

FACILITY IMPROVEMENT:  
**FOOD TRUCK STATION**  
 151 MITCHELL AVENUE  
 SOUTH SAN FRANCISCO, CA 94080

**PROJECT DATA**

**APPLICABLE CODES:** ALL CONSTRUCTION IS TO CONFORM TO:  
 2016 CALIFORNIA BUILDING CODE  
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2016 CALIFORNIA ELECTRICAL CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA FIRE CODE  
 2016 CALIFORNIA ENERGY CODE  
 CITY OF SOUTH SAN FRANCISCO MUNICIPAL CODES AND ORDINANCES

**BUILDING:** SINGLE STORY  
**ZONING:** BC/BUSINESS COMMERCIAL  
**CONSTRUCTION TYPE:** V-B (SPRINKLERED)  
**(E) LOT AREA:** ±45,620 S.F.  
**(E) BUILDING AREA:** ±18,980 S.F. (±2,112 S.F. MEZZANINE)  
**(N) TENANT AREA OF WORK:** ±10,907 S.F. (FOOD TRUCK FACILITY)  
**(E) TENANT AREA NOT IN PROJECT SCOPE:** ±8,073 S.F. (WAREHOUSE)  
**PROPOSED USE:** GENERAL RETAIL SALES, FOOD TRUCK FACILITY, RETAIL WAREHOUSE AREA & AN AUXILIARY PREP KITCHEN  
**(E) OCCUPANCY GROUP:** "F-2"  
**PROPOSED OCCUPANCY GROUP:** "F-2" & "B"

**PARKING:** (29) SPACES, INCLUDING (2) ACCESSIBLE SPACES,  
 (6) COVERED PARKING SPACES.  
 6,843 SQ.FT. (15%) REQUIRED  
 6,895 SQ.FT. (15.1%) PROPOSED  
 PLANT AREA = 6,512 SQ.FT.  
 PERMEABLE PAVING AREA = 383 SQ.FT. < 10% ALLOWABLE

**DIRECTORY**

**OWNER:** HENRY CHEN  
 671 BROADWAY STREET  
 SAN FRANCISCO, CA  
 TEL: 415.89.7118

**ARCHITECT:** MENA ARCHITECTS  
 575 W. EL CAMINO REAL  
 MOUNTAIN VIEW, CA 94040  
 TEL: 650.210.8800

**INTERIOR ARCHITECT:** RESTAURANT DESIGN CONCEPTS  
 1017 22ND AVE SUITE 110-B  
 OAKLAND, CA 94606  
 TEL: 510.436.7000

**CIVIL:** RVR LLC  
 575 W. EL CAMINO REAL  
 MOUNTAIN VIEW, CA 94040  
 TEL: 408.813.2010

**MECH / ELEC / PLUMB ENGINEER:** MK ENGINEERS INC  
 3450 3RD STREET, STE 4B  
 SAN FRANCISCO, CA 94124  
 TEL: 415.282.0949

**LANDSCAPE:** WILSON & ASSOCIATES LANDSCAPE  
 815 SAN DIEGO RD  
 BERKELEY, CA 94707  
 TEL: 510.644.9602

**STRUCTURAL:** HOHBACH-LEWIN INC.  
 STRUCTURAL AND CIVIL ENGINEERS  
 545 SANSOME STREET, SUITE 850  
 SAN FRANCISCO, CA 94111  
 TEL: 415.316.6520 EXT. 310

**CONTRACTOR:** T.B.S.

**PARKING ANALYSIS**

USED	ROOM AREAS	PARKING RATIO REQUIRED	PARKING	
			REQUIRED	PROPOSED
<b>TENANT A</b>				
RETAIL	±1,660 S.F.	300/S.F.	5.53	
OFFICE	±176 S.F.	300/S.F.	.58	
WALK-IN FREEZER	±1,418 S.F.	2,000/S.F.	.75	
LOADING AREA	±863 S.F.	2,000/S.F.	.43	
WAREHOUSE	±1,134 S.F.	2,000/S.F.	.56	
ICE MAKER	±222 S.F.	2,000/S.F.	.11	
AUXILIARY AREA	±934 S.F.	2,000/S.F.	.47	
MEZZANINE	±2,112 S.F.	2,000/S.F.	1.1	
KITCHEN	±3,331 S.F.	1,500/S.F.	2.22	
RESTROOMS, EQUIPMENT ROOMS, & OTHER MISC. CIRCULATION	±1,169 S.F.	-	-	
<b>TENANT B</b>				
OTHER TENANT OFFICE	±2,000 S.F.	300/S.F.	6.66	
OTHER TENANT WAREHOUSE	±6,073 S.F.	1,500/S.F.	4.04	
<b>TOTALS:</b>	±18,980 S.F. (±21,092 S.F. W/ MEZZANINE)		22.81 = 23	28+ 1 VAN

**DRAWING INDEX**

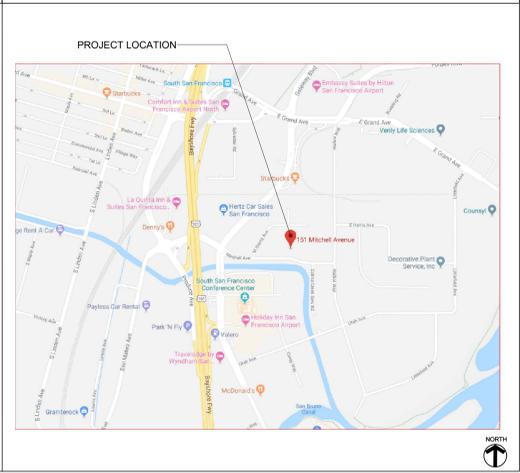
SHEET #	DESCRIPTION	REVISION
P001	COVER SHEET	
CIVIL		
C1	GRADING & DRAINAGE PLAN	
C2	DETAILS	
C3	STORMWATER CONTROL PLAN	
C4	STORMWATER CONTROL DETAILS	
C5	EROSION CONTROL PLAN	
C6	EROSION CONTROL DETAILS	
C7	UTILITY PLAN	
LANDSCAPE		
PL1	PRELIMINARY LANDSCAPE PLAN	
ARCHITECTURAL		
P010	AS BUILT SITE PLAN	
P011	PROPOSED SITE PLAN	
P012	TRASH ENCLOSURE AND DETAILS	
P013	SITE ACCESSIBILITY DETAILS	
P100	AS BUILT/ALTERNATION PLAN	
P101	PROPOSED FLOOR PLAN	
P102	PROPOSED MEZZANINE FLOOR PLAN	
P201	PROPOSED CEILING PLAN	
P202	PROPOSED MEZZANINE PLAN	
P203	PROPOSED ROOF PLAN	
P300	AS-BUILT ELEVATIONS	
P301	PROPOSED ELEVATIONS	
P302	COLOR RENDERING	
P303	EXISTING PHOTOS	
P801	DETAILS - WALLS	
P802	DETAILS - CEILING	
P804	DETAILS - ACCESSIBILITY	
INTERIOR		
K1.0	AS BUILT PLAN	
K3.0	FLOOR PLAN	
K3.1	EQUIPMENT SCHEDULE	
K3.2	EQUIPMENT SCHEDULE	
K3.3	EQUIPMENT SCHEDULE	
K8.0	ELEVATIONS	
ELECTRICAL		
E0.1	ELECTRICAL SYMBOL LIST, GENERAL NOTE, LUMINAIRE SPEC. SHEET, DRAWING LIST	
E1.1	PHOTOMETRIC PLAN	

**SCOPE OF WORK**

THE SCOPE OF WORK UNDER THIS APPLICATION INCLUDES TENANT IMPROVEMENTS TO ACCOMMODATE A NEW TRUCK FACILITY:

- THE TENANT IMPROVEMENTS SHALL INCLUDE BUT NOT LIMITED TO: NEW NON-BEARING WALLS, NEW WALL & FLOOR FINISHES, NEW CEILING AREAS, LIGHT FIXTURES. THIS ALSO INCLUDES MECHANICAL, ELECTRICAL AND PLUMBING ALTERATIONS NEEDED FOR THESE IMPROVEMENTS.
- ALTERATIONS TO THE BUILDING SHELL INCLUDE BUT NOT LIMITED TO: SELECT ROOF OPENINGS FOR NEW HVAC UNITS, REMOVAL & REPLACEMENT OF (E) ROLL-UP DOOR W/ (N) STOREFRONT ENTRANCE DOOR AND NEW PAINT FINISH FOR ENTIRE BUILDING EXTERIOR.
- THE SITE IMPROVEMENTS SHALL INCLUDE BUT NOT LIMITED TO: SELECT UPGRADES TO CONDITION THE SITE FOR THIS NEW USE, NEW STRIPING, SITE LIGHTING, TRASH ENCLOSURE, LANDSCAPING AND ACCESSIBLE PARKING COMPLIANCE.

**VICINITY MAP**



REVISION	DATE

DATE: 02.05.19

JOB NO.: 18-587

COVER SHEET

SCALE: AS NOTED











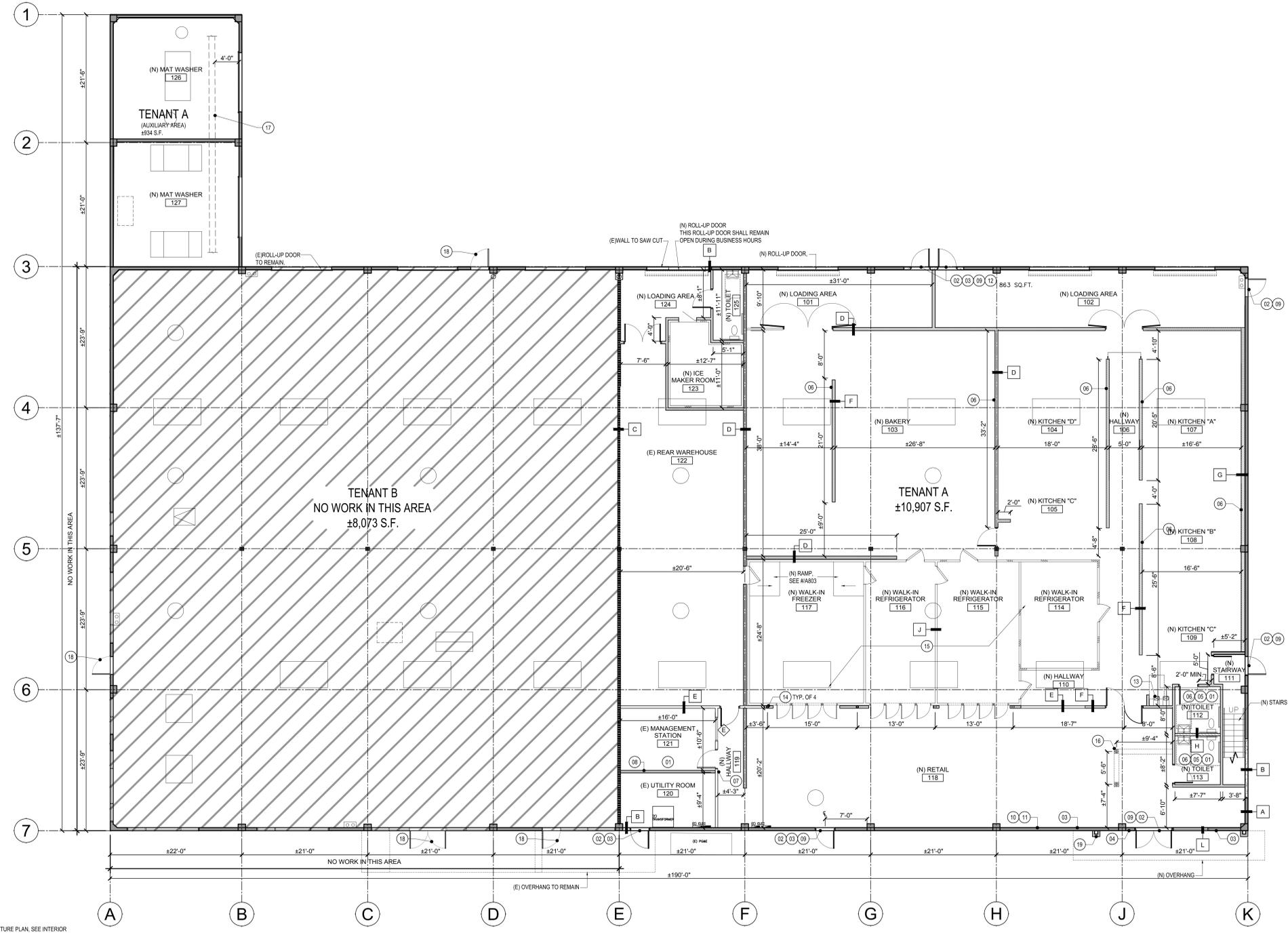
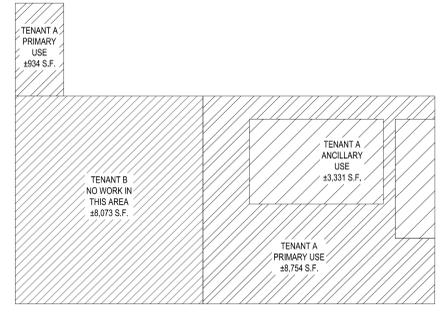
- 01 PROVIDE HEIGHT SOUND INSULATION AT OFFICES, RESTROOMS, & OTHER WALLS PER APPLICABLE DETAILS.
- 02 CONTRACTOR SHALL VERIFY (E) ENTRANCE AND EXIT DOORS SILL CONDITION PER DETAIL 17/A801. ALSO, CONTRACTOR SHALL VERIFY THAT ALL ENTRANCE AND EXIT ACCESS DOORS SHALL MEET MINIMUM MANEUVERING CLEARANCES AS WELL AS A LEVEL GRADE LANDING PER SECTION 11B-305.7 AND 11B-302.
- 03 PATCH & REPAIR FLOOR FINISH AS REQUIRED TO ACCOMMODATE NEW OPENING AT EXTERIOR WALL. STORE FRONT DOUBLE DOORS W/ SIDELITE BY CRL ALUMINUM OR APPROVED EQUAL.
- 04 IF NOT EXISTING, CONTRACTOR SHALL MOUNT KNOX BOX WITH MOUNTING HEIGHT OF 6'-8" A.F.F. OCCUPANT SHALL BE RESPONSIBLE FOR PROVIDING TENANT SPACE BUILDING ACCESS KEYS FOR INSERTION INTO THE KEY BOX PRIOR TO FINAL INSPECTION BY THE FIRE DEPARTMENT. KEYS SHALL HAVE PERMANENT MARKED TAGS IDENTIFYING ADDRESS AND/OR SPECIFIC DOORS/AREAS ACCESSIBLE WITH SAID KEYS.  
  
ACCESSIBLE SIGNS AND ACCESSORIES AT NEW RESTROOMS SHALL BE COMPLIANT WITH CURRENT ACCESSIBILITY CODES PER DETAILS SHOWN ON SHEET A601 & A803.
- 05 USE GREEN BOARD OR WATER RESISTANT GYP. BD. SHEATHING ON (N) PLUMBING WALLS.
- 06 THERMOSTAT - MOUNT AT 48" A.F.F. SEE MECHANICAL DWGS.
- 07 PROVIDE 1-LAYER OF "QUIET ROCK" AT THIS WALL.
- 08 PROVIDE PANIC HARDWARE TO EXIT AND EXIT ACCESS DOORS, DOOR: 02, 05, 06, 16, 18, 21, 31 & 33.
- 09 PROVIDE OCCUPANT LOAD SIGNAGE IN ROOMS 103, 104, 113 & 114. \*MAX OCCUPANCY NOT TO EXCEED (OCCUPANT LOAD PER ROOM). \*VERIFY SIGN LOCATION WITH FIRE MARSHAL.
- 10 POSTING OF OCCUPANT LOAD: SPACE SHALL HAVE THE OCCUPANT LOAD OF THE ROOM POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. PER CBC SECTION 1004.3
- 11 (N) DOOR / GLAZING OPENING TO BE WALL IN-FILL TO MATCH (E) WALL.

- 12 (N) DOOR / GLAZING OPENING TO BE WALL IN-FILL TO MATCH (E) WALL.
- 13 FOR DRINKING FOUNTAIN CLEARANCES, SEE 05/A804
- 14 FULL HEIGHT VERT. NESTED STUDS TO HEADER BOX, SEE 16/A801.
- 15 (N) FREEZER / REFRIGERATOR SLAB VERIFY EXACT COOLER DIMENSIONS W/ MANUFACTURER PRIOR TO INSTALLATION, V.I.F..
- 16 (N) ELECTRICAL CHASE, V.I.F.
- 17 (N) TRENCH. SEE STRUCTURE DRAWING FOR DETAIL.
- 18 (E) OTHER TENANT ENTRANCE DOORS TO REMAIN.
- 19 (N) STEEL POST FOR (N) OVERHANG ASSEMBLY, TYP. OF 2

1. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
2. NOTIFY ARCHITECT IF FIELD CONDITIONS PROHIBIT MINIMUM CLEAR DIMENSIONS.
3. PROVIDE AND INSTALL CAPACITY OF THE ROOM (NUMBER OF OCCUPANT PERMITTED) IN A CONSPICUOUS LOCATION ON AN APPROVED SIGN NEAR THE MAIN EXIT. POSTING SHALL BE BY MEANS OF A DURABLE SIGN HAVING CONTRASTING COLOR FROM THE BACKGROUND TO WHICH IT IS ATTACHED.
4. PROVIDE BACKING AS NEEDED AT CABINETS, WALL MOUNTED EQUIPMENT, ELECTRIC PANELS, PLUMBING FIXTURES, FULL HEIGHT MIRRORS, ETC.
5. LOCATE DOORS 4" FROM INSIDE CORNER OF ROOM, U.O.N.
6. CONTRACTOR TO SUBMIT SAMPLES OF ALL FINISHES, AND CUT-SHEET SPECS. OF ALL LIGHTING & PLUMBING FIXTURES FOR TENANTS AND ARCHITECT REVIEW.
7. PROVIDE EMERGENCY/EXIT LIGHTS PER ELECTRICAL DWGS.
8. FOR CLEARANCE AT DOOR.
9. MILLWORK AND CABINET CONTRACTOR TO VERIFY EQUIPMENT DIMENSIONS, LOCATIONS, MOUNTING SPECS W/TENANT. SUBMIT SHOP DRAWINGS FOR TENANTS & ARCHITECT'S REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
10. FOR INTERIOR LAYOUT PLANS, ELEVATIONS, SECTIONS, DETAILS, AND SPECIFICATIONS, SEE KITCHEN DRAWINGS.
11. FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER. ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE (2016 CFC 509.1)
12. GAS SHUTOFF VALVES, ELECTRIC METERS, SERVICE SWITCHES AND OTHER UTILITY EQUIPMENT SHALL BE CLEARLY AND LEGIBLY MARKED TO IDENTIFY THE UNIT OR SPACE THAT IT SERVES. IDENTIFICATION SHALL BE MADE IN AN APPROVED MANNER, READILY VISIBLE AND SHALL BE MAINTAINED (2016 CFC 5091.1.)

A	(E) EXTERIOR WALLS TO REMAIN.
B	(E) EXTERIOR WALL TO REFILL. SEE STRUCTURAL DWG. FOR ADDITIONAL INFORMATION.
C	(N) DEMISING WALLS, SEE 01/A801
D	(N) INTERIOR WALL, SEE 05/A801
E	(E) INTERIOR WALLS TO REMAIN, U.O.N.
F	(N) INTERIOR WALL, SEE 09/A801
G	(N) INTERIOR WALL, SEE 13/A801
H	(N) INTERIOR WALL, SEE 17/A801
J	(N) WALK-IN WALL, SEE REFRIGERATION DWG.
K	(N) INTERIOR MESH WALL, SEE 11/A801
L	(N) STOREFRONT GLAZING, SEE 19/A801

KEY NOTES 12 SHEET NOTES 08 LEGEND 04



TENANT A	RATIO %	SQUARE FOOTAGE
<b>PRINCIPAL USE</b>		
RETAIL	13%	±1,660 S.F.
OFFICE	1%	±176 S.F.
WALK-IN FREEZER	11%	±1,418 S.F.
LOADING AREA	7%	±863 S.F.
WAREHOUSE	9%	±1,134 S.F.
ICE MAKER	2%	±222 S.F.
AUXILIARY AREA	7%	±934 S.F.
MEZZANINE	16%	±2,112 S.F.
RESTROOMS, EQUIPMENT ROOMS, & OTHER MISC. CIRCULATION	5%	±1,169 S.F.
<b>SUBTOTAL FOR PRINCIPAL USE</b>	<b>75%</b>	<b>±9,688 S.F.</b>
<b>ANCILLARY USE</b>		
KITCHEN	25%	±3,331 S.F.
<b>SUBTOTAL FOR ANCILLARY USE</b>	<b>25%</b>	<b>±3,331 S.F.</b>
<b>TOTAL FOR TENANT A</b>	<b>100%</b>	<b>±13,019 S.F.</b>
<b>TENANT B</b>		
OTHER TENANT OFFICE	25%	±2,000 S.F.
OTHER TENANT WAREHOUSE	75%	±6,073 S.F.
<b>TOTAL FOR TENANT B</b>	<b>100%</b>	<b>8,073 S.F.</b>

FLOOR PLAN - FIRST FLOOR

AREA OF CALCULATION

NOTES	17
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1/8"=1'-0"	01
18-587-AFP	



- LOCATIONS OF FIXTURE AND CEILING DEVICES SHALL BE AS SHOWN ON PLANS AND DETAILS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING CONSTRUCTION. REFER TO ELECTRICAL & MECHANICAL DRAWINGS FOR RELATED INFORMATION.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, DUCTS, ELECTRICAL CONDUITS AND STRUCTURAL ELEMENTS AND OTHER APPLICABLE ITEMS. NOTIFY ARCHITECT OF CLEARANCE CONFLICTS FOR CEILING LAYOUT.
- ALL REGISTERS AND LIGHTING FIXTURES SHALL OCCUR WITHIN GRID LINES. INCANDESCENT FIXTURES, OR OTHER CEILING ELEMENTS SHALL BE LOCATED ON THE CENTERLINE OF TILES, UNLESS OTHERWISE NOTED.
- ALL CEILING FIXTURES AND ALL SUSPENDED FIXTURES SHALL MEET SEISMIC BRACING REQUIREMENTS. SEE DETAILS ON SHEET A802.
- PROVIDE ACCESS PANELS FOR CONCEALED MECHANICAL AND ELECTRICAL EQUIPMENT. PROVIDE MINIMUM ACCESS OF ONE ACCESS TILE PER AREA WITHIN FULL HEIGHT PARTITIONS.
- ALL CEILING HEIGHTS LOCATED ON PLANS ARE FROM TOP OF FINISH FLOOR TO UNDERSIDE OF FINISH CEILING, UNLESS OTHERWISE NOTED.
- PROVIDE ADEQUATE CLEARANCES FOR FIXTURES, DUCTS, CEILINGS AND RELATED APPURTENANT ITEMS NECESSARY TO MAINTAIN THE SPECIFIED CEILING HEIGHT ABOVE THE FINISH FLOOR.
- PROVIDE HANGER AND SAFETY WIRES FOR LIGHT FIXTURES AND AIR SUPPLY/RETURN DIFFUSERS AND/OR ANY OTHER SUSPENDED BUILDING SYSTEM AS REQUIRED PER LOCAL CODES.
- ALL GYP. BD. CEILING AND SOFFITS TO BE PAINTED. SEE FINISH SCHEDULES A103.
- ALL LIGHT FIXTURES AND CEILING FIXTURES INDICATED ON THESE DRAWINGS SHALL BE U.L. LABELED AND CERTIFIED PRIOR TO INSTALLATION.
- ALL WIRING FOR LIGHT FIXTURES, EXIT SIGNS AND OTHER ELECTRICAL DEVICES TO BE U.L. LABELED AND APPROVED BY GOVERNING BUILDING DEPARTMENT.
- ALL LAMPS AND DECORATIVE LENSES OR LIGHT DIFFUSERS SHALL BE CHECKED AND CLEANED PRIOR TO TENANT FINAL ACCEPTANCE OF PROJECT.
- PROVIDE LIGHTING SUBMITTAL ON ALL LIGHT FIXTURES AND CONTROLS FOR TENANT REVIEW AND APPROVAL PRIOR TO INSTALLATION.

- CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING ROOF THERMAL INSULATION, WHICH MAY BE DAMAGED OR MISSING. IF NOT EXISTING, PROVIDE R-30 THERMAL INSULATION AT ROOF DECK.
- DRAFTSTOPS: NO CONCEALED SPACE BETWEEN THE CEILING AND STRUCTURE SHALL EXCEED 1000 SQUARE FEET AND NO HORIZONTAL DIMENSION SHALL EXCEED 60 FEET. CBC SECTION 708.3.1.1.3.
- ALL CEILING GRIDS ARE CENTERED IN ROOM (U.O.N.). ALSO, LOCATE ALL RECESSED FIXTURES IN PATTERNS SHOWN ON PLAN AND REFER TO DETAILS.
- REFER TO ELECTRICAL DRAWINGS FOR SWITCHING AND CIRCUITING INFORMATION.
- REFER TO MECHANICAL DRAWINGS FOR HVAC SUPPLY AND RETURN REGISTERS.
- PROVIDE ACOUSTICAL INSULATION ABOVE ENTIRE CEILING ASSEMBLY IN ALL CONFERENCE ROOMS.
- GYP. BD. CEILING & SOFFIT ASSEMBLIES SHALL HAVE PAINT FINISH. (U.O.N.) USE P1 COLOR (U.O.N.). SEE A103 SHEET FOR ADDITIONAL INFORMATION.
- ROOMS WITH NO CEILING ASSEMBLIES AND OPEN TO STRUCTURE ABOVE SHALL HAVE PAINT FINISH. (U.O.N.). USE P4 COLOR (U.O.N.). SEE A103 SHEET FOR ADDITIONAL INFORMATION.

- 24"x24" (ACT1) & 24"x48" (ACT2) ACOUSTICAL CEILING TILES ON METAL SUSPENSION SYSTEM.
- INTERIOR CEILING:  
1/2" GYPSUM BOARD ON METAL SUSPENDED SYSTEM. SEE DETAIL 13/A802.
- 10"x48" LED DOWN LIGHT LIGHT FIXTURE. SEE ELECTRICAL DWGS.
- 24"x48" FLUORESCENT T-BAR CEILING LIGHT FIXTURE. SEE ELECTRICAL DWGS.
- 24"x48" FLUORESCENT T-BAR CEILING LIGHT FIXTURE. SEE ELECTRICAL DWGS.
- 6"x48" LED RECESSED LIGHT FIXTURE. SEE ELECTRICAL DWGS.

NOTE:  
SEE ELECTRICAL DWGS. FOR LIGHTING FIXTURE SCHEDULE, SPECS. & ADDITIONAL INFORMATION.

CEILING NOTES

NOTES 08 LEGEND

NOTES 04



CEILING PLAN - FIRST FLOOR

1/8"=1'-0"  
18-587-AFP 01

FACILITY IMPROVEMENT:  
**FOOD TRUCK STATION**  
151 MITCHELL AVENUE  
SOUTH SAN FRANCISCO, CA 94080

REVISION	DATE

DATE: 02.05.19  
JOB NO.: 18-587

PROPOSED CEILING PLAN  
SCALE: AS NOTED

P201

1. LOCATIONS OF FIXTURE AND CEILING DEVICES SHALL BE AS SHOWN ON PLANS AND DETAILS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING CONSTRUCTION. REFER TO ELECTRICAL & MECHANICAL DRAWINGS FOR RELATED INFORMATION.
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12. ALL LAMPS AND DECORATIVE LENSES OR LIGHT DIFFUSERS SHALL BE CHECKED AND CLEANED PRIOR TO TENANT FINAL ACCEPTANCE OF PROJECT.
13. PROVIDE LIGHTING SUBMITTAL ON ALL LIGHT FIXTURES AND CONTROLS FOR TENANT REVIEW AND APPROVAL PRIOR TO INSTALLATION.

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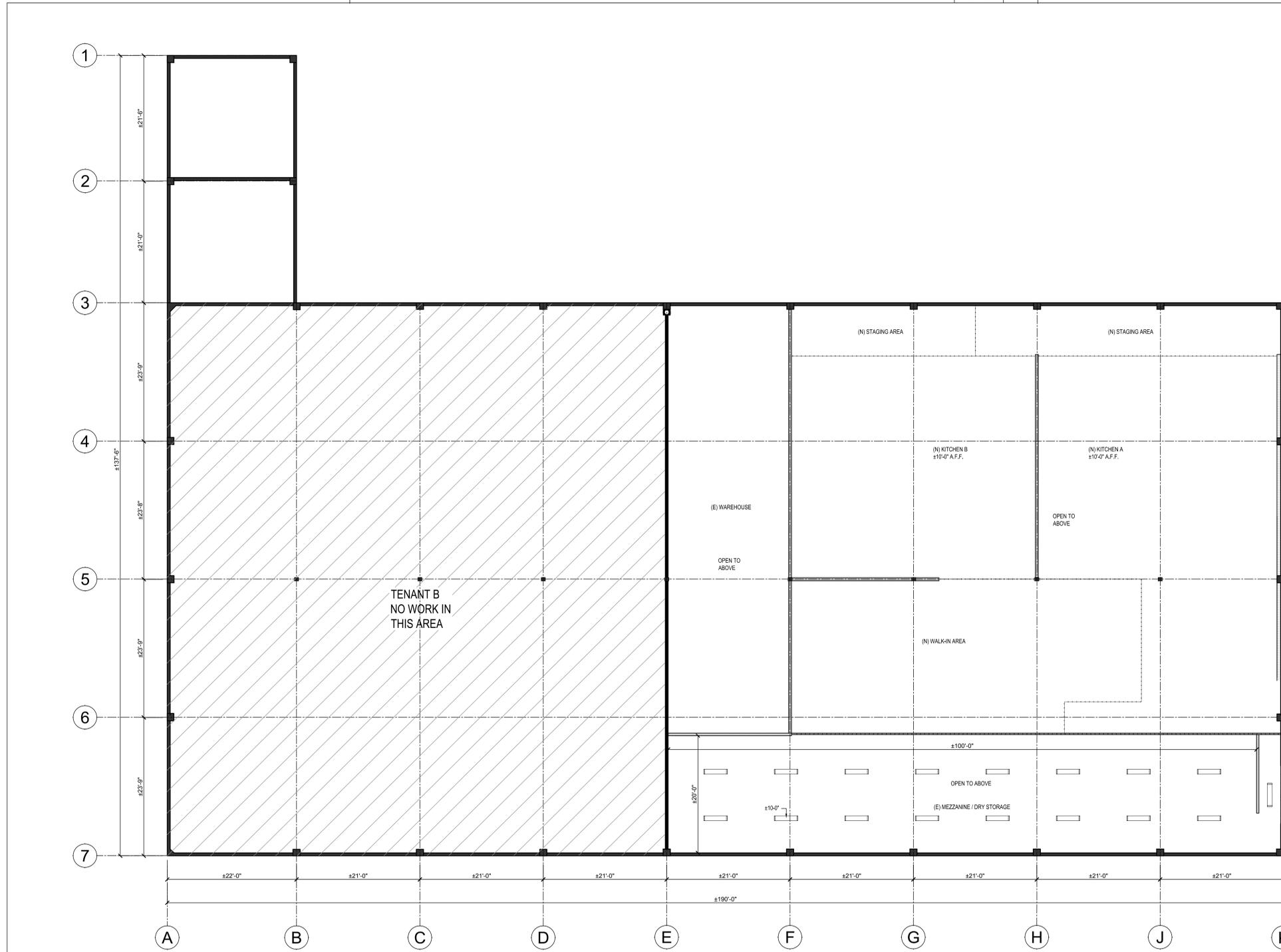
NOTE:  
SEE ELECTRICAL DWGS. FOR LIGHTING FIXTURE SCHEDULE, SPECS. & ADDITIONAL INFORMATION.

**CEILING NOTES**

NOTES 08

**LEGEND**

NOTES 04



**CEILING PLAN - MEZZANINE FLOOR**

1/8"=1'-0"  
18-587-AFP 01

REVISION	DATE

DATE: 02.05.19  
JOB NO.: 18-587

SCALE: AS NOTED

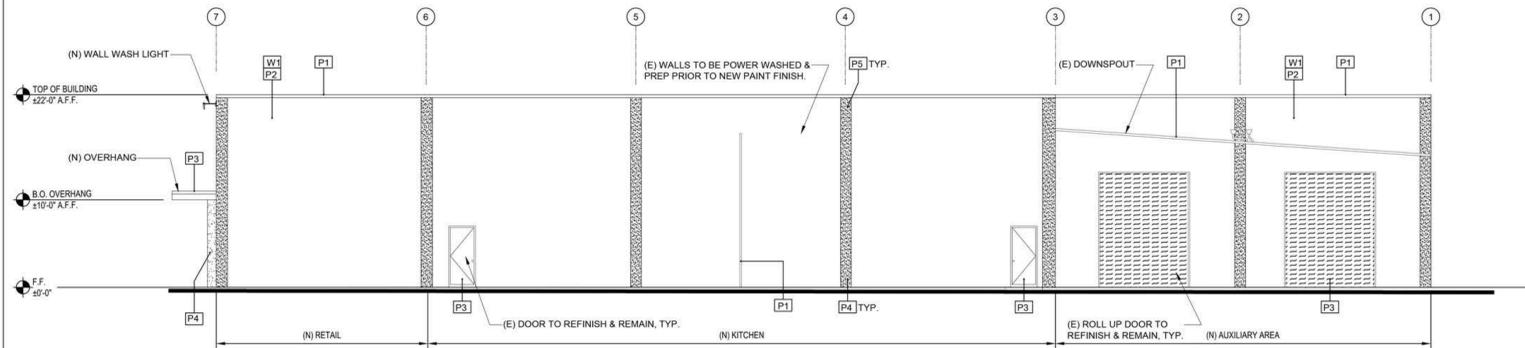








NAME: WINDIRECT LINEAR CANTILEVER 8021  
 MANUFACTURER: WINONA  
 NUMBER: WLAC802L  
 COLOR: BLACK  
 FINISH: MATTE, SEMI-GLOSS



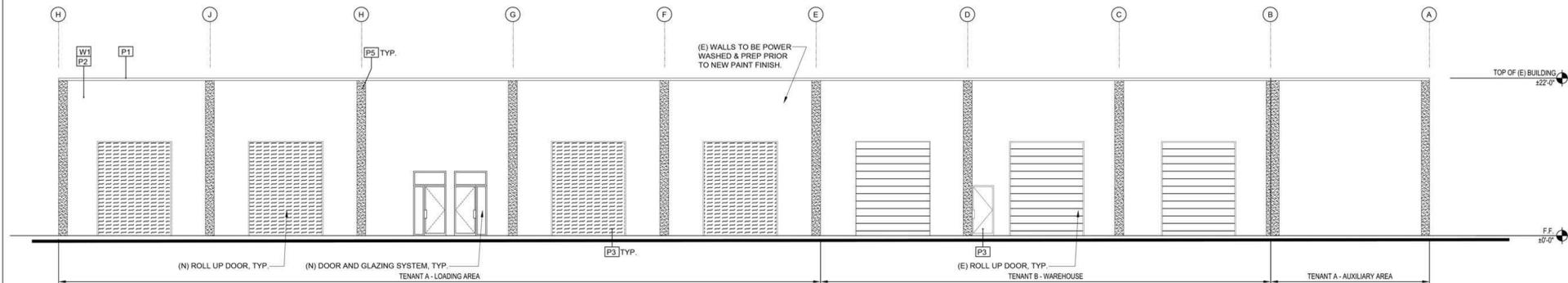
LIGHT FIXTURE

NOTE 20

EAST ELEVATION

1/8"=1'-0"  
18-587-AEL 04

**FINISH NOTES:**  
 F1. ENSURE THAT SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.  
 F2. ALL CODE REQUIRED LABELS SUCH AS "UL", FACTORY MUTUAL, OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PAINTED.  
 F3. GLASS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL TO MEET STATE AND FEDERAL REQUIREMENTS.  
 F4. U.O.N. PROVIDE MINIMUM 3-COAT PAINT SYSTEMS FOR EACH SUBSTRATE. REFER TO FINISH SCHEDULE FOR COLORS AND FINISHES.  
 F5. TRANSITION OF FLOOR MATERIALS TO BE LOCATED AT CENTER OF DOORS IN CLOSED POSITION UNLESS OTHERWISE NOTED.  
 F6. PAINT BACK SIDES OF REMOVABLE ACCESS PANELS AND HINGED COVERS TO MATCH EXPOSED SURFACE.  
 F7. PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH MATERIALS SUBMIT SAMPLES, SHOP DRAWING AND PRODUCT LITERATURE TO TENANT FOR REVIEW AND APPROVAL PRIOR TO ORDERING PRODUCTS AND/OR MATERIALS.  
 F8. ALL NEW AND EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.  
 F9. ALL FINISH SELECTIONS SHALL BE APPROVED BY OWNER.  
 F10. PRODUCTS TO MEET ALL LOCAL JURISDICTION CODES AND REQUIREMENTS.  
 F11. PAINT TO BE OF INDUSTRY STANDARD QUALITY AND SUITABLE FOR COMMERCIAL USE.  
 F12. USE SHERWIN-WILLIAMS - ALKYD PRIMER FOR BASE METAL SURFACE.  
 F13. METAL DOORS AND DOOR FRAMES SHALL BE FINISHED WITH P3  
 F14. CONTRACTOR SHALL INSPECT ROOF PARAPET METAL COPING'S CONDITION. METAL COPING SHALL RESTORE, REPAIRED OR REPLACED IF NECESSARY PRIOR TO PAINTING.



FINISH NOTE

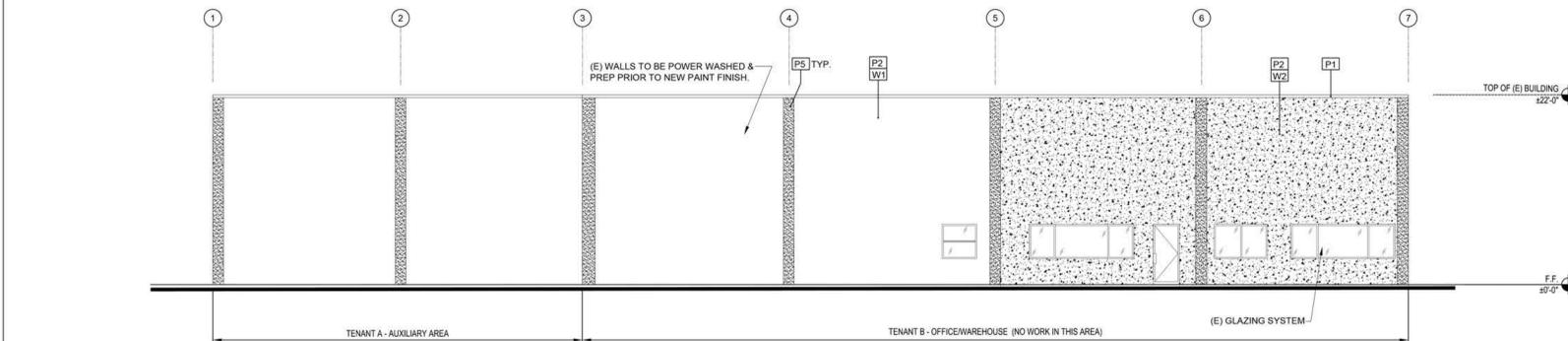
NOTE 19

NORTH ELEVATION

1/8"=1'-0"  
18-587-AEL 03

WALL FINISH

- W1 (E) SMOOTH FINISH CONCRETE TILT-UP PANELS TO REMAIN
- W2 (E) PEBBLE DASH FINISH CONCRETE TILT-UP PANEL TO REMAIN
- W3 (E) BRICK VENEER TO REMAIN
- W4 (N) BRICK VENEER TO MATCH (E)BRICK VENEER W3

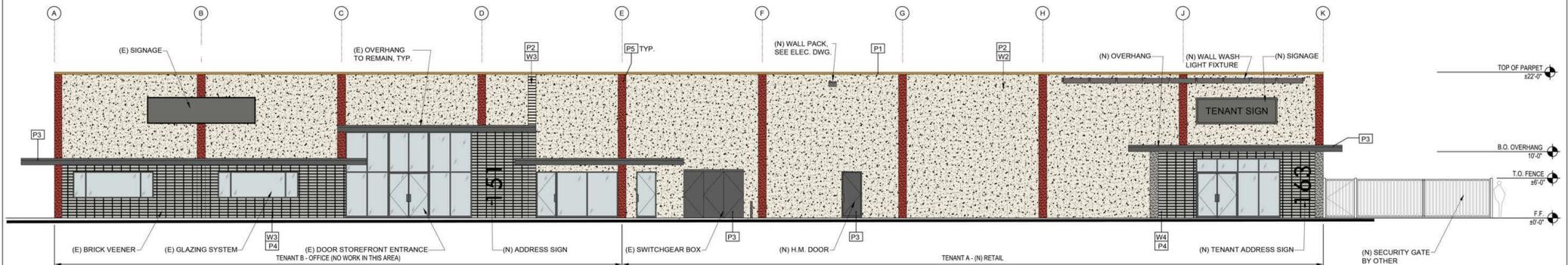


WEST ELEVATION

1/8"=1'-0"  
18-587-AEL 02

PAINT

- |  |  |  |   |
|--|--|--|---|
|  | <b>P1</b> NAME: ESCAPE GOLD<br>MANUFACTURER: SHERWIN-WILLIAMS<br>COLOR NUMBER: SW 6396<br>ACRI. BUILD.<br>FLAT PAINT |  | <b>P4</b> NAME: ARGOS<br>MANUFACTURER: SHERWIN-WILLIAMS<br>COLOR NUMBER: SW 7065<br>ACRI. BUILD.<br>FLAT PAINT          |
|  | <b>P2</b> NAME: DOVER WHITE<br>MANUFACTURER: SHERWIN-WILLIAMS<br>COLOR NUMBER: SW 6365<br>ACRI. BUILD.<br>FLAT PAINT |  | <b>P5</b> NAME: HABANERO CHILE<br>MANUFACTURER: SHERWIN-WILLIAMS<br>COLOR NUMBER: SW 7589<br>ACRI. BUILD.<br>FLAT PAINT |
|  | <b>P3</b> NAME: CITYSCAPE<br>MANUFACTURER: SHERWIN-WILLIAMS<br>COLOR NUMBER: SW 7067<br>ACRI. BUILD.<br>FLAT PAINT   |  |   |



FINISH SCHEDULE

NOTE 17

SOUTH ELEVATION

1/8"=1'-0"  
18-587-AEL 01

REVISION	DATE

DATE: 02.05.19  
 JOB NO.: 18-587

COLORED ELEVATIONS

SCALE: AS NOTED



139 MITCHELL AVENUE

PHOTO 16



143 MITCHELL AVENUE

PHOTO 08



151 MITCHELL AVENUE

PHOTO 15



151 MITCHELL AVENUE

PHOTO 07



165 MITCHELL AVENUE

PHOTO 14



173 MITCHELL AVENUE

PHOTO 13



ISOMETRIC VIEW

PHOTO 01

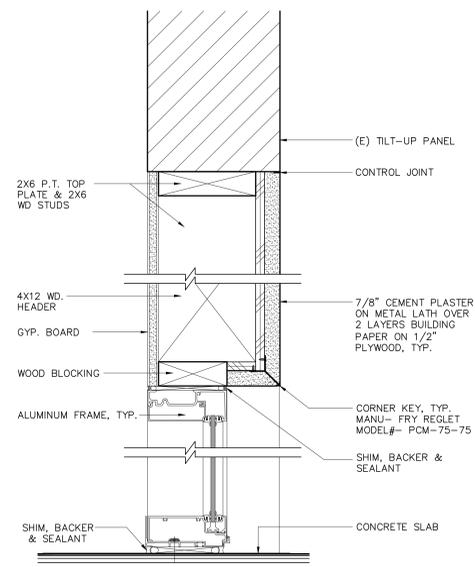
REVISION	DATE

DATE: 02.05.19

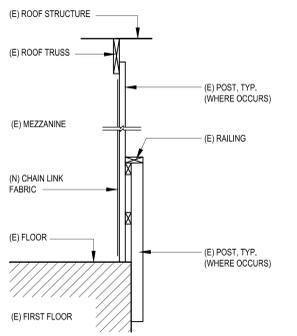
JOB NO.: 18-587

EXISTING  
PHOTOS

SCALE: AS NOTED

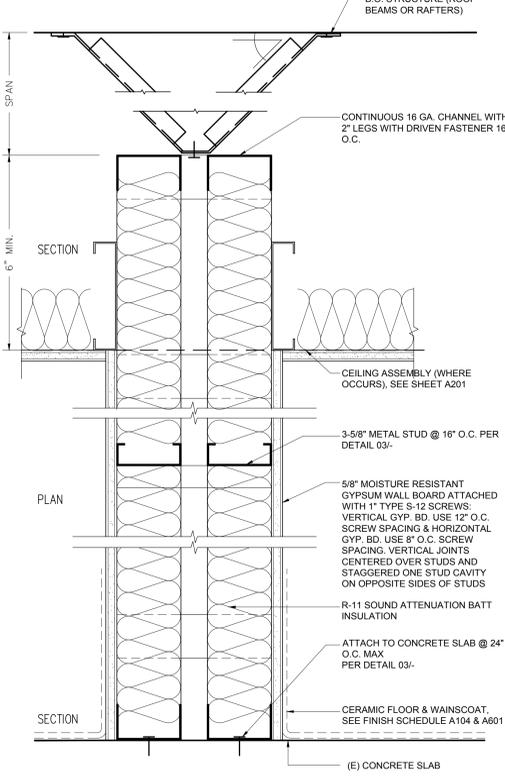


INTERIOR WINDOW DETAIL 3'-1'-0" WDW\_003 16

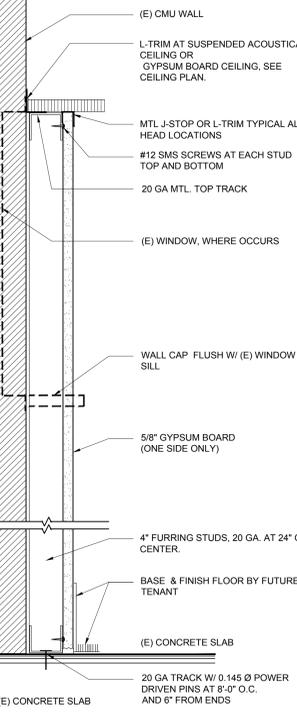


STOREFRONT DETAIL - TYPE "L" 3'-1'-0" DETAIL 19

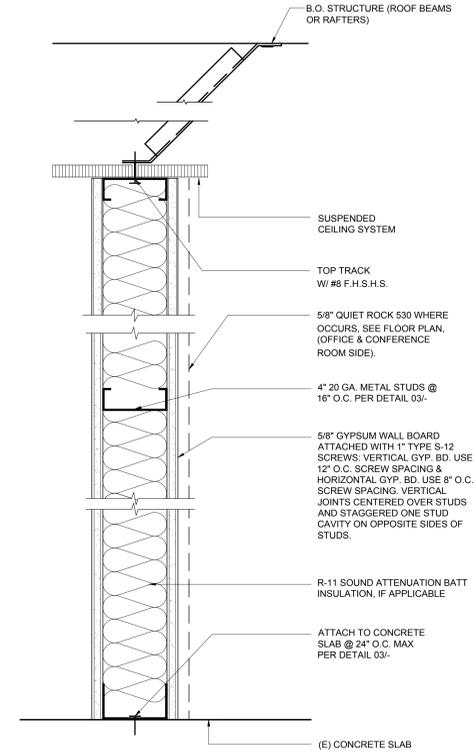
NOTES:  
-ALL STUDS @ 16" O.C., CONTRACTOR'S OPTION TO USE 24" O.C. VERIFY STUD GAUGE REQUIREMENTS WITH SPAN CHART.  
-CONTRACTOR SHOULD VERIFY FINAL ASSEMBLY REQUIREMENTS WITH ACOUSTICAL SPECIFICATIONS.  
-STC #55



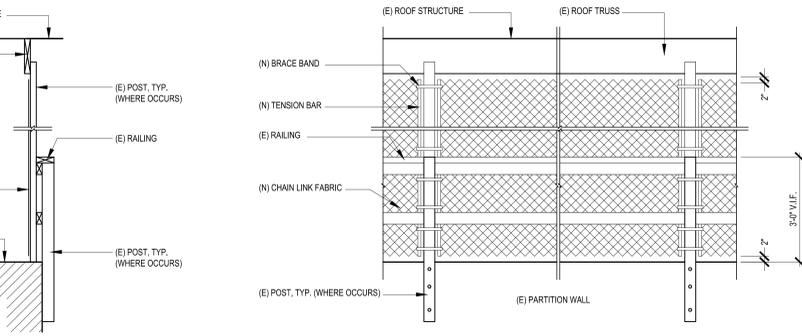
INTERIOR WALL - TYPE "H" 3'-1'-0" DETAIL 17



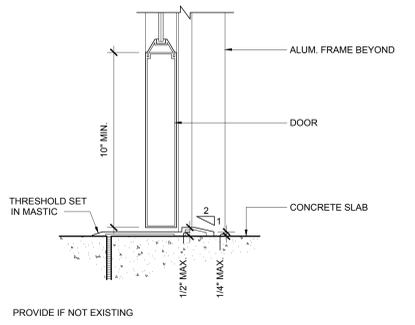
INTERIOR WALL - TYPE "G" 3'-1'-0" DETAIL 13



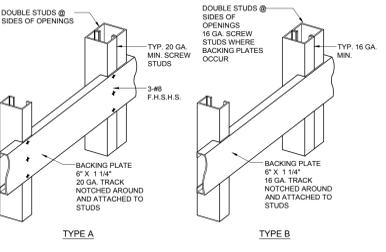
INTERIOR WALL - TYPE "F" 3'-1'-0" DETAIL 09



EXTERIOR DOOR THRESHOLD 12

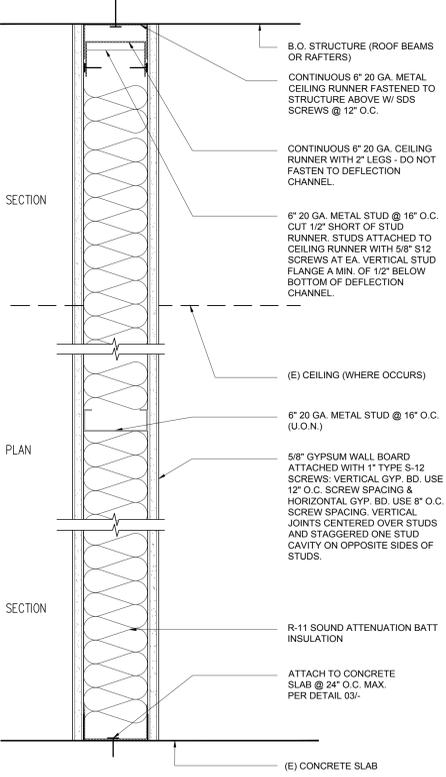


BLOCKING DIAGRAM 08

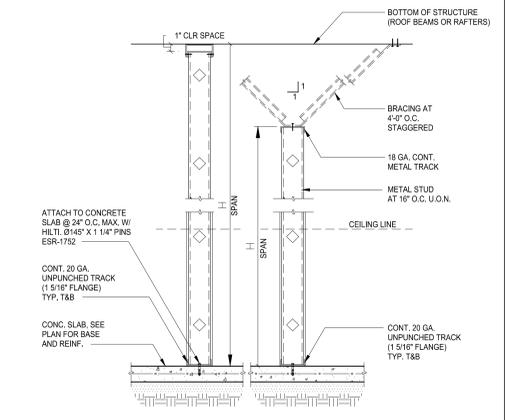


NOTES:  
1. TYPE 'A' BACKING FOR MISC. ITEMS IE, SURFACE MOUNTED MIRRORS, WASTE RECEPTACLES, TOWEL DISPENSERS, ETC. MAXIMUM WEIGHT-50 LBS  
2. TYPE 'B' BACKING PLATES FOR UPPER WALL HUNG CABINETS (UP TO 2 SHELVES) BASE CABINETS, FULL HEIGHT CABINETS, HANDRAILS, GAUDDRAILS, GRAB BARS, WALL HUNG EQUIPMENT, ETC. MAXIMUM WEIGHT-100 LBS/FT.  
3. SEE TYPICAL WALL FRAMING FOR GAUGE OF STUDS.  
4. VERIFY LENGTH, HEIGHT, LOCATION OF BACKING PLATE AND NUMBER REQUIRED WITH ACCESSORY MANUFACTURERS.  
5. USE #12 SELF TAPPING SHEET METAL SCREWS WHEN ATTACHING ITEMS TO BACKING PLATE.  
6. WALL STUD FLANGES ARE CONTINUOUS AT BACKING PLATE.

BLOCKING DIAGRAM 07



INTERIOR WALL- TYPE "D" 3'-1'-0" DETAIL 05

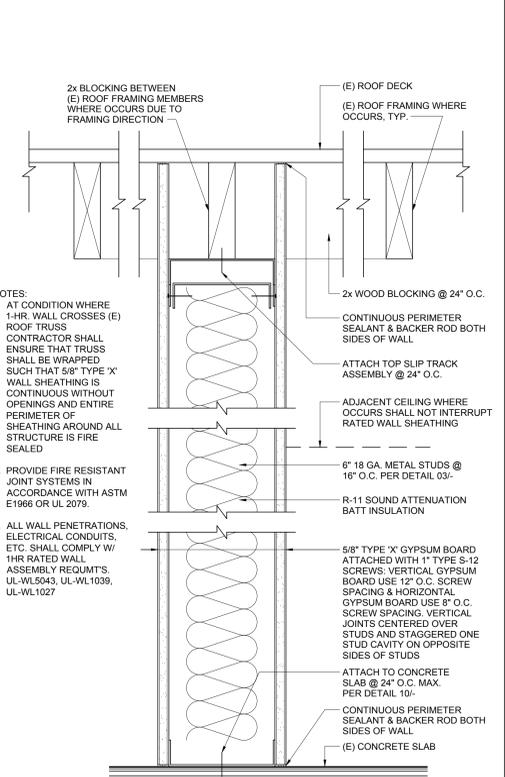


HEIGHT BTN SUPPORT	INTERIOR METAL STUD SIZE & SPAC'G (B.P.S.)	REMARK
UP TO 14'-0"	400S137-33 AT 24" O.C.	
UP TO 20'-0"	600S152-43 AT 24" O.C.	

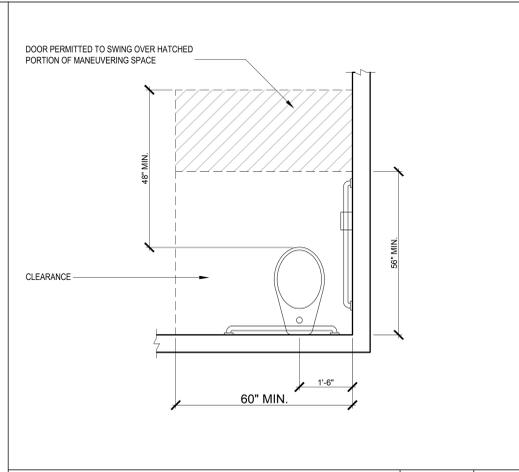
BRACING LENGTH	SIZE	SCREWS
8' OR UNDER	3 5/8" 20 GA.	3-#10 EA. END
8'-1" TO 12'	3 5/8" 20 GA.	3-#10 EA. END
12'-1" TO 16'	6" 20 GA.	3-#10 EA. END

WALL FASTENING DETAIL 03

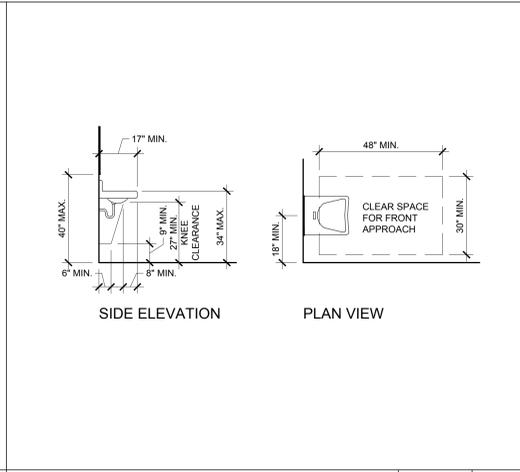


INTERIOR WALL- TYPE "C" 3'-1'-0" DETAIL 01

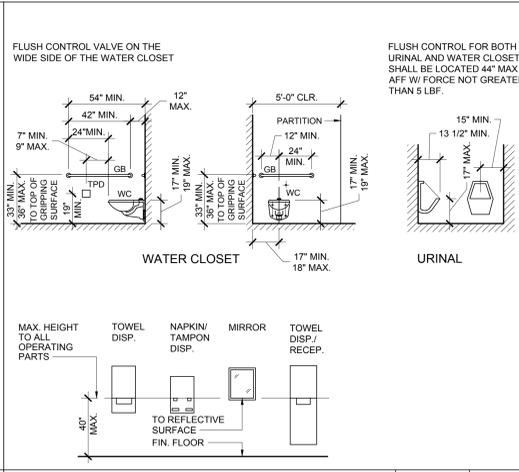




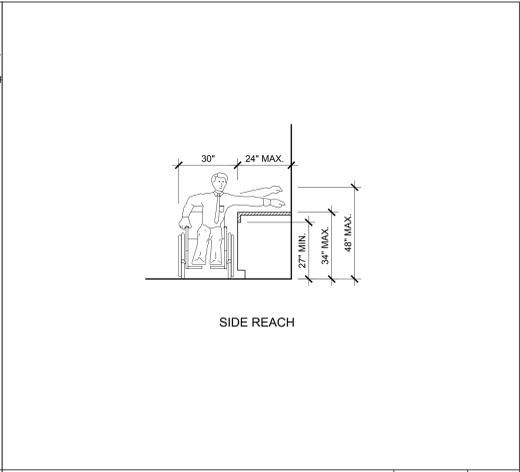
WATER CLOSET CLEARANCE 1/4"=1'-0" 16



LAVATORY CLEARANCE 1/4"=1'-0" 12



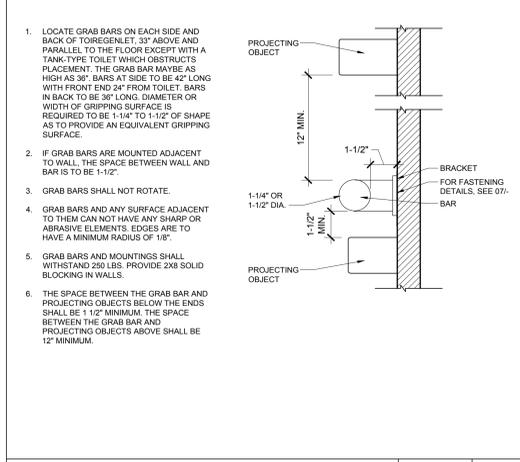
ACCESSIBLE MOUNTING 1/4"=1'-0" 08



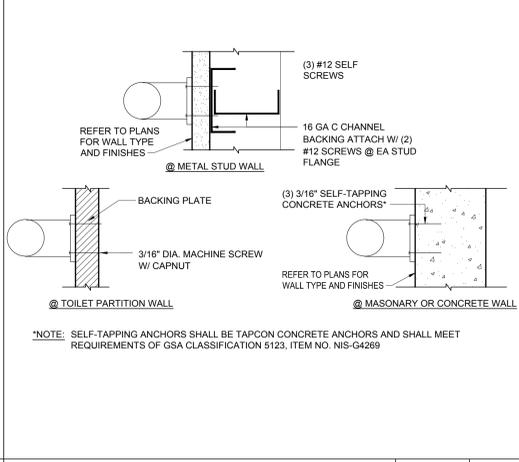
COUNTER HEIGHT DETAIL N.T.S. ADA\_011 04



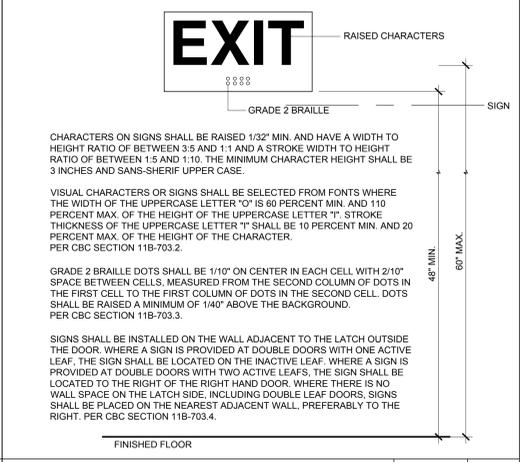
GRAB BAR REQUIREMENTS 3/8"=1'-0" 11



GRAB BAR MOUNTING DETAIL 3/8"=1'-0" 07



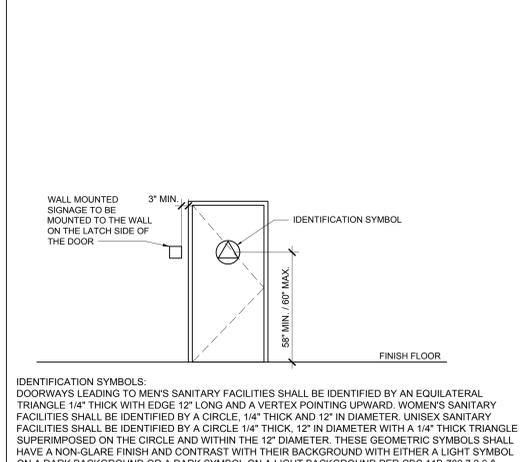
TACTILE EXIT SIGN N.T.S. 03



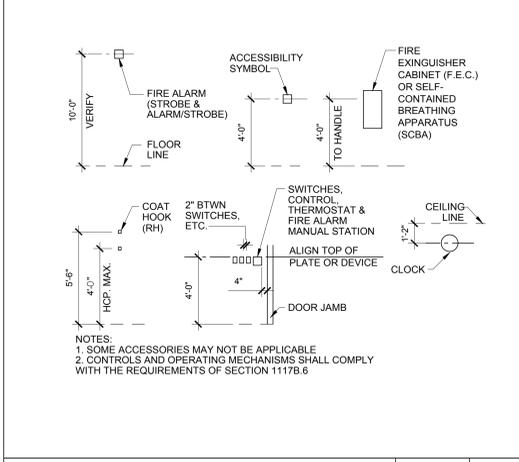
TYPICAL MOUNTING HEIGHT ADA\_007 06



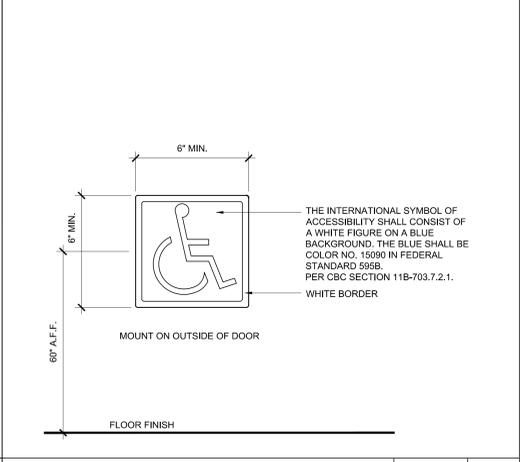
ACCESSIBLE RESTROOM SIGNAGE N.T.S. 09



DRINKING FOUNTAIN CLEARANCES 1/4"=1'-0" 05



DOOR CLEARANCES 1/4"=1'-0" ADA\_006 01



EXIT SIGN N.T.S. ADA\_011 04

REVISION	DATE
DATE:	02.05.19
JOB NO.:	18-587

ACCESSIBILITY DETAILS

SCALE: AS NOTED