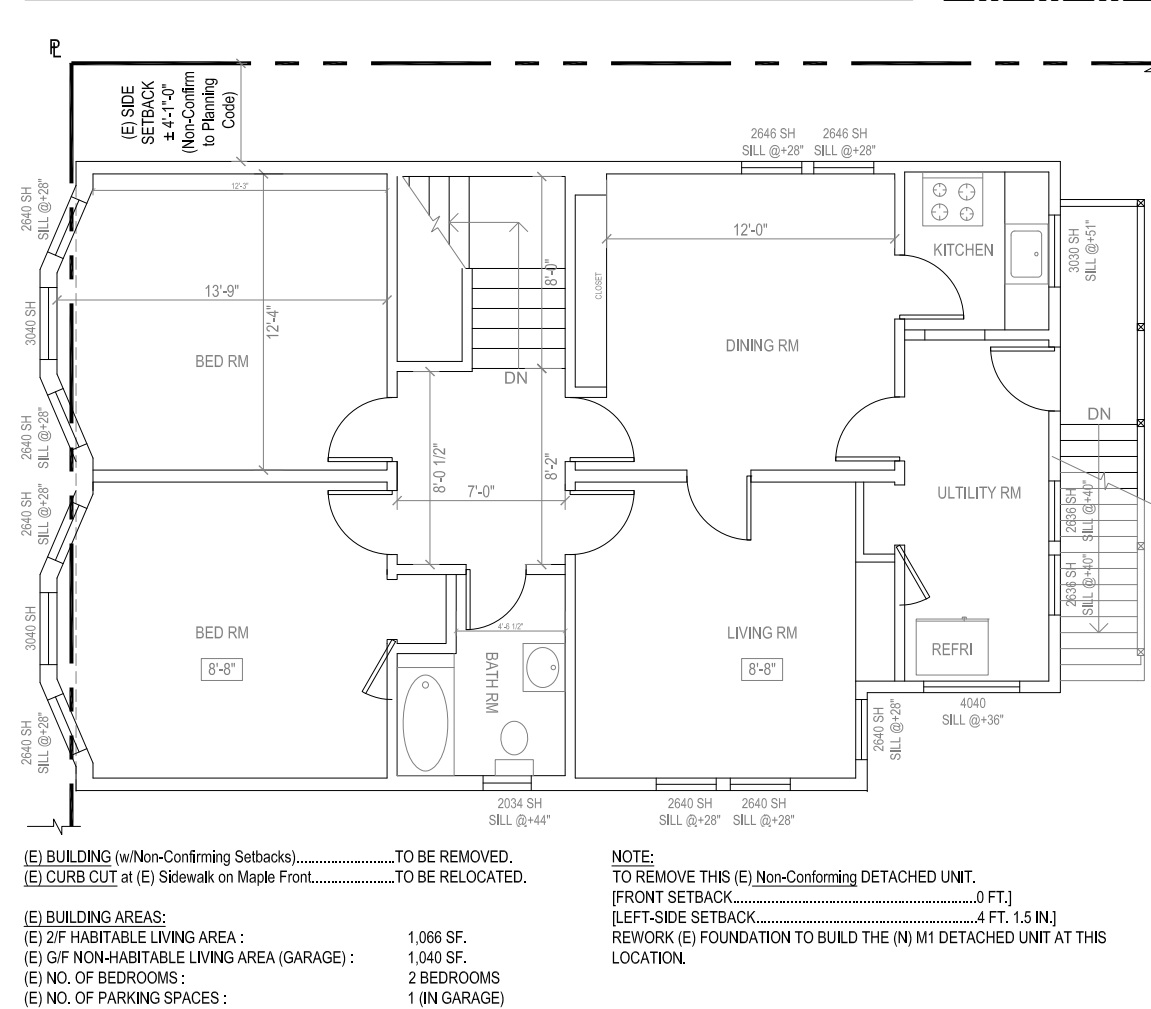
$$1/8'' = 1'-0''$$


(E) 1-STORY OVER GARAGE BLDG.

1/4" = 1'-0"

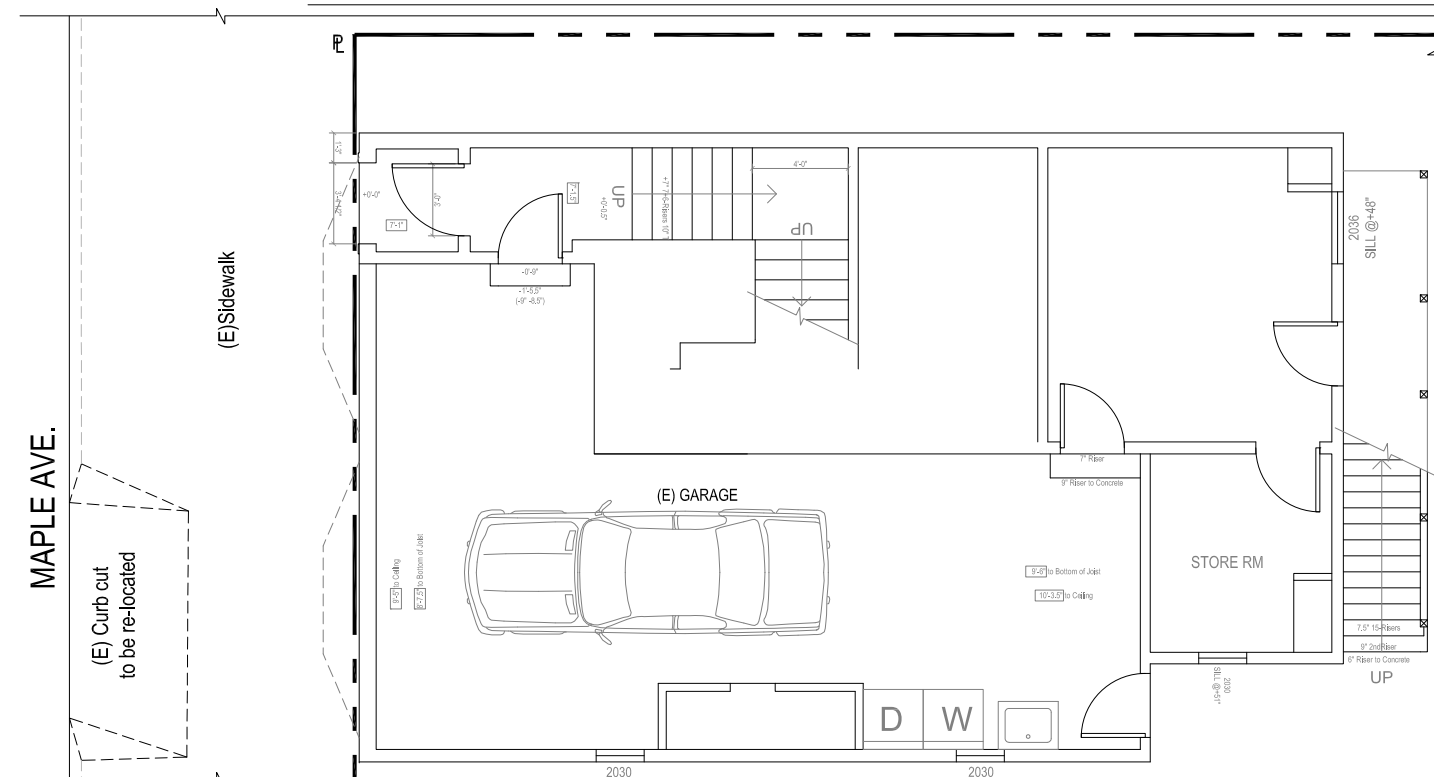


(E) 2/F FLOOR PLAN above Garage

$$1/4" = 1'-0"$$


(E) G/F GARAGE FLOOR PLAN

1/4" = 1'-0"

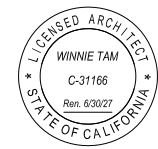


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SHEET TITLE:

(E) SITE PLAN
(E) FLOOR PLANS:
- G/F GARAGE & 2/F

SCALE: 1/4" = 1'-0"

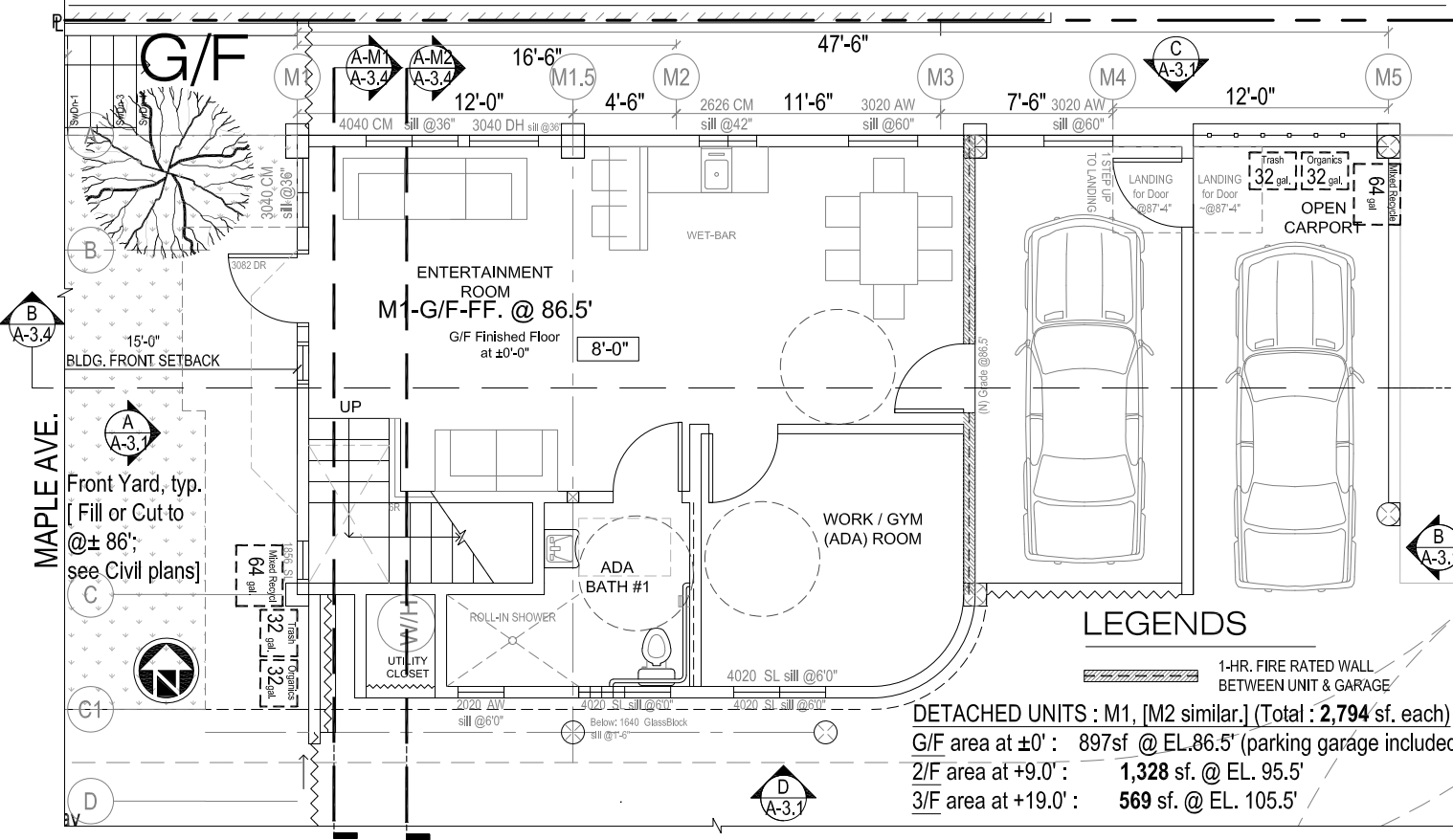
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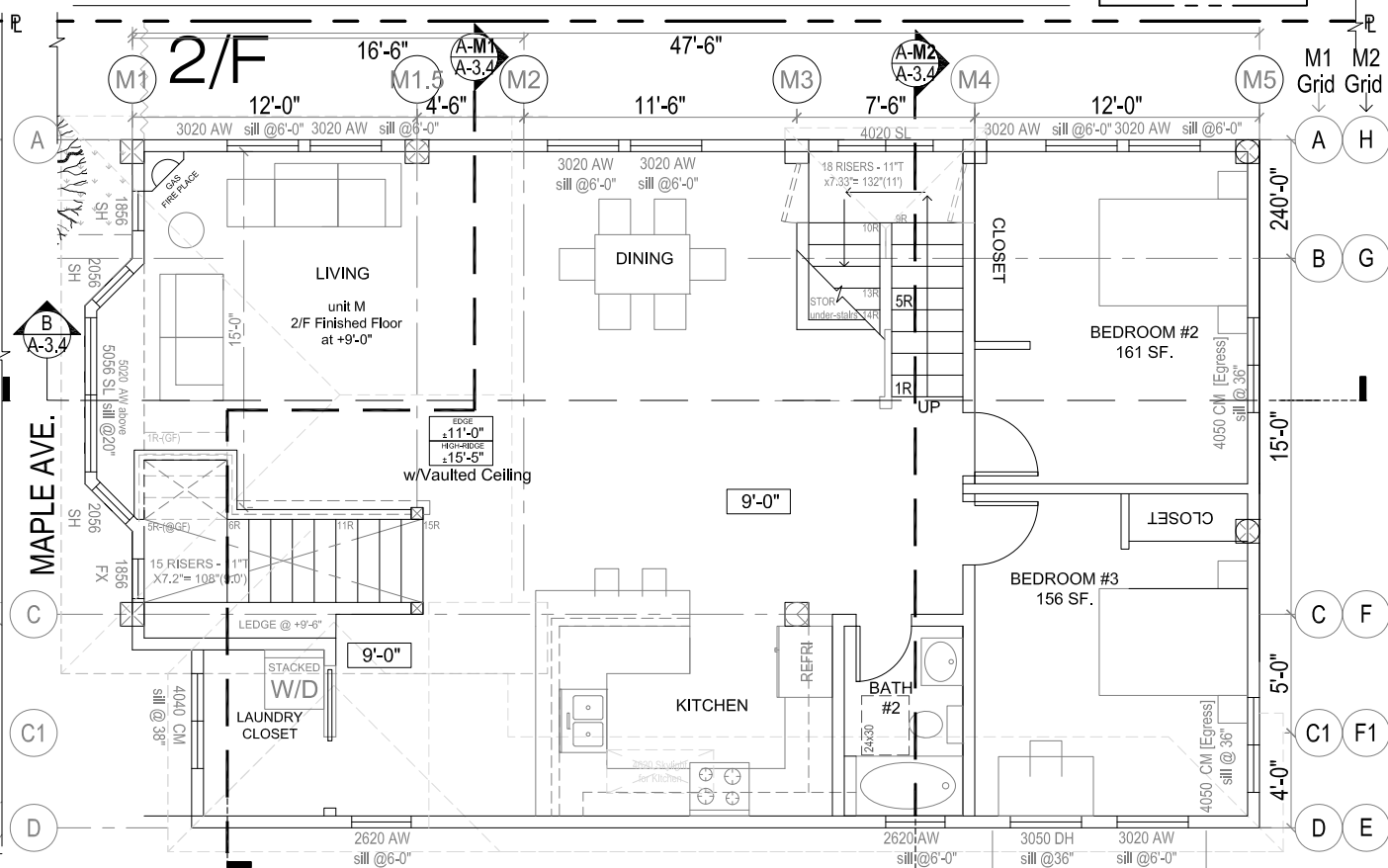
4 SHEET OF

Maple Townhouse Unit - M1 (SIM. M2):

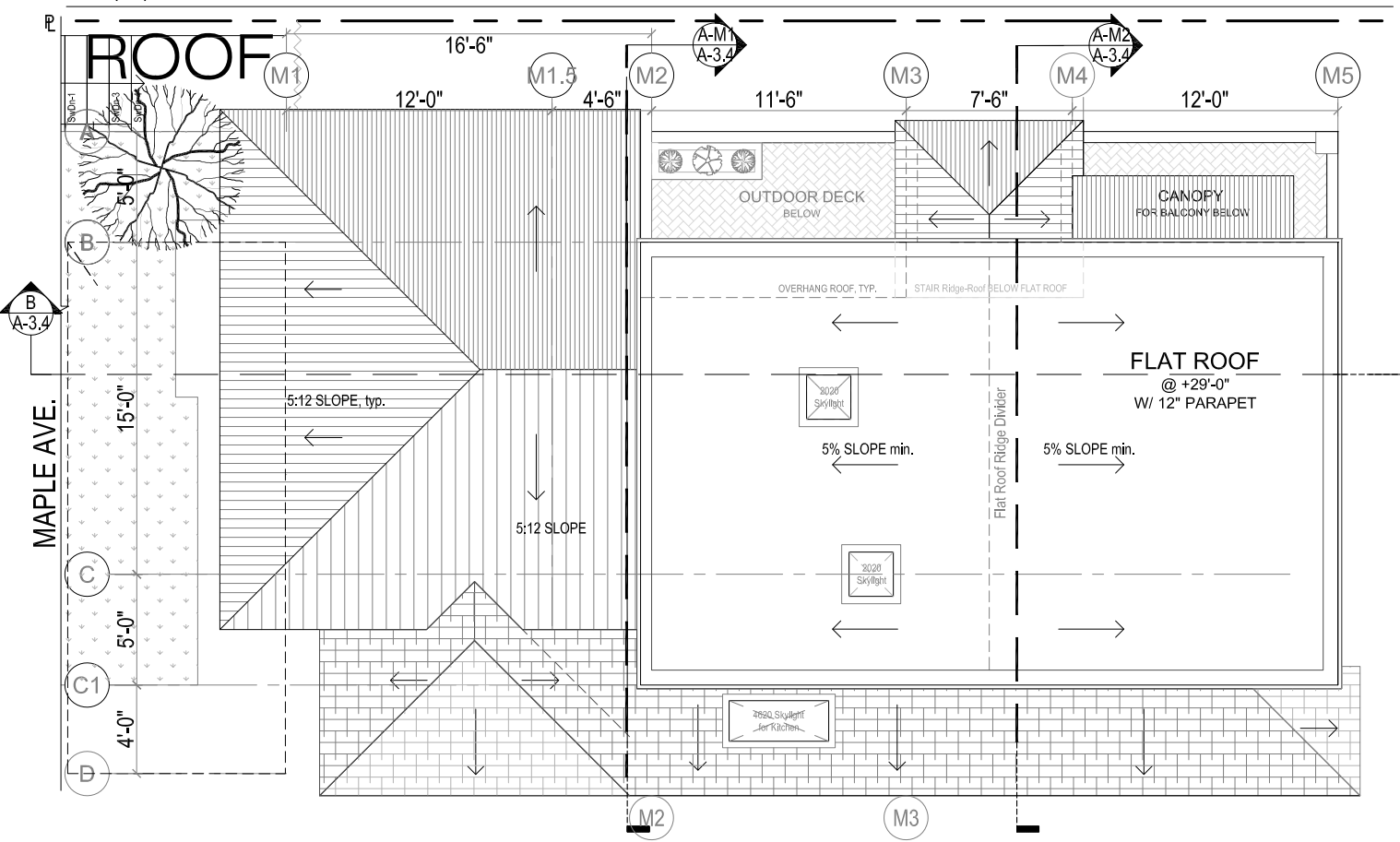
A. (N) G/F FLOOR PLAN w/ Garage & Carport 1/4" = 1'-0"



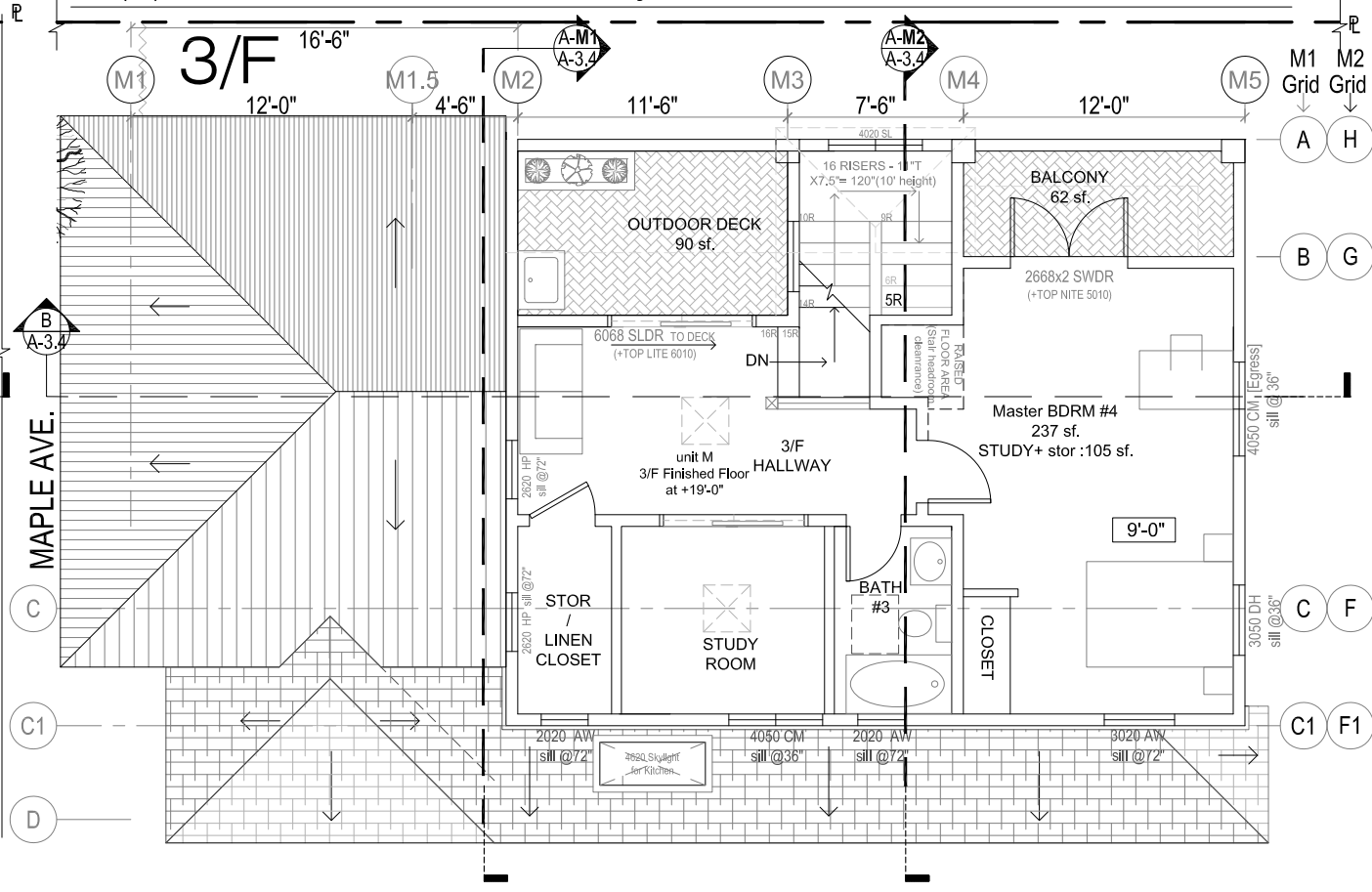
B. (N) 2/F FLOOR PLAN w/o Outdoor Light Court 1/4" = 1'-0"



D. (N) ROOF PLAN without Roof Terrace 1/4" = 1'-0"



C. (N) 3/F FLOOR PLAN w/ Balcony & Deck 1/4" = 1'-0"



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LICENSED ARCHITECT
WINNIE TAM
C-31166
Exp. 03/27

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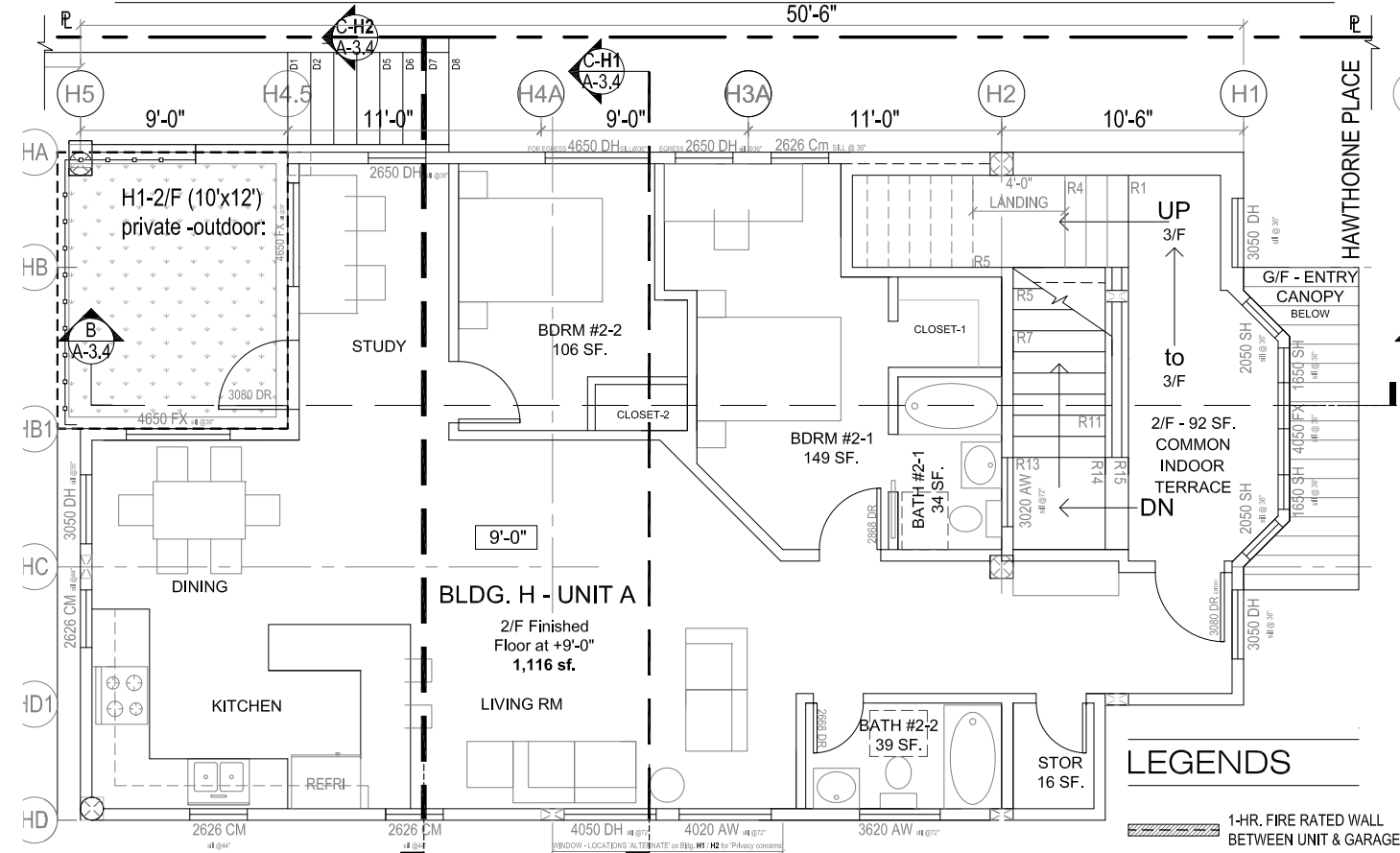
SHEET TITLE:
UNIT M1
(N) FLOOR PLANS:
- G/F, 2/F, 3/F,
and Roof Terrace.

SCALE: 1/4" = 1'-0"

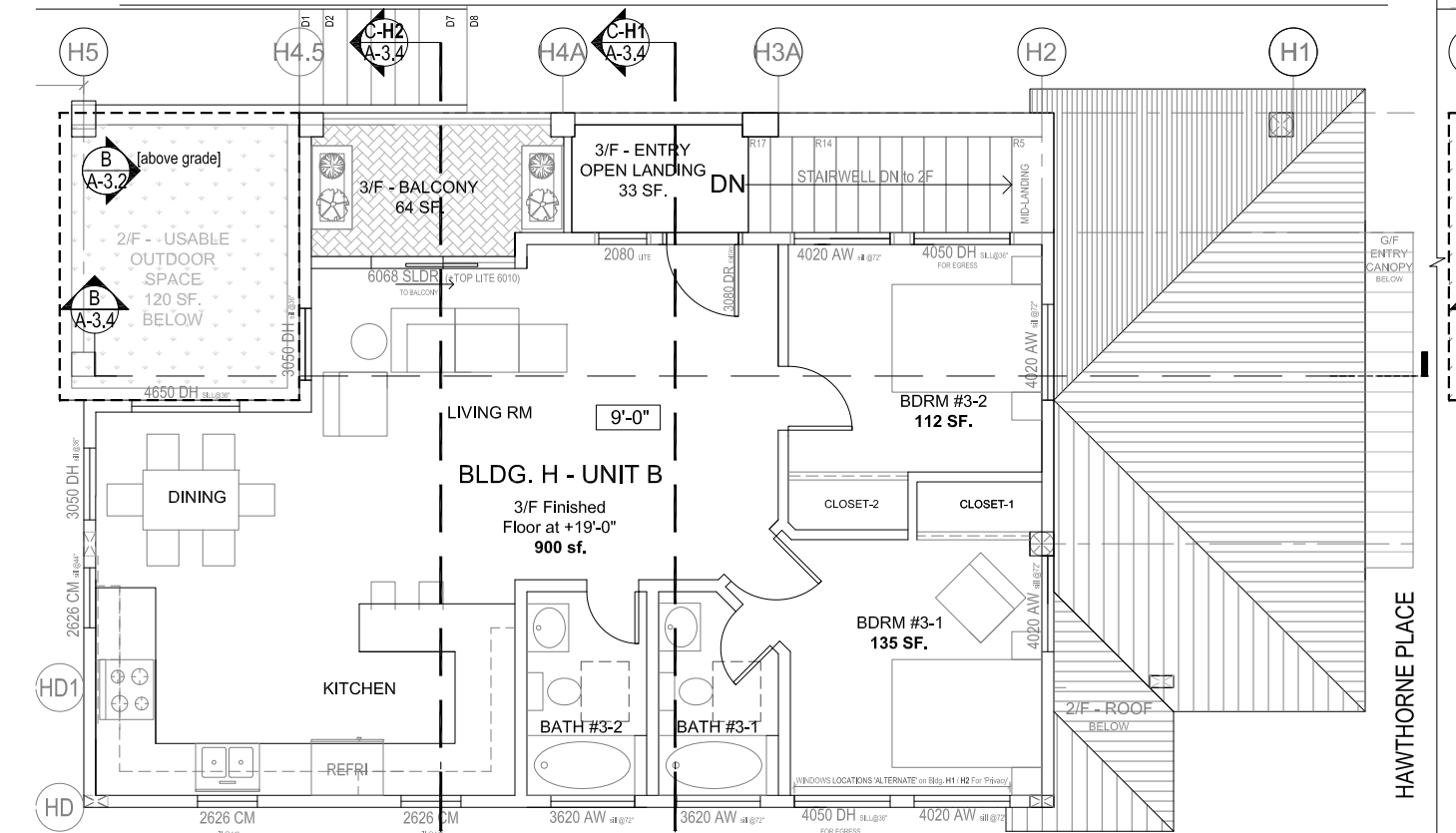
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Hawthorne Bldg. H1 CONDO UNITS (SIM. H2) :

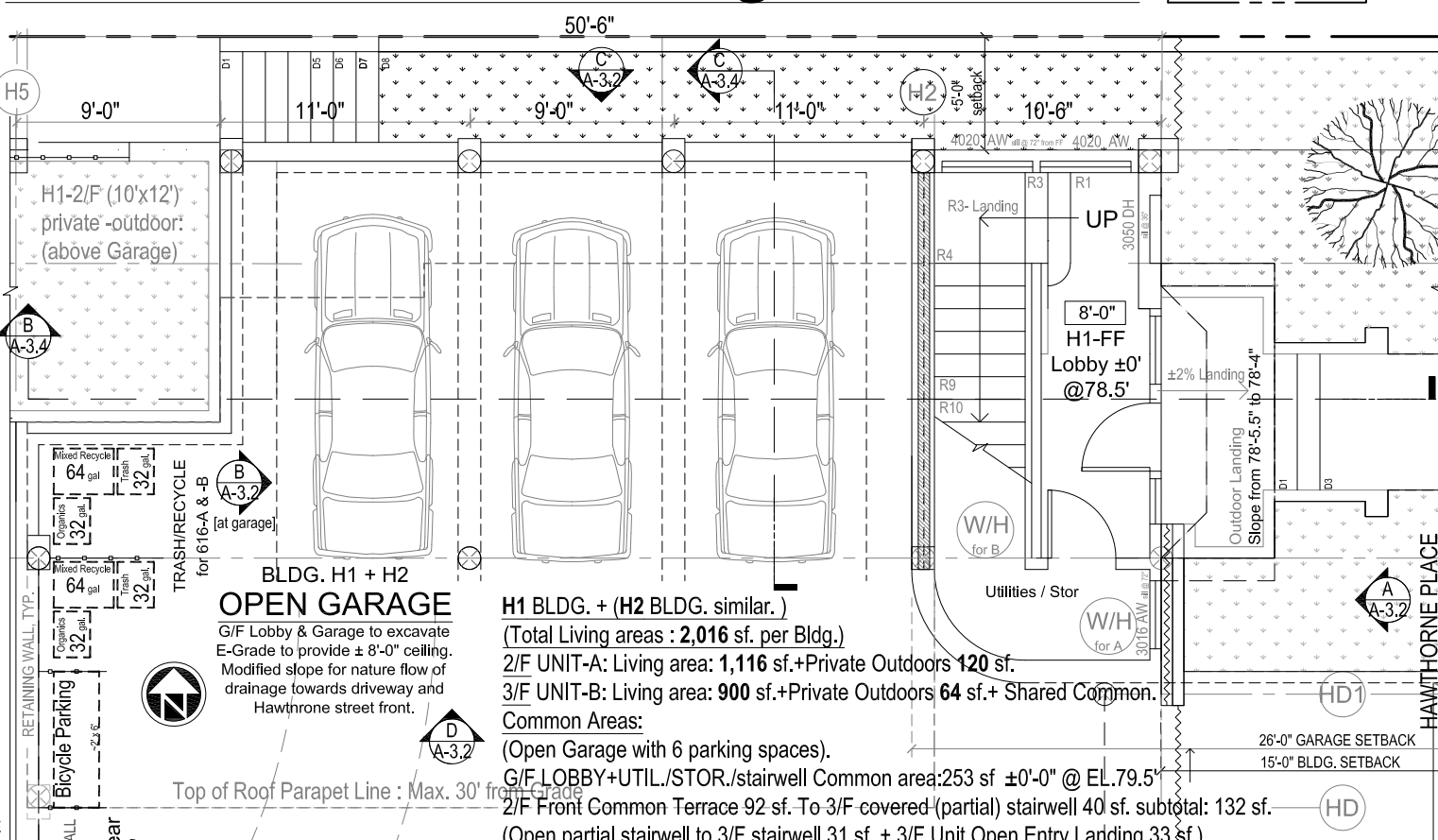
B. (N) 2/F FLOOR PLAN : UNIT A - 2+ Bdrm 2 Baths 1/4" = 1'-0"



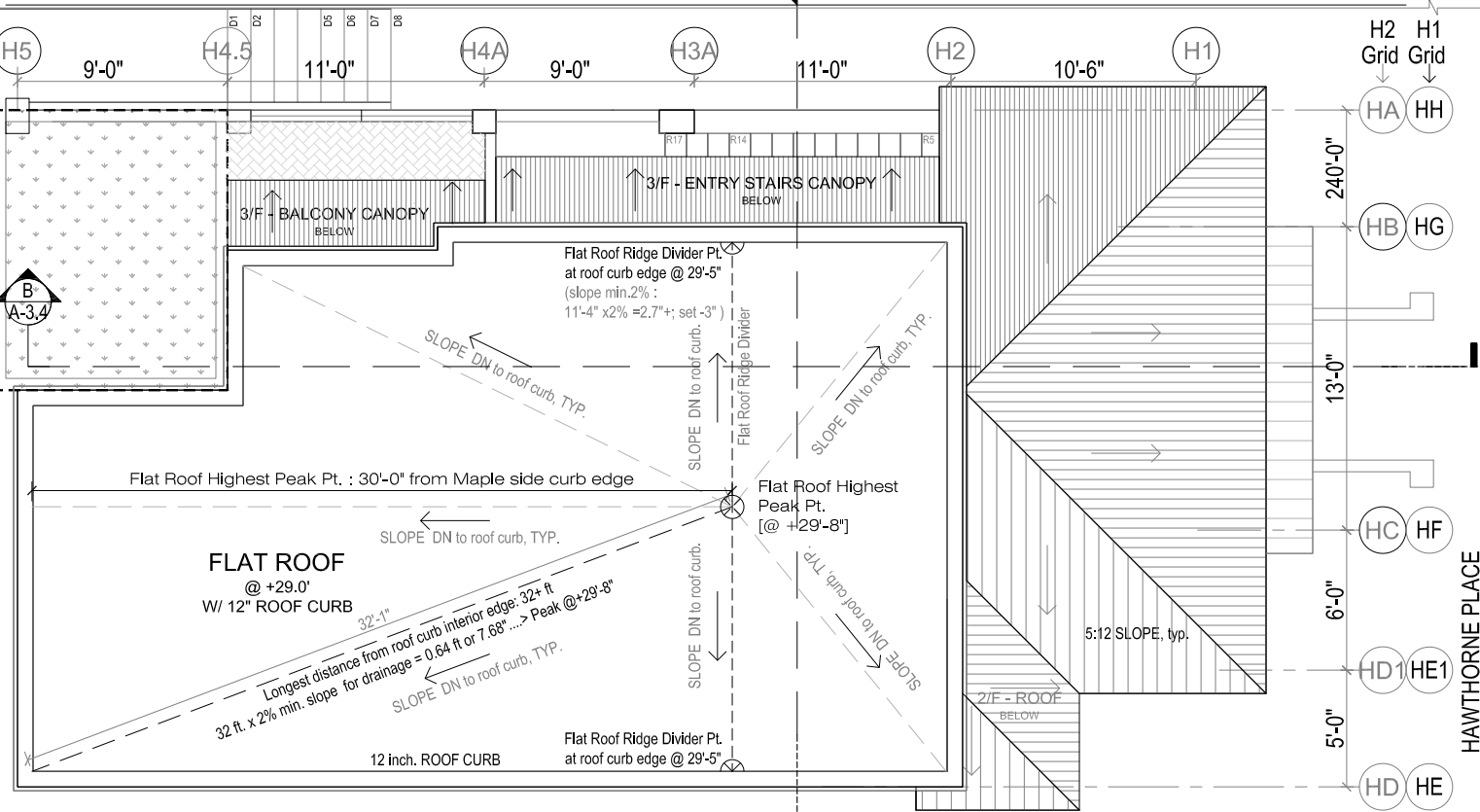
C. (N) 3/F FLOOR PLAN : UNIT B - 2 Bdrm 2 Baths 1/4" = 1'-0"



A. (N) G/F FLOOR PLAN : Open Garage/Lobby 1/4" = 1'-0"



D. (N) FLAT ROOF PLAN 1/4" = 1'-0"



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SHEET TITLE :
BLDG. H1/ H2 SIM.
(N) FLOOR PLANS:
- G/F, 2/F, 3/F,
and Roof Plans.

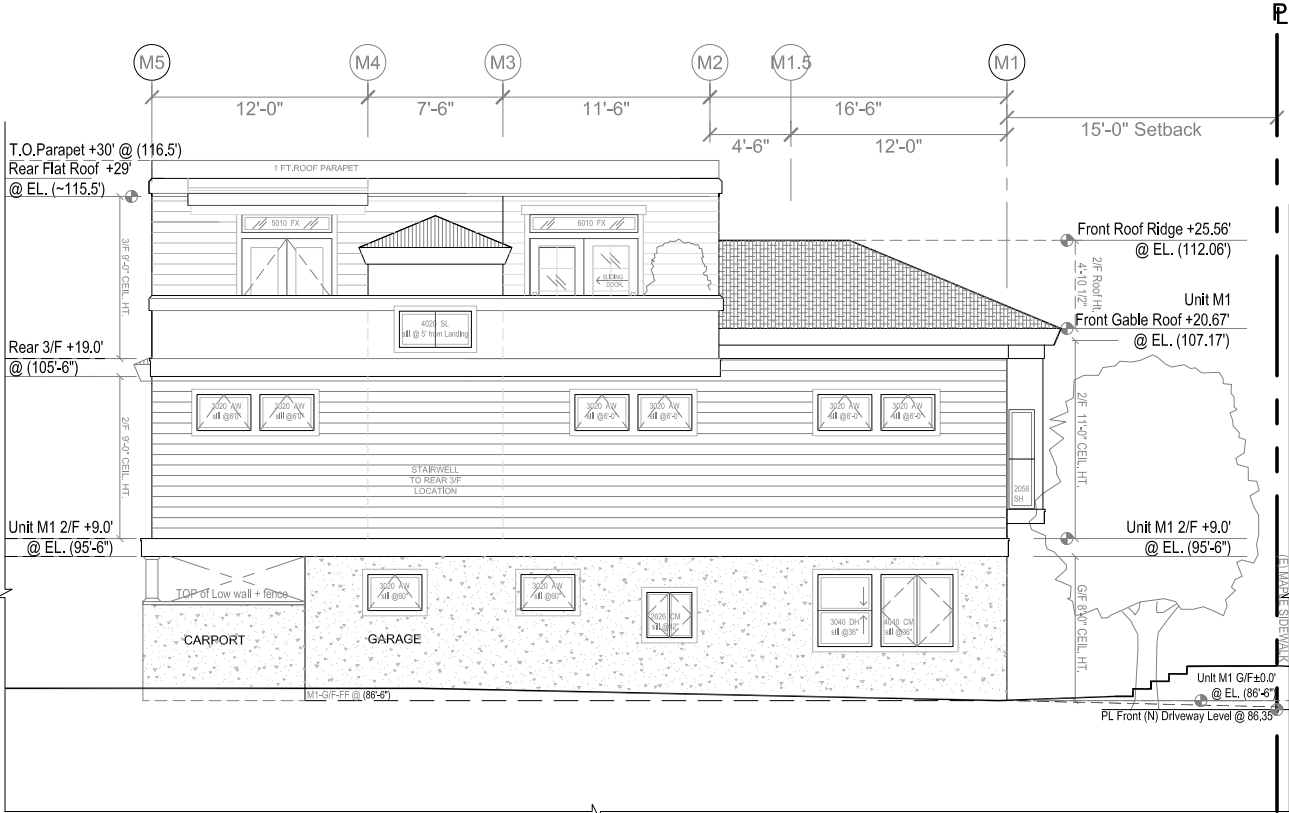
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A-2.2

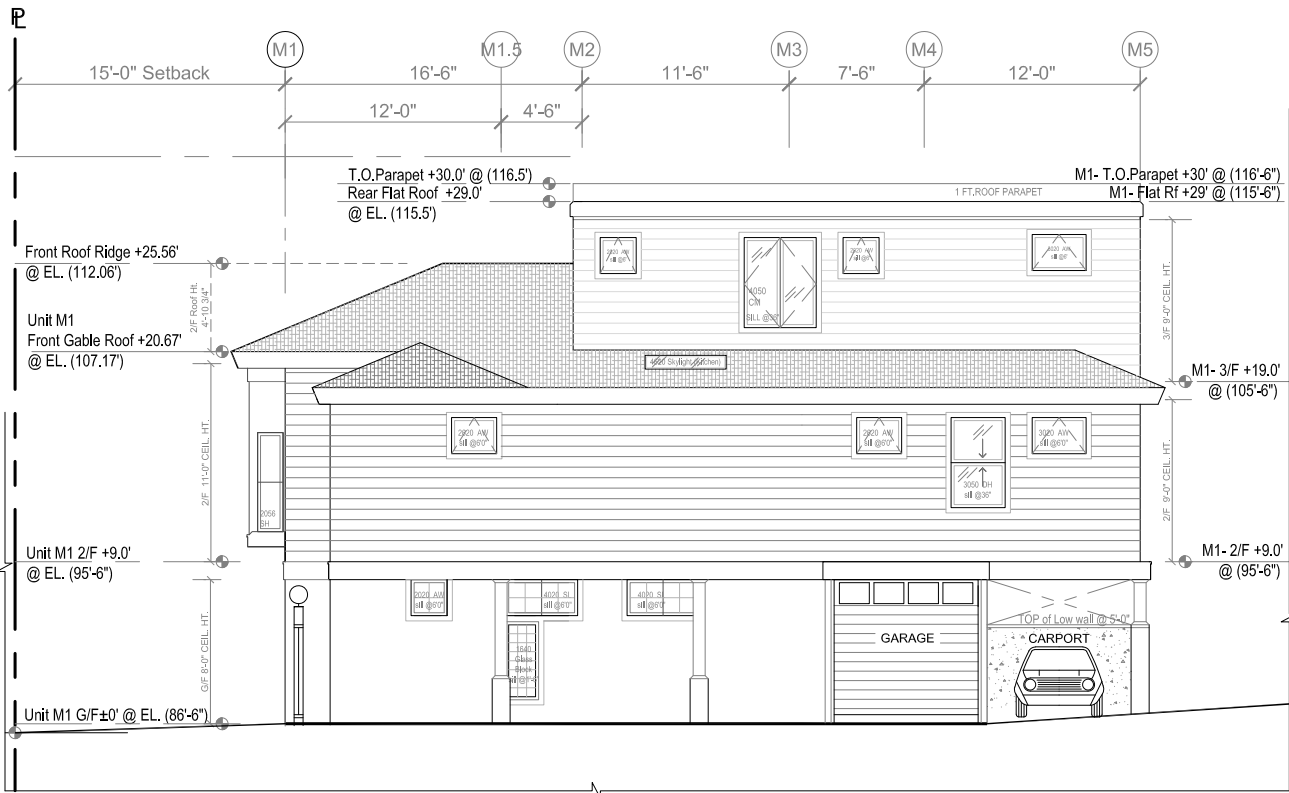
6 SHEET OF

Maple Townhouse Unit - M1 & M2(SIM.) :

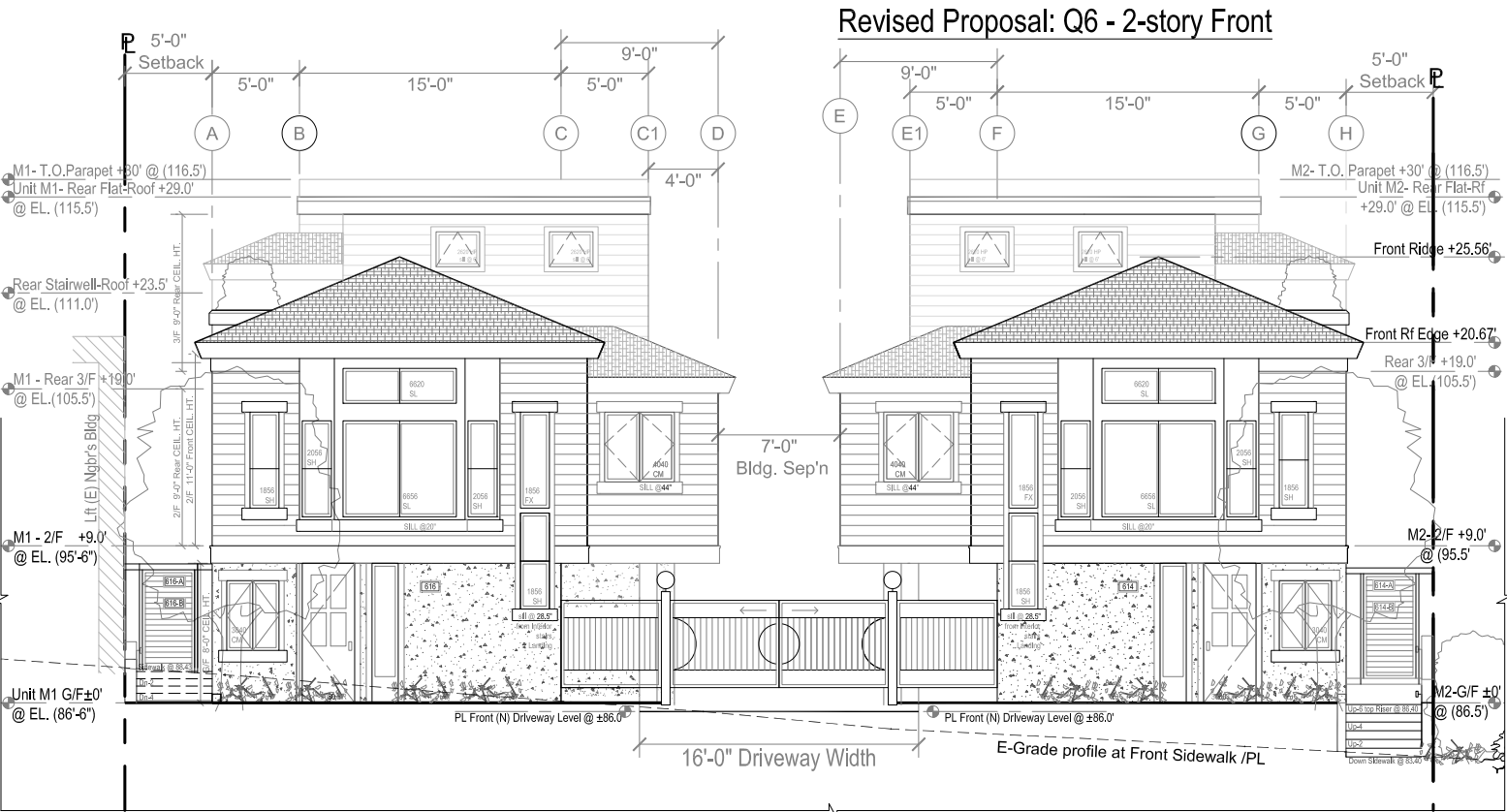
C. (N) SIDE ELEVATION - NORTH - M1 (sim M2) 3/16" = 1'-0"



D. (N) SIDE ELEVATION - SOUTH - M1 (sim M2) 3/16" = 1'-0"



A. (N) FRONT ELEVATIONS ALONG MAPLE AVE. (M1 & M2) 3/16" = 1'-0"



B. (N) REAR ELEVATION - M1 & M2 3/16" = 1'-0"



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SHEET TITLE:

ELEVNS - M1 (& M2)

- (N) FRONT ELEVATIONS

- (N) SIDE ELEVATIONS

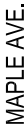
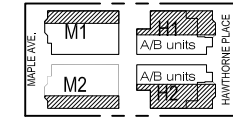
- (N) REAR ELEVATION

SCALE: 3/16" = 1'-0"

SHEET NO.:

A-3.1

7 SHEET OF

$$3/16'' = 1'-0''$$


HAWTHORNE PLACE

$$\frac{3}{16}'' = 1'-0''$$

LEGENDS

MAPLE AVE.

Notes for setting up M-Bldg & H-Bldg FF levels :
Maple Ave PL front / Driveway @ ±86'; M-Bldg G/F FF set @ **86.5'**, to be above Front yard grade.
 Per Civil Grading Plan, end of Fire Access level terrace (N) garage is @ 87.17' where it reached
 H-Bldg end wall at the H-2/F unit outdoor space. **H-Bldg 2/F-FF** should be above outdoor grade
 level, being set @ **87.5'**. Hence **H-Bldg G/F-FF** is 9 ft. below 2/F, being set @ **78.5'**.)

Long Elevations Revised for Level Fire Access
Terrace Per Civil proposed Grading Plan



DOWNTOWN MEDIUM DENSITY RESIDENTIAL

MAPLE - NEW TOWNHOUSES

6 UNITS - 3 size-styles within 4 detached buildings
616 MAPLE AVENUE, SOUTH SAN FRANCISCO CA 94080

BUILDING PERMIT APPLICATION

PERMIT # _____

DGN REVIEW BOARD
PROJECT # : P15-0039; DR15-0035
Initial approved: JUL:31, 2015; Revised

1st PLANN COMM. MEETING
JAN 21, 2016

REVISIONS

1st Revised Sk-R5b: Mar 2017
2nd Revised Sk-Q6: Apr 2018
Sk-Q6-Opt3a: Dec 2021
DgnRvBdMtg-Q6: Aug15 2023
FireAccessGrading: Oct 2024
AddCivil/LandSubmit:Mar2025
Neighborhood Mtg: July 2025

DATE: Jul 10, 2025

SHEET TITLE :

LONG ELEV'NS
- (N) H1 & M1 ELEVATION
- (N) M2 & H2 ELEVATION

SCALE : 3/16" = 1'-0"

SHEET NO.:

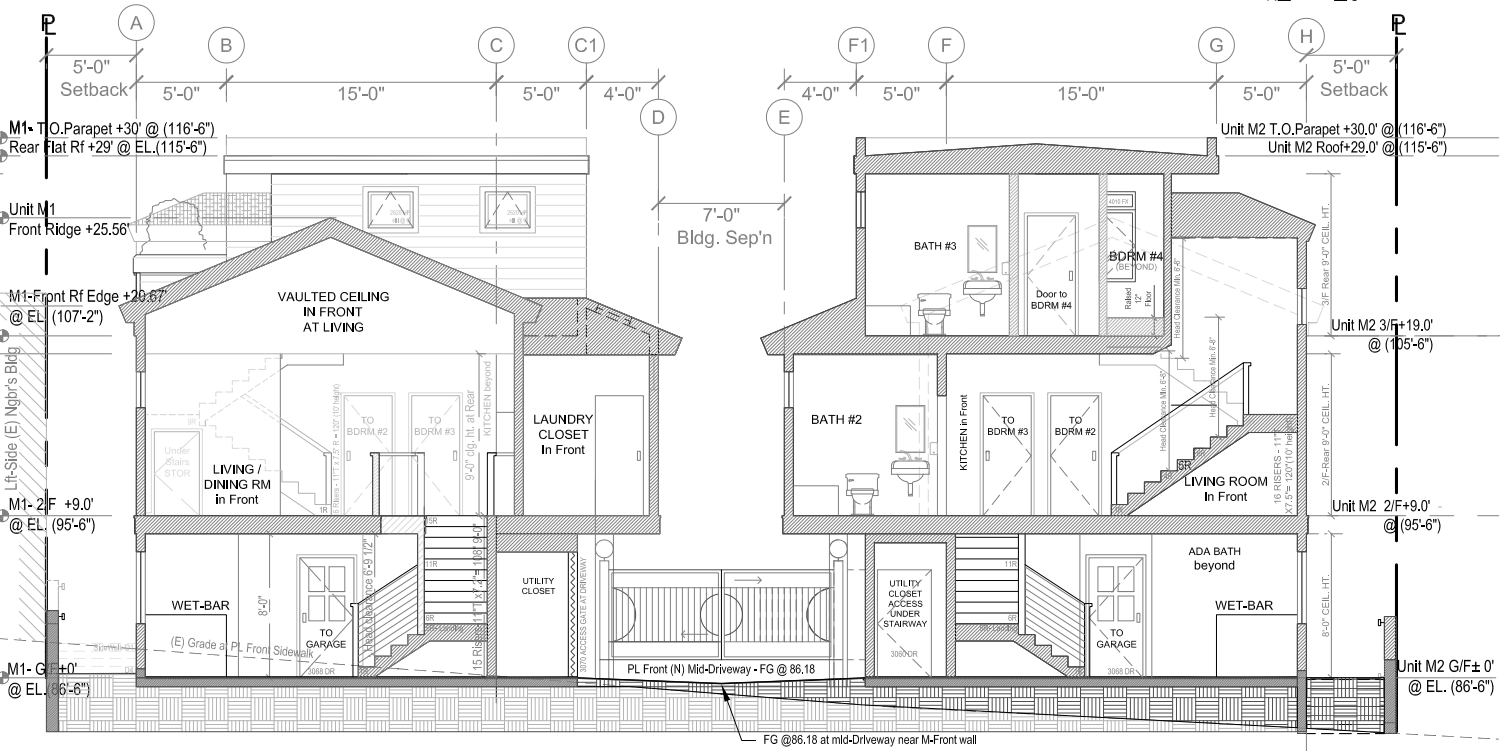
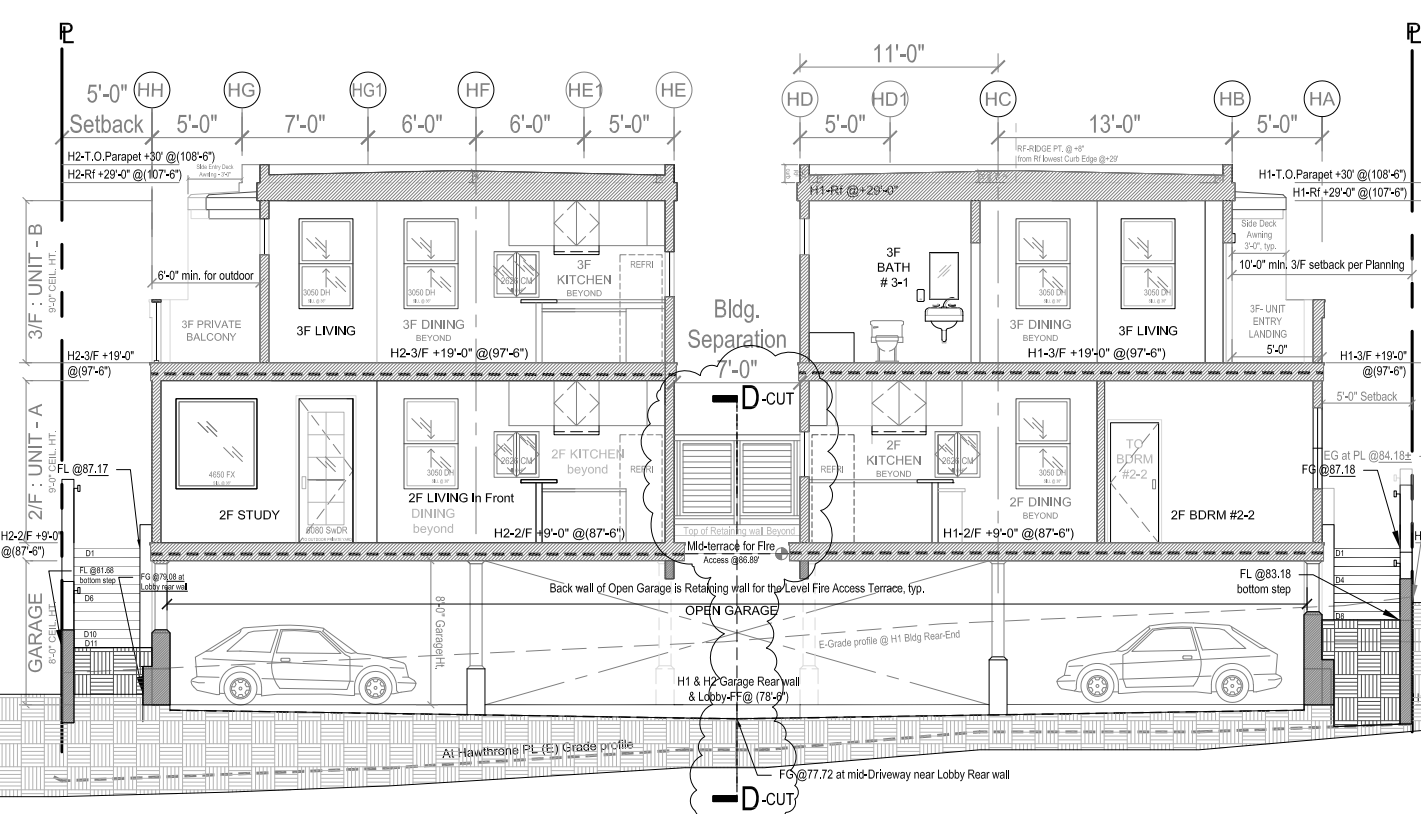
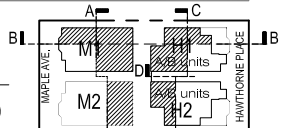
A-3.3

9 SHEET OF

C. (N) ANALYTICAL SECTIONS THRU H2 & H1

3/16" = 1'-0"

A. (N) ANALY. SECTION Thru M1(@Front Living) & M2(@ Rear- 2&3/F)

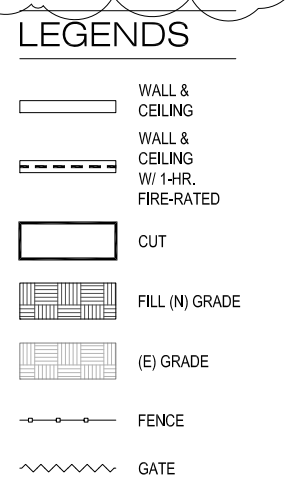
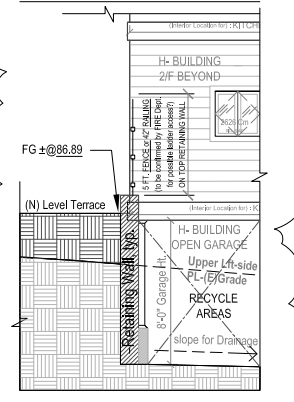
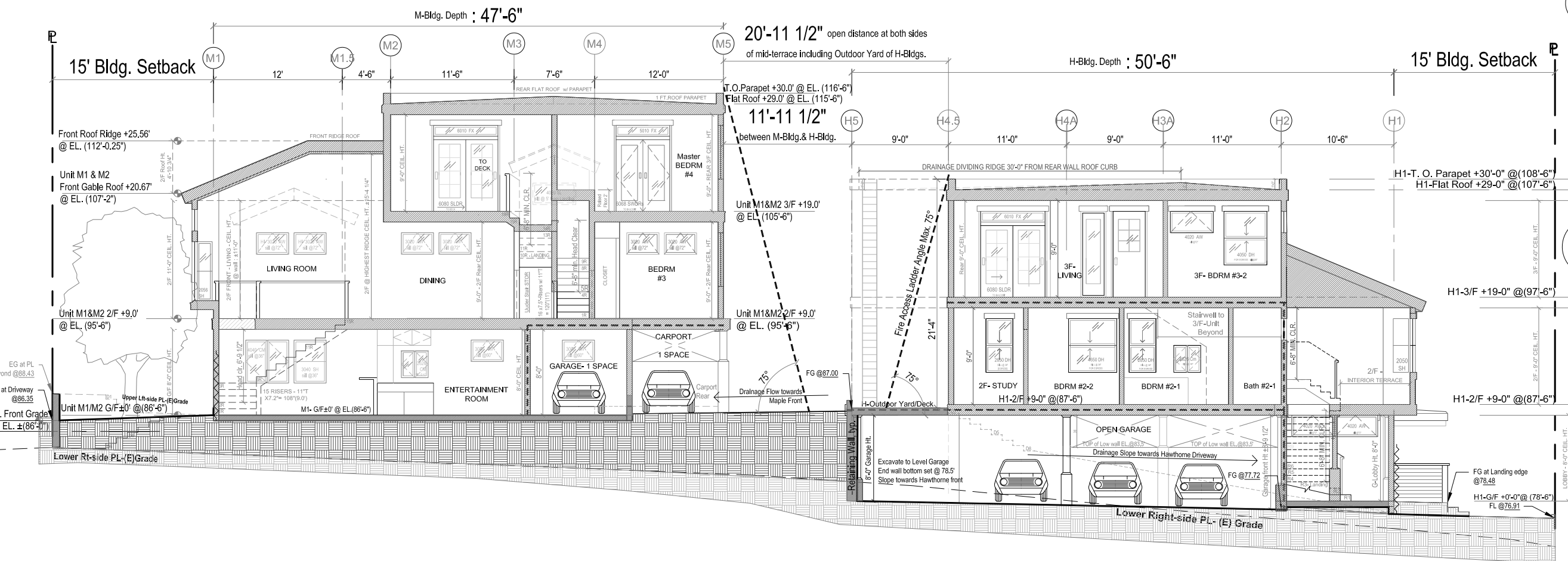


Two M-bldgs need to be Level on same FF elevations to provide a Level Accessible driveway

B. (N) LONGITUDINAL SECTION / ELEVATIONS THRU M1 & H1

3/16" = 1'-0"

D. at Retaining wall btw H-bldgs



LICENSED ARCHITECT
WINNIE TAM
C-31166
Ren. 6/30/27
STATE OF CALIFORNIA

BUILDING PERMIT APPLICATION

PERMIT #

DGN REVIEW BOARD
PROJECT #: P15-0039; DR15-0035
Initial approved: JUL.31, 2015; Revised

1st PLANN COMM. MEETING
JAN 21, 2016

REVISIONS
1st Revised Sk-R5: Mar 2017
2nd Revised Sk-Q6: Apr 2018
Sk-Q6-Opt3a: Dec 2021
DgnRvBdMtg-Q6: Aug 15 2023
FireAccessGrading: Oct 2024
AddCivil/LandSubmit:Mar2025
Neighborhood Mtg:July31,2025
PlnComHearing: Oct 16, 2025

DATE: Oct 10, 2025

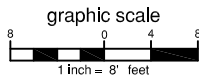
SHEET TITLE:
SECTIONS
- (N) M1-M2 SECTION
- (N) M1-H1 SECTION

SCALE: 3/16" = 1'-0"

SHEET NO.:

A-3.4

10. SHEET OF



AP	ANGLE POINT	COR	CORNER	MON	MONUMENT	WF	WOOD FENCE—HEIGHT NOTED
AS	ASSESSOR'S PARCEL NUMBER	DC	DRAINAGE INLET	NG	NATURAL GROUND	WM	WATER METER
BNR	BUILDING CORNER	DOC	DOCUMENT NUMBER	OFF	OFFICIAL RECORD	WM	WATER METER
BDM	BOLLARD DISC MONUMENT	EB	ELECTRICAL JUNCTION BOX	P	PRORATED DISTANCE	WM	WATER VAULT
BOL	BOLLARD	EP	EDE OF ASPHALT PAVEMENT	PB	PACIFIC BELL		
BOW	BACK OF WALK	F	FOUND	PL	PROPERTY LINE		
CBT	CABLE TV BOX	FDC	FIRE DEPARTMENT CONNECTION	SLB	STREET LIGHT BOX		
CATCH	CATCH BASIN	FENCE	FENCE—HEIGHT & TYPE NOTED	SSO	SANITARY SEWER CLEAN OUT		
CL	CLUST IN PLACE	GRD	GUARD RAIL	SS	SANITARY SEWER LATERAL		
CLF	CHAIN LINK FENCE	GM	GAZ METER	SSMH	SANITARY SEWER MAN HOLE		
COL	COLUMN	GV	GAZ VALVE	SQ	SQUARE FEET		
CNC	CONCRETE	HV VLT	HIGH VOLTAGE VAULT	T	TREE	W/ 2" DIAMETER TRUNK	

BOUNDARY OF SUBJECT PROPERTY

CENTER LINE

STREET RIGHT-OF-WAY/PROPERTY LINE

X X X

FENCE-HEIGHT AND TYPE NOTED

BUILDING OUTLINE

CURB AND GUTTER

CONCRETE

THE BEARING OF NORTH 15°33'00" EAST (BASIS OF BEARINGS), FOR THE CENTERLINE OF MAPLE AVENUE, AS SHOWN ON THE MAP OF THE CITY OF SOUTH SAN FRANCISCO, FILED FOR RECORD IN VOLUME 2 OF RECORD SUBDIVISION MAPS, PAGE 52B, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

NAME: SSMH

DESCRIPTION: SANITARY SEWER MANHOLE RIM

ELEVATION: 75.47 FEET - CITY OF SOUTH SAN FRANCISCO DATUM
NGVD 29

RECORD MAP: CITY OF SOUTH SAN FRANCISCO SEWER AS-BUILT MAPS ON
FILE WITH THE PUBLIC WORKS DEPARTMENT

LOCATION: SOUTHWEST CORNER OF MAPLE AVENUE AND CALIFORNIA
AVENUE.

I HEREBY CERTIFY THAT THIS MAP WAS PREPARED BY ME AND IS BASED ON FIELD WORK COMPLETED IN JANUARY OF 2014.

BY: CURT CHAPPELL, PLS 7992
DATED: JUNE 9, 2015

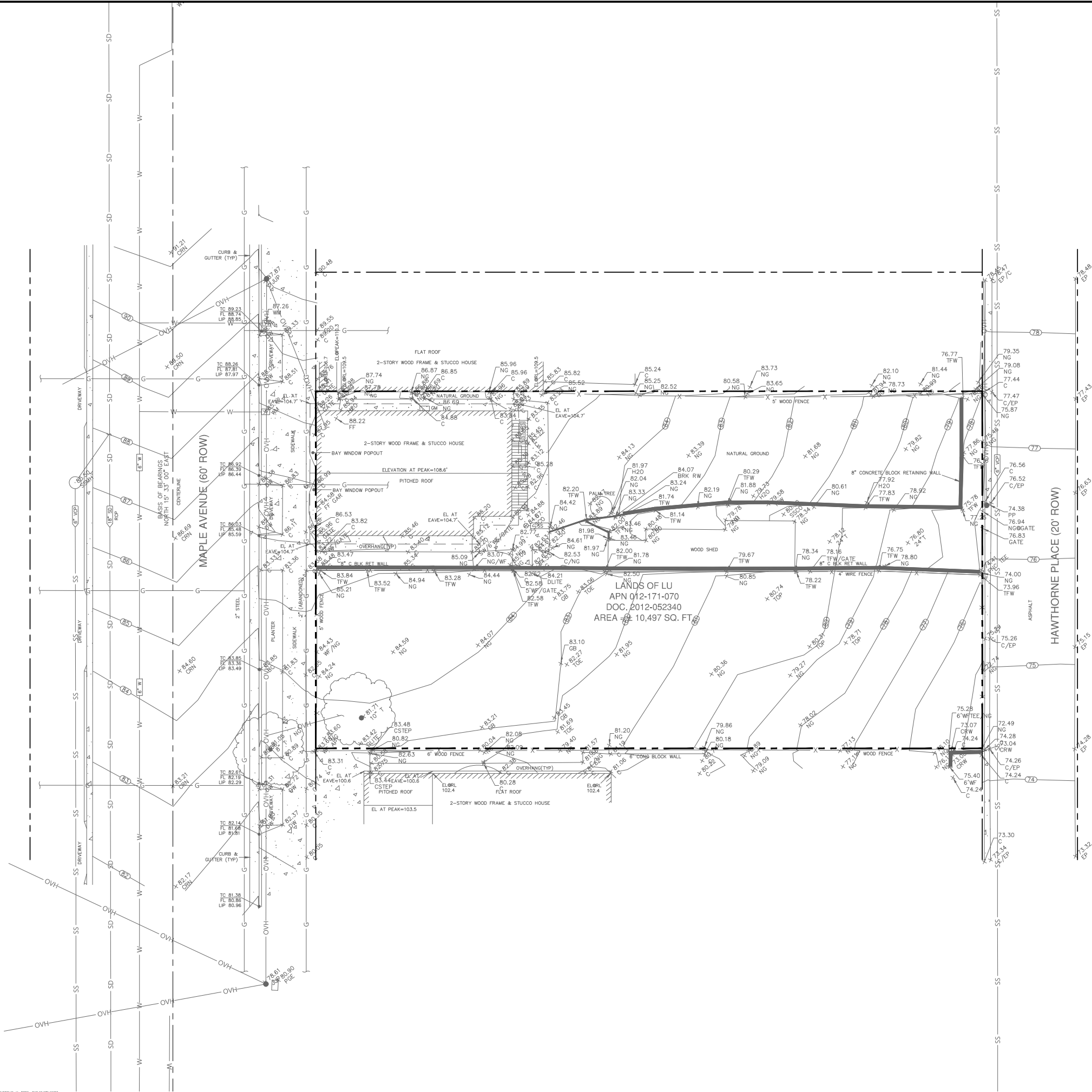


BOUNDARY & TOPOGRAPHIC SURVEY

LANDS OF LU
616 MAPLE AVENUE, SOUTH SAN FRANCISCO

SOUTH SAN FRANCISCO
COUNTY OF SAN MATEO
STATE OF CALIFORNIA

zanetti surveying & mapping | 8 barton park | phone 408.375.5220
oakdale ♦ ca ♦ 95361 | curtrock @ sbcglobal. net



LEGEND

- PROPERTY LINE
- CENTERLINE
- MAJOR CONTOUR
- MINOR CONTOUR
- SD STORM DRAIN
- SS SANITARY SEWER
- W WATER MAIN
- G GAS LINE
- OVH OVERHEAD LINE
- BENCHMARK
- WATER METER
- FIRE HYDRANT
- WATER VALVE
- PG&E ELECTRIC BOX
- JOINT POLE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE

NOTES

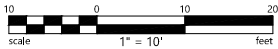
- TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY ZANETTI SURVEYING AND MAPPING, DATED JANUARY 27, 2014.

BASIS OF BEARINGS

THE BEARING OF NORTH 15°33'00" EAST (BASIS OF BEARINGS), FOR THE CENTERLINE OF MAPLE AVENUE, AS SHOWN ON THE MAP OF THE CITY OF SOUTH SAN FRANCISCO, FILED FOR RECORD IN VOLUME 2 OF RECORD SUBDIVISION MAPS, PAGE 52B, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

BENCHMARK

NAME: SSMH
DESCRIPTION: SANITARY SEWER MANHOLE RIM
ELEVATION: 75.47 FEET - CITY OF SOUTH SAN FRANCISCO DATUM NGVD 29
RECORD MAP: CITY OF SOUTH SAN FRANCISCO SEWER AS-BUILT MAPS ON FILE WITH THE PUBLIC WORKS DEPARTMENT
LOCATION: SOUTHWEST CORNER OF MAPLE AVENUE AND CALIFORNIA AVENUE.



PRELIMINARY
NOT FOR CONSTRUCTION

DATE

BKF ENGINEERS
150 CALIFORNIA STREET
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com



MAPLE - NEW TOWNHOUSES

APN 012-171-070

616 MAPLE AVENUE, SOUTH SAN FRANCISCO, SAN MATEO COUNTY

EXISTING CONDITIONS

Revisions

No.

1 PLANNING SUBMITTAL

Date: 03/07/2025

Scale: AS SHOWN

Design: LP

Draft: LP

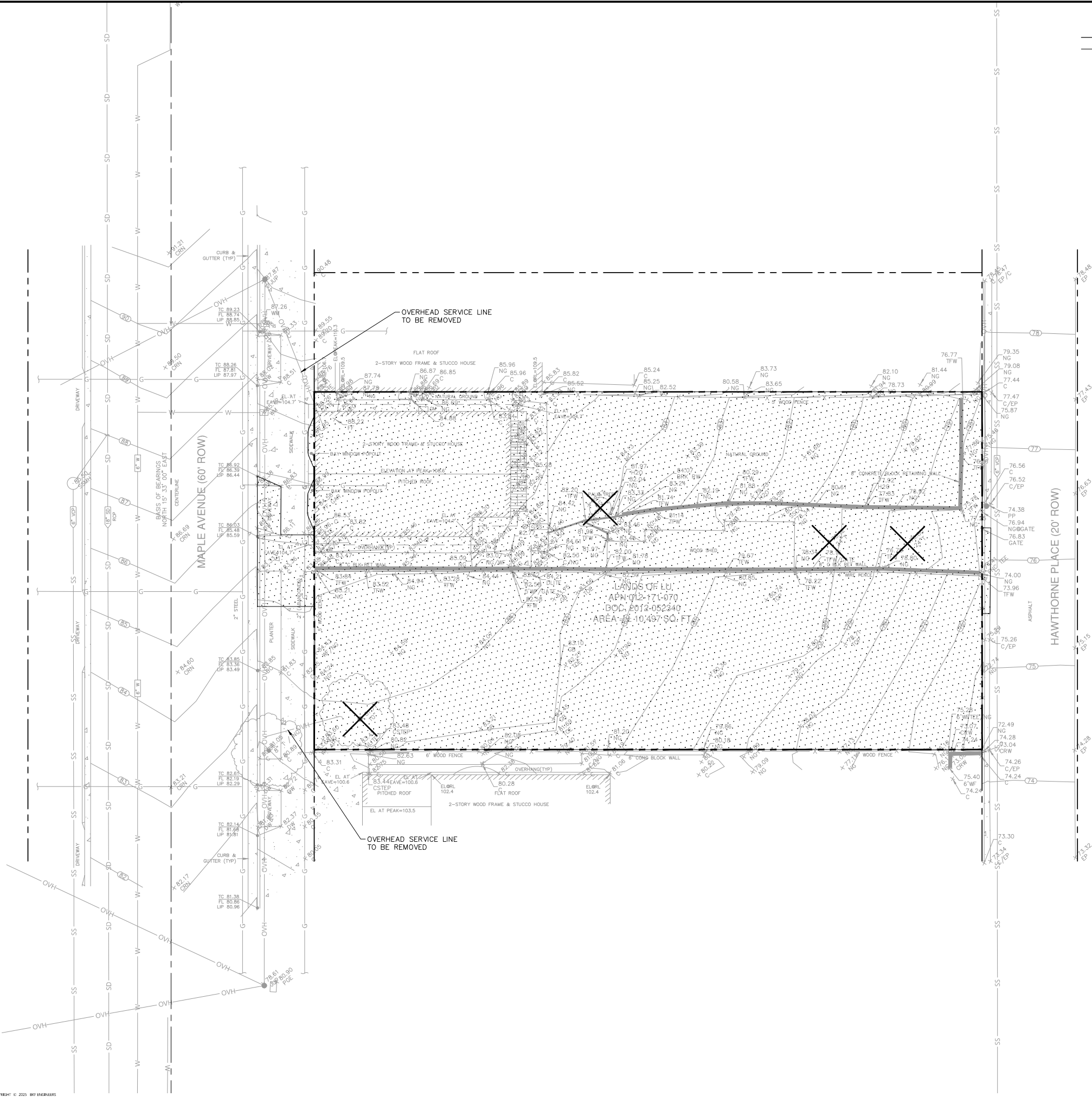
Approved: AJ

Job No: 232266

Drawing Number:

TM-1.0

1 OF 6



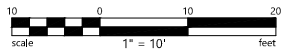
LEGEND

PROPERTY LINE
CENTERLINE
DEMOLITION LIMITS, SEE NOTE 1

REMOVE TREE

NOTES

1. WITHIN DEMOLITION LIMITS REMOVE ALL ASPHALT, AGGREGATE BASE, CONCRETE, TOPSOIL, ORGANIC MATERIAL, BUILDING STRUCTURES, WALLS, UTILITIES AND MISCELLANEOUS ITEMS UNLESS OTHERWISE NOTED ON PLANS. REMOVAL OF EXISTING SERVICES OR CAPPING OF LINES WITHIN CITY R.O.W. SHALL BE PER CITY OF SOUTH SAN FRANCISCO STANDARDS AND SPECIFICATIONS. UNLESS OTHERWISE NOTED, EXTENT AND EXACT LOCATION OF EXISTING UNDERGROUND UTILITIES ON-SITE ARE NOT KNOWN. WHERE UTILITIES ARE TO BE REMOVED, CONTRACTOR SHALL CONFIRM THAT SERVICE OF THAT UTILITY DOES NOT EXTEND TO ANY NEIGHBORING PROPERTY AND ALL UNDERGROUND FACILITIES FROM THAT STRUCTURE SHALL BE REMOVED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. IF BELOW-GROUND LINES 4" OR GREATER ARE DISCOVERED AT DEPTHS GREATER THAN THE EXCAVATION DEPTH REQUIRED FOR EARTHWORK, CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER REGARDING ABANDONMENT-IN-PLACE BY BACKFILLING THE PIPE WITH SLURRY.



MAPLE - NEW TOWNHOUSES

APN 012-171-070
616 MAPLE AVENUE, SOUTH SAN FRANCISCO, SAN MATEO COUNTY

DEMOLITION PLAN

Revisions	No.	1
Date: 03/07/2025	Scale: AS SHOWN	PLANNING SUBMITTAL
Design: LP		
Draft: LP		
Approved: AJ		
Job No: 232266		

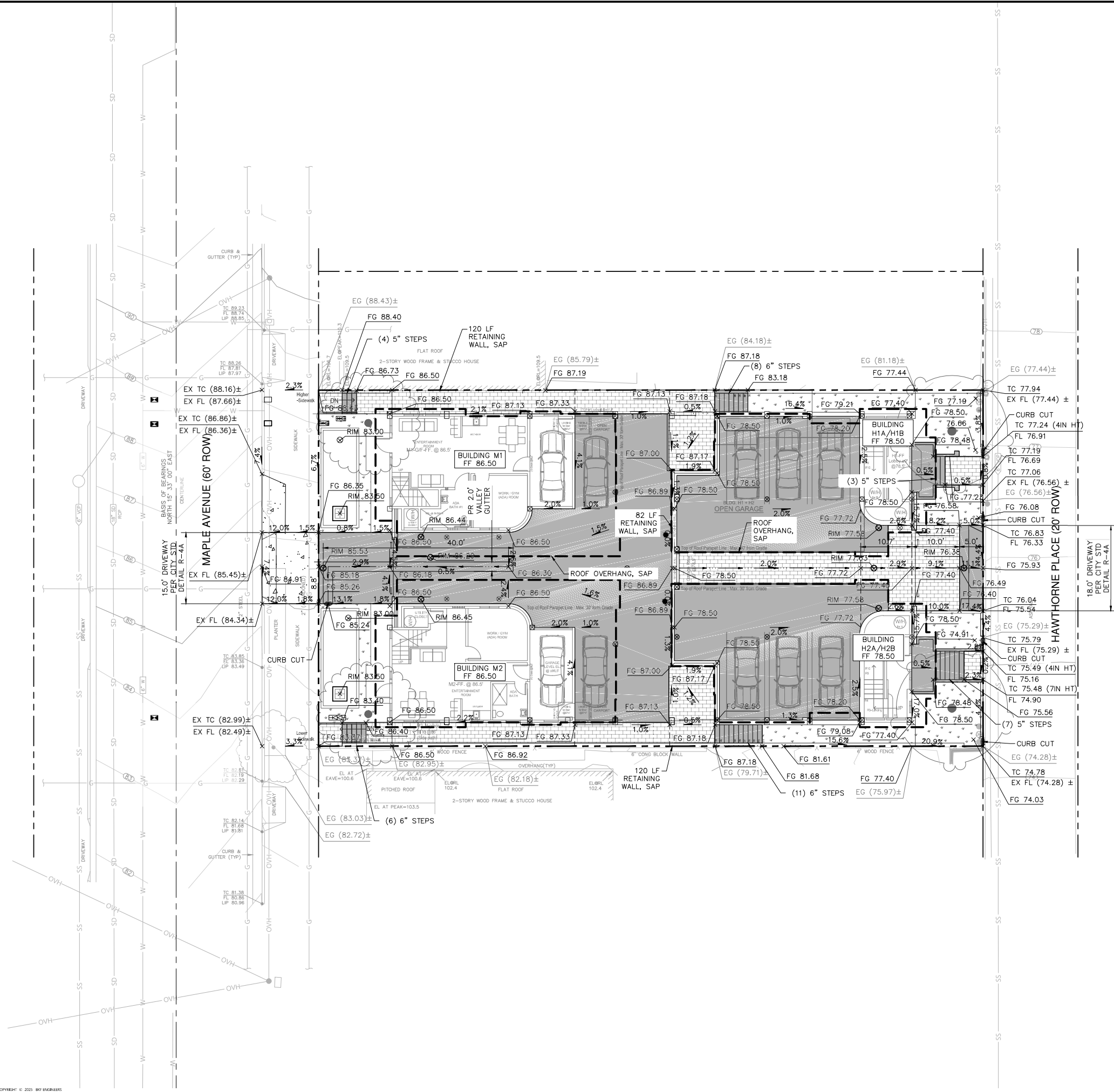
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TM-11
2 OF 6

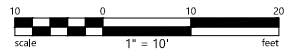
PRELIMINARY
NOT FOR CONSTRUCTION

DATE: 03/04/2025

BKF ENGINEERS
150 CALIFORNIA STREET
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com



- LEGEND**
- PROPERTY LINE
 - CENTERLINE
 - ROOF OUTLINE
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EG EXISTING GRADE
 - FG FINISHED GRADE
 - PR PROPOSED
 - EX EXISTING
 - SAP SEE ARCHITECTURAL PLAN



MAPLE - NEW TOWNHOUSES

APN 012-171-170
616 MAPLE AVENUE, SOUTH SAN FRANCISCO, SAN MATEO COUNTY

GRADING AND DRAINAGE PLAN

Date	No.	Revisions
03/07/2025	1	PLANNING SUBMITTAL
AS SHOWN		
Design: LP		
Drawn: LP		
Approved: AJ		
Job No: 232266		

Drawing Number:

TM-2.0

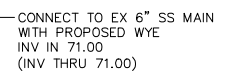
3 OF **6**

PRELIMINARY
NOT FOR CONSTRUCTION

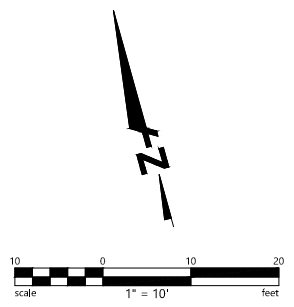
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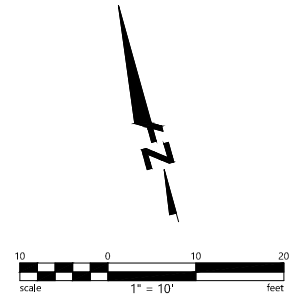
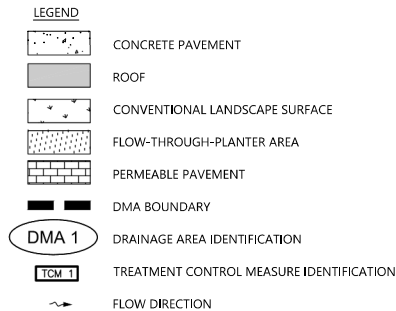


DATE: 03/04/2025

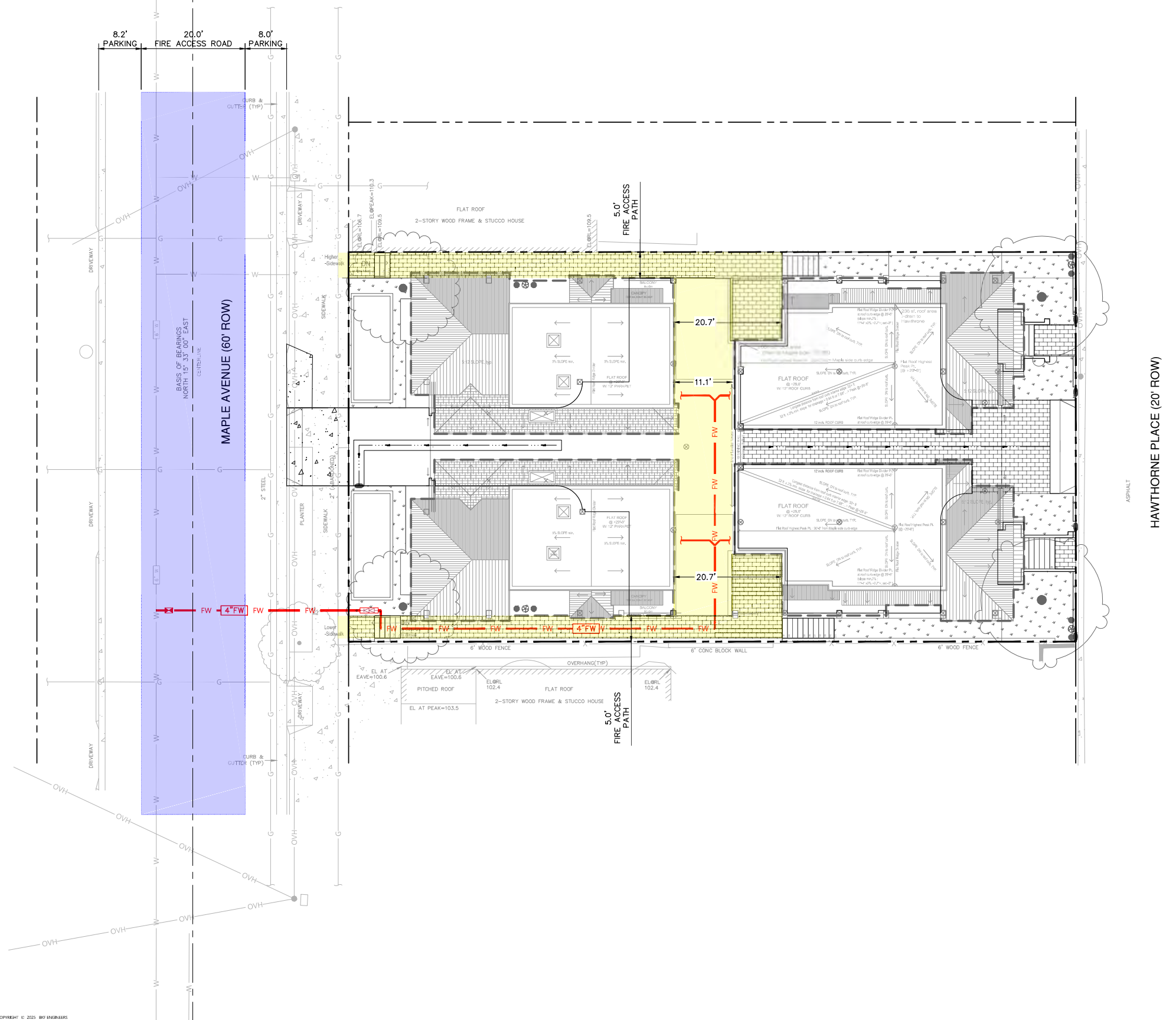


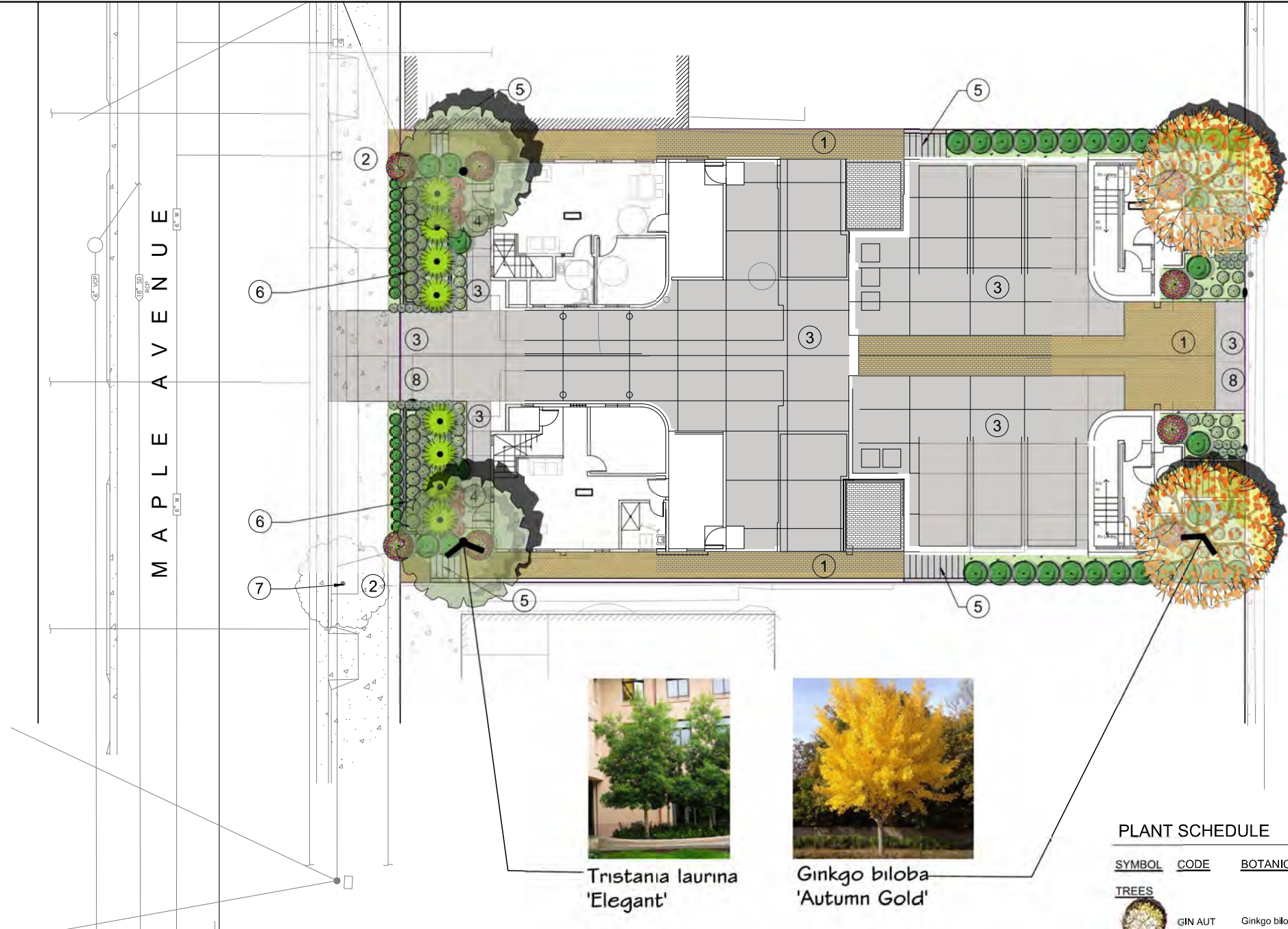
- ## NOTES
1. PIPE MATERIALS
 - A. 4" SANITARY SEWER: PVC SDR 26
 - B. 6" AND SMALLER STORM DRAIN: PVC SDR 35
 - C. 2" DOMESTIC WATER: PE 4710 TUBING
 - D. 4" FIRE WATER: PVC C900 (DR14)
 2. THE INVERT OF THE EXISTING SANITARY SEWER MAINS AT THE PROPOSED CONNECTION POINTS SHALL BE CONFIRMED IN THE FIELD PRIOR TO THE INSTALLATION OF ANY SEWER LATERALS SHOWN ON THE PLANS.





PROPOSED DRAINAGE MANAGEMENT AREA SUMMARY													
DMA	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	% IMPERVIOUS AREA	PERVIOUS AREA (SF)	% PERVIOUS AREA	EFFECTIVE IMPERVIOUS AREA (SF)	TCM	TCM Type	TREATMENT SIZING METHOD	TREATMENT REQUIRED AREA (SF)	TREATMENT PROVIDED AREA (SF)	TREATMENT REQUIRED DEPTH (IN)	TREATMENT PROVIDED DEPTH (IN)
1	6,483	5,997	93%	486	7%	6,046	1A and 1B	Flow-Through-Planter	4% Method	242	280	6	6
2	512	20	4%	492	96%	--	2	Permeable Paver	2:1	10	492	--	--
3	512	61	12%	451	88%	--	3	Permeable Paver	2:1	30	451	--	--
4	1,180	751	64%	429	36%	--	4	Self-Retaining	2:1	375	429	--	--
5	562	0	0%	562	100%	--	5	Permeable Paver	2:1	0	562	--	--
6	1,182	788	67%	394	33%	--	6	Self-Retaining	2:1	394	394	--	--
7	94	94	100%	0	0%	--	--	N/A	--	--	--	--	--
TOTAL	10,524	7,710	73%	2,814	27%					1,051	2,608		





KEY NOTES: STREET LEVEL

- 1 PERMEABLE PRECAST CONCRETE PAVERS
- 2 EXISTING CITY SIDEWALK
- 3 CONCRETE PAVING
- 4 ENTRY TO RESIDENCES
- 5 STEPS (CONCRETE)
- 6 FLOW-THROUGH PLANTER-FOR STORMWATER TREATMENT
SEE CIVIL ENGINEER'S PLANS.
- 7 EXISTING STREET TREE TO REMAIN UNDER EXISTING OVERHEAD
UTILITY LINES
CALLISTEMON VIMINALIS (WEEPING BOTTLEBRUSH)
- 8 PROPOSED DRIVEWAY

NOTES:

1. TREES PROPOSED FOR BOTH THE MAPLE AVENUE AND
HAWTHORNE PLACE FRONTAGES ARE FROM SPECIES LISTED
BY THE DESIGN REVIEW BOARD IN RECOMMENDATIONS
DATED AUGUST 21, 2023.

MAPLE
NEW
TOWNHOUSES

616 Maple Avenue
South San Francisco
California
94080

Taniguchi Landscape Architecture

1013 South Claremont St., Ste 1
San Mateo, CA 94402
v 650.638.9985 | f 650.638.9986
CLA #2942



ISSUE: DESCRIPTION: DATE:
1 PROGRESS PLANNING SUBMITTAL 03/05/25

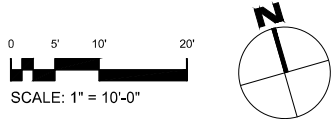
SCALE: 1" = 10'-0"
PROJECT NUMBER: TLAP 24004.000

SHEET TITLE

SCHEMATIC
LANDSCAPE
PLAN

SHEET NO.

L-1



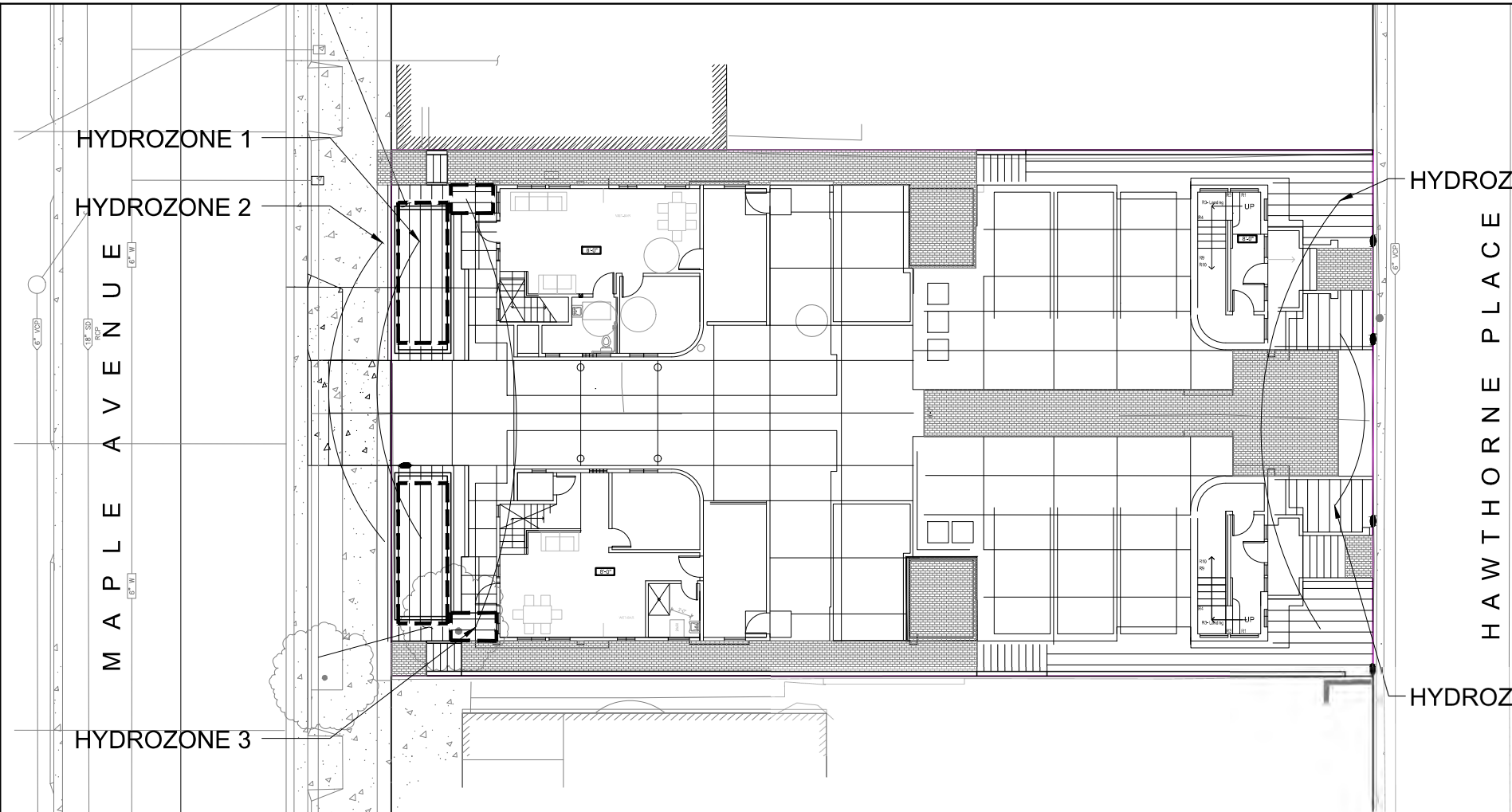
Tristania laurina
'Elegant'



Ginkgo biloba
'Autumn Gold'

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	REMARKS
TREES							
	GIN AUT	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree	15 gal.	Can	M	2	Male forms only
	TRI EL2	Tristania laurina 'Elegant' / Elegant Water Gum	15 gal.	Can	M	2	
SHRUBS							
	ARB ELF	Arbutus unedo 'Elfin King' / Elfin King Strawberry Tree	5 gal.	Can	L	6	
	CHO ELE	Chondropetalum elephanthinum / Large Cape Rush	1 gal.	Can	L	8	
	DIE BIC	Dietes bicolor / Fortnight Lily	1 gal.	Can	L	34	
	ERI MOE	Erigeron karvinskianus 'Moerheimii' / Pink Santa Barbara Daisy	1 gal.	Can	L	44	
	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Can	L	34	
	LOR FOO	Loropetalum chinense 'Raspberry' / Raspberry Fringe Flower	5 gal.	Can	L	8	
	MYR DWA	Myrtus communis 'Compacta' / Dwarf Common Myrtle	1 gal.	Can	L	21	
	NAN GUL	Nandina domestica 'Gulf Stream' / Gulf Stream Heavenly Bamboo	5 gal.	Can	L	6	
	PRU COM	Prunus caroliniana 'Compacta' / Compact Carolina Laurel Cherry	5 gal.	Can	L	29	



HYDROZONE LEGEND

- LOW WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS) 1,235 SF OR 83% OF IRRIGATED AREA
- MEDIUM WATER USE (SUBSURFACE DRIP AND/OR DRIP EMITTERS) 248 SF OR 17% OF IRRIGATED AREA
- HIGH WATER USE (TURF ROTORS AND/OR POP-UP SPRAY HEADS) 0 SF OR 0% OF IRRIGATED AREA

CONCEPTUAL IRRIGATION STATEMENT

- Irrigation design shall be zoned for 1) turf and annuals and other moderate to higher water use plant materials; 2) groundcovers, and 3) native and water conserving plant materials.
- Irrigation design shall also be zoned for micro climates including cool, shaded and protected areas, as well as hot, sunny and windy areas.
- Part shade areas include moderate water use areas having morning and/or afternoon shade.
- Cool and full shady areas include low water use areas for plants requiring little or no irrigation water and/or locations that will provide moist conditions.
- Layout shall be designed for minimum runoff and overspray onto non-landscaped areas
- Low volume sprinklers shall be used wherever possible with head to head coverage.
- Drip emitter or bubbler irrigation shall be utilized at trees to promote deep watering wherever possible.
- Drip irrigation shall be utilized at non-traffic or isolated planting areas to decrease the possibility of vandalism to the micro-tubing.
- The irrigation controller shall have ample capacity in terms of programs and cycles that will match the complexity of the landscape plan for more efficient watering. For example, the controller shall have the ability to have multiple cycles to permit a number of short duration waterings that will allow water to soak into the soil rather than run off.
- Individual bubblers or drip emitters shall be utilized to isolate water for plant materials and eliminate watering of "bare ground."

STANDARDS FOR IRRIGATION EQUIPMENT

- Mainlines shall be 1120 pvc-schedule 40 for pipe size 1 1/2" and smaller, 1120 pvc-class 315 for pipe sizes 2" and 2 1/2", bell and ring pvc-class 160 for pipe sizes 3" and larger.
- Lateral lines shall be 1120 pvc-class 200.
- Depth of mainline: 24" of cover
Depth of lateral line: 18" of cover
Depth of pipe under paving: 24" of cover encased in a sleeve
- Backflow preventer shall be a type approved by and installed per local codes.
- Sprinklers shall have matched precipitation rates within each control valve circuit.
- Precipitation rates for sprinklers shall match soil absorption rate.
- Sprinklers shall have pressure compensating feature whenever possible to prevent fogging and misting and to prevent wind drift.
- Sprinkler circuit shall have a check valve installed where necessary to minimize or prevent low head drainage.
- Rain sensing override devices shall be installed with controller.

Water Efficient Landscape Worksheet: 616 Maple (02/24/2025)

Reference Evapotranspiration (ETo)		35° S San Francisco					
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
#1 Maple St Stormwater	0.2	Drip	0.81	0.247	280	69.14	1,500
#2 Maple St Frontage	0.2	Drip	0.81	0.247	280	69.14	1,500
#3 Maple St Trees	0.5	Drip	0.81	0.617	50	30.86	670
#4 Hawthorne Pl Trees	0.5	Drip	0.81	0.617	675	416.67	9,042
#5 Hawthorne Pl Frontage	0.2	Drip	0.81	0.247	198	48.89	1,061
							0
				Totals	1,483	634.69	13,773
Special Landscape Areas (SLA)							
1) Pool/Spa				0	0	0	0
2) Water Features				0	0	0	0
				0	0	0	0
				Totals	0	0	0
						Estimated Total Water Use (ETWU)	13,773
						Maximum Allowed Water Allowance (MAWA)	14,481

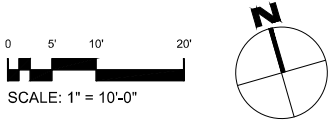
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

MAWA (annual gallons allowed)= (ETo) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	635
Total Area	1,483
Average ETAF	0.43
Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.	

All Landscape Areas	
Total ETAF x Area	635
Total Area	1,483
Site-wide ETAF	0.43



MAPLE NEW TOWNHOUSES

616 Maple Avenue
South San Francisco
California
94080

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v 650.638.9985 | f 650.638.9986
CLA #2942



ISSUE: DESCRIPTION: DATE:
1 PROGRESS PLANNING SUBMITTAL 03/05/25

SCALE: 1" = 10'-0"
PROJECT NUMBER: TLAF 24004.000
SHEET TITLE

IRRIGATION HYDROZONE PLAN

SHEET NO.

L-2