CHANGE OF USE

MYTRA

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

ARCHITECTURAL SYMBOLS

GRAPHIC SYMBOLS

EXTERIOR ELEVATION
- ELEVATION NO.
- SHEET NO.

INTERIOR ELEVATION
- ELEVATION NO.
- SHEET NO.
- ELEVATION NO.
- SHEET NO.

BUILDING SECTION
- SECT. NO.
- SHEET NO.

DETAIL SECTION
- DETAIL NO.
- SHEET NO.

REVISION NUMBER

ROOM NAME / RM.NO. — ROOM NAME, ROOM NUMBER

CONTROL POINT, DATUM

MATERIAL SYMBOLS

CONCRETE	WOOD - CONTINUOUS MEMBER
PLASTER	WOOD - BLOCKING
GYPSUM BOARD	STEEL MEMBERS
WOOD-FINISH	RIGID INSULATION
PLYWOOD	METAL
ACOUSTIC TILE	EARTH
GLASS	

ABBREVIATIONS

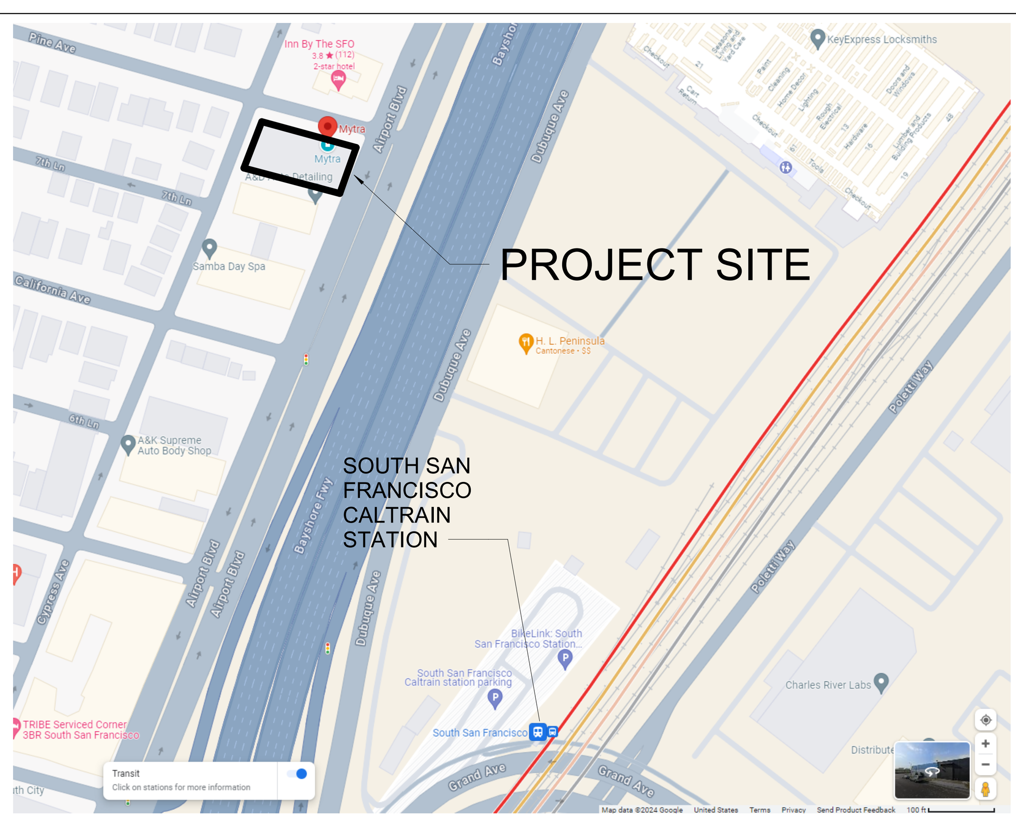
SYMBOLS WITH ABBREVIATIONS

&	AND
@	AT
℄	CENTER
⌀	ROUND
⌑	SQUARE

STANDARD ABBREVIATION

ADMIN.	ADMINISTRATION
ALUM.	ALUMINUM
BD.	BOARD
BLDG.	BUILDING
D	COMPRESSED AIR
C/C	CENTER TO CENTER
CCA	CLEAN COMP. AIR
C.J	CONSTRUCTION JOINT
CLG.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT C02
CO2	CARBON DIOXIDE
COL.	COLUMN
CONC.	CONCRETE
CONTIN.	CONTINUOUS CONTIN.
CW	DOMESTIC COLD WATER
DET.	DETAIL
D.F.	DRINKING FOUNTAIN
D.I.	DEIONIZED WATER
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DWG(S)	DRAWING(S)
DWR.	DRAWER
E.	EAST
(E)	EXISTING
EA.	EACH
E.D.R.	EPOXY DRYING RACK
EL.	ELEVATION
ELEC.	ELECTRIC
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.S.	EMERGENCY SHOWER
E.W.	EMERGENCY EYEWASH
EXH.	EXHAUST
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FINISHED FLOOR
F.H.	FUME HOOD
FIN.	FINISH
FR.	FIRE RISER
F.O.	FACE OF FINISHED OPENING
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.S.	FLOOR SINK
G.	NATURAL GAS
G.C.	GENERAL CONTRACTOR
GFRC	GLASS FIBER REINFORCED CONCRETE
GRD.	GROUND
GYP.BD.A.	GYPSUM BOARD
H.B.	HOSE BIBB
HC.	HANDICAPPED
HDW.	HARDWARE
HW	DOMESTIC HOT WATER
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HT.	HEIGHT
W.H.	WATER HEATER
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
LAB.	LABORATORY
LH	LAMINAR FLOW HOOD
LAM.	LAMINATED
LAV.	LAVATORY
MACH.	MACHINE
MAINT.	MAINTENANCE
MAX.	MAXIMUM
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
M.R.	MOISTURE RESISTANT
MTL.	METAL
(N)	NEW
N	NITROGEN GAS
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OFF.	OFFICE
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
P.L.	PROPERTY LINE
PLAM.	PLASTIC LAMINATE
PLBG.	PLUMBING
PLYWD.	PLYWOOD
P.T.D.	PAPER TOWEL DISPENSER
R.	RADIUS
R.A.	RETURN AIR
RCP	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
RES.	RESILIENT
RM.	ROOM S STEAM
S.A.	SUPPLY AIR
SECT.	SECTION
SHT	SHEET
SHWR.	SHOWER
SPEC.	SPECIFICATION(S)
SQ.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
TEL.	TELEPHONE
T.O.	TOP OF (SPECIFY)
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VAC.	LAB VACUUM
V.C.T.	VINYL COMPOSITE TILE
V.I.F.	VERIFY IN FIELD
W.	WEST, WIDE
W/	WITH
W/O	WITHOUT
WD.	WOOD
W.R.	WATER RESISTANT
W.P.	WATER PROOF

LOCATION MAP



PROJECT DESCRIPTION

THE TENANT, MYTRA, CURRENTLY OCCUPIES SUITE 111 PINE AVE., AND PLANS TO EXPAND INTO THE ADJACENT VACANT SUITE 619 AIRPORT BLVD. WITHIN THE SAME EXISTING 1-STORY BUILDING.

THERE ARE NO PROPOSED BUILDING MODIFICATIONS AND THE TENANT WILL OCCUPY THE SPACE AS IS. THIS APPLICATION IS FOR A MINOR USE PERMIT TO ALLOW INDUSTRIAL/ R&D USES OF HANDICRAFT/ CUSTOM MANUFACTURING AND CLEAN TECHNOLOGY IN THE BUILDING.

NEW FIRE PROTECTION TO BE INSTALLED PER FIRE DEPARTMENT'S DIRECTIONS.

THE SCOPE OF EXTERIOR WORKS WILL INCLUDE:
- RESTRIPE PARKING STALLS TO MEET MUNICIPAL DESIGN & DEVELOPMENT STANDARDS
- ~~(SCOPE REMOVED)~~
- NEW SCREENING WALLS AND METAL GATES AT EXISTING PARKING LOT TO MEET MUNICIPAL DESIGN & DEVELOPMENT STANDARDS.
- NEW EXTERIOR SIGNAGE PAINTED ON BUILDING WALLS (DEFERRED SUBMITTAL)

APPLICABLE CODES & ORDINANCES:

2022 EDITION CALIFORNIA BUILDING CODE (CBC)
2022 EDITION CALIFORNIA MECHANICAL CODE (CMC)
2022 EDITION CALIFORNIA PLUMBING CODE (CPC)
2022 EDITION CALIFORNIA ELECTRICAL CODE (CEC)
2022 EDITION CALIFORNIA ENERGY CODE
2022 EDITION CALIFORNIA FIRE CODE
2022 EDITION CALIFORNIA GREEN BUILDING STANDARDS CODE

CITY OF SOUTH SAN FRANCISCO MUNICIPAL CODE (INCLUDING LOCAL AMENDMENTS TO THE ABOVE ADOPTED CODES AND LOCAL GREEN BUILDING REQUIREMENTS)

TITLE 24, PART 6 , CALIFORNIA ENERGY CODE (LATEST EDITION)
TITLE 24 HANDICAPPED ACCESSIBILITY REGULATIONS (LATEST EDITION)

PROJECT DATA

BUILDING DATA:

OCCUPANCY CLASSIFICATION: (CBC SECTION 304)	B
CONSTRUCTION TYPE: (CBC TABLE 602)	TYPE V-B
BUILDING AREA:	13,249 SF
ZONING:	T3C (T3 CORRIDOR)
APN:	012176010, 012176020
LOT SIZE:	10,075 SF (012176010), 4,176 SF (012176020)
EXISTING USE AT 619 AIRPORT BLVD.:	AUTO/ SALES REPAIR
EXISTING USE AT 111 PINE AVE.:	OFFICE
BUIDLING HEIGHT:	(E) 1-STORY
FIRE PROTECTION:	(E) NOT EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM

PROJECT DATA:

AREA OF WORK AT 619 AIRPORT BLVD.:	0 SF
OCCUPANCY TYPE:	B
PROPOSED USE AT 619 AIRPORT BLVD.:	HANDICRAFT/ CUSTOM MANUFACTURING (PER SSF MUNICIPAL CODE TABLE 20.135.060 (B)(1))
PROPOSED USE AT 111 PINE AVE.:	OFFICE AND HANDICRAFT/ CUSTOM MANUFACTURING

PROJECT DIRECTORY

CLIENT
MYTRA
111 PINE AVE
SOUTH SAN FRANCISCO, CA 94080
CHRISTOPHER LARA
847.738.4716
lara@mytra.ai

ARCHITECT
FOLIO ARCHITECTS
4633 OLD IRONSIDES DRIVE, SUITE 360
SANTA CLARA, CA 95054
DEEPA DHAR
408.980.8955
deepa@folioarchitects.com

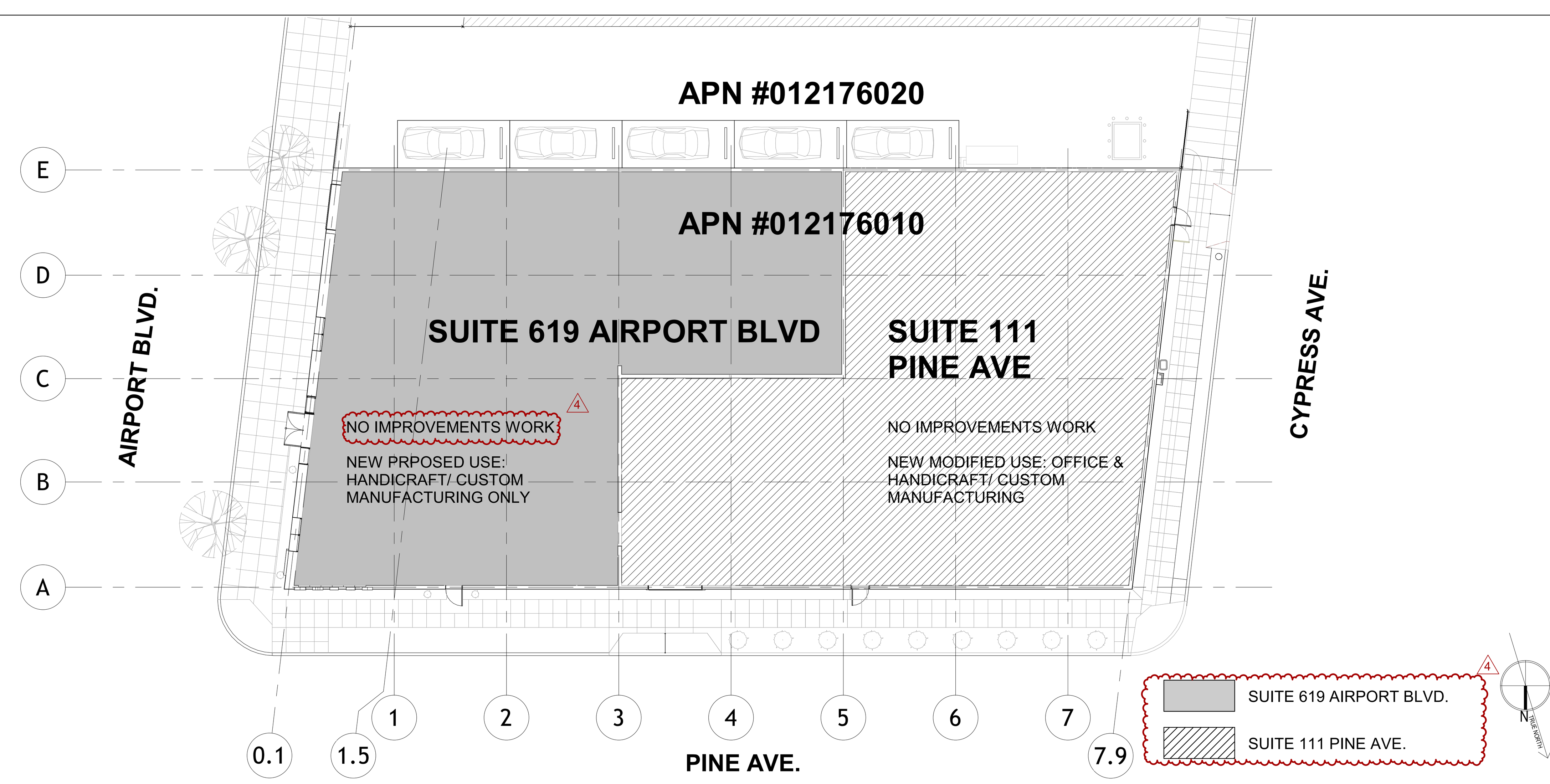
MYTRA IS A SOFTWARE AND ROBOTICS COMPANY FOUNDED IN 2022, DEVELOPING STORAGE SOLUTIONS AND MATERIAL FLOW AUTOMATION. COMPANY SIZE IS 40-50 EMPLOYEES.

WEBSITE: https://mytra.ai/

DRAWING INDEX

T-001	TITLE SHEET PROJECT DATA & GENERAL NOTES
A-100	ADJACENT SITES
A-101	DEMOLITION SITE PLAN
A-102	PROPOSED SITE PLAN
A-201	FIRST FLOOR DEMOLITION FLOOR PLAN
A-202	MEZZANINE LEVEL DEMOLITION FLOOR PLAN
A-211	FIRST FLOOR PROPOSED FLOOR PLAN
A-212	MEZZANINE LEVEL PROPOSED FLOOR PLAN
A-221	EXISTING EXTERIOR ELEVATIONS
A-222	PROPOSED EXTERIOR ELEVATIONS
A-231	PROPOSED POWER AND UTILITY PLAN
A-311	PROPOSED REFLECTED CEILING PLAN

AREA OF WORK



GENERAL NOTES

CODE COMPLIANCE:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE LATEST EDITION AND THE LATEST EDITIONS OF ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. ALL WORK TO COMPLY WITH THE STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY REQUIREMENTS.

OWNER & ARCHITECT INFORMATION:

2. THE TERM 'OWNER', AS NOTED ON DRAWINGS AND AS SPECIFIED HEREIN, REFERS TO MYTRA, 111 PINE AVE., SOUTH SAN FRANCISCO, CA 94080.
3. THE TERM 'ARCHITECT', AS NOTED ON DRAWINGS, REFERS TO FOLIO ARCHITECTS, 4633 OLD IRONSIDES DRIVE, SUITE 360, SANTA CLARA, CA 95054.

SITE VISIT & SITE CONDITION:

4. THE GENERAL CONTRACTOR SHALL EXAMINE AND VERIFY EXISTING CONDITIONS AND DIMENSIONS. NO ADDITIONAL EXPENSE SHALL BE ALLOWED WHICH RESULTS FROM A FAILURE TO PERFORM THIS EXAMINATION.
5. THE GENERAL CONTRACTOR SHALL PROMPTLY REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS TO THE ARCHITECT, PRIOR TO STARTING THE AFFECTED WORK.
6. THE GENERAL CONTRACTOR SHALL SUBMIT TO THE OWNER, FOR APPROVAL, A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING OF WORK AND ANY MECHANICAL OR ELECTRICAL DISRUPTIONS TO BUILDING SERVICES.
7. THE GENERAL CONTRACTOR SHALL PROTECT AREA AND NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE, WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC. AND SHALL PROVIDE AND MAINTAIN TEMPORARY PARTITIONS, CLOSURE WALLS, ETC. AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, STRUCTURE AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE GENERAL CONTRACTOR.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL AREAS IN A CLEAN CONDITION.
9. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOBSITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS, AS REQUIRED.

MATERIALS:

10. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT AND SAMPLES OF ALL FINISHES CALLED FOR TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION.
11. ALL MATERIALS, FIXTURES AND EQUIPMENT INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL BE NEW AND AS SPECIFIED, U.N.O.
12. MATERIALS ARE SPECIFIED BY THEIR BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL.
13. ALL NEW FINISHED AND PATCHED SURFACES SHALL BE SMOOTH AND FREE OF ANY IMPERFECTIONS AND IN A PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. PATCHED AREAS SHALL MATCH THE ADJACENT MATERIALS, CONSTRUCTION AND FINISH.
14. PROVIDE ALL REQUIRED BLOCKING, FURRING AND BACKING FOR ANY WALL MOUNTED FIXTURES, SHELVING AND ACCESSORIES.
15. ALL JOINTS AND PENETRATION AT EXTERIOR WALLS, CEILINGS AND ROOF ASSEMBLIES SHALL BE FULLY CAULKED AND SEALED.

DRAWING DIMENSIONS:

16. DO NOT SCALE FROM THE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE. THE ARCHITECT MUST BE NOTIFIED OF ANY CONFLICTS IN DIMENSIONING.
17. DIMENSIONS INDICATED ON THE FLOOR PLANS ARE TO FACE OF STUD OR EDGE OF COUNTERTOP, U.N.O. DIMENSIONS FROM EXISTING WALLS AND BUILDING SHELL ARE FROM FACE OF CONCRETE OR FACE OF (E) WALL.
18. FINISH FLOOR LEVEL OF SUB-FLOOR IS THE DATUM POINT (±0'-0") FROM WHICH ALL OTHER DIMENSIONS ARE TAKEN.
19. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE LOCATED 3" FROM THE FACE OF FINISHED WALL TO FACE OF DOOR FRAME JAMB.

ARCHITECT'S & ENGINEER'S APPROVAL:

20. THE GENERAL CONTRACTOR SHALL MARK ALL LOCATIONS OF WALL AND DOORS FOR REVIEW BY ARCHITECT, PRIOR TO INSTALLATION.
21. FINAL LOCATIONS OF ALL VISIBLE EQUIPMENT, MP COMPONENTS, FIXTURES. ETC. SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
22. ALL PENETRATIONS THROUGH STRUCTURAL MEMBERS, CEILING ROOF AND FLOOR SLAB SHALL REQUIRE APPROVAL BY THE ARCHITECT & STRUCTURAL ENGINEER PRIOR TO PERFORMING THE WORK.
23. NO NEW EQUIPMENT, PIPING, CONDUITS OR OTHER ITEMS SHALL BE SUSPENDED FROM ROOF SUB-PURLINS.

FIRE PROTECTION:

24. ADDITIONS, CORRECTIONS AND MODIFICATIONS TO AUTOMATIC FIRE SPRINKLER SYSTEM WILL COMPLY WITH NFPA#13, 2019 EDITION.
25. PROVIDE NEW AND MODIFY EXISTING FIRE SPRINKLER SYSTEMS AS REQUIRED PER SPECIFICATIONS OF LOCAL GOVERNING AGENCIES. FIRE SPRINKLER SUBCONTRACTOR SHALL SUBMIT DESIGN BUILD DRAWINGS TO LOCAL GOVERNING AGENCIES FOR APPROVAL.
26. PROVIDE A MINIMUM OF 2A-10BC CLASSIFICATION FIRE EXTINGUISHER WITHIN 75' TRAVEL DISTANCE FOR EACH 6,000 SF OR PORTION THEREOF ON EACH FLOOR. (NFPA10 2019 EDITION & CFC STANDARDS 906).
27. THE MAXIMUM FLAMESPREAD CLASSIFICATION OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE LIMITS SET FORTH IN C.B.C.TABLE 803.9

ACCESSIBILITY COMPLIANCE:

28. ALL WORK TO COMPLY WITH THE STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY AND AMERICANS WITH DISABILITIES ACT.
29. ALL EXIT DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

CONTRACT CLOSE OUT:

30. CONTRACT CLOSE OUT:
    A. EXECUTE FINAL CLEANING PRIOR TO FINAL INSPECTION.
    B. MAINTAIN ONE SET OF RECORD DOCUMENTS WITH ACTUAL REVISIONS TO THE WORK. RECORD DOCUMENTS TO INCLUDE CONSTRUCTION DRAWINGS, SPECIFICATIONS, ADDENDA AND CHANGE ORDERS. SUBMIT DOCUMENTS TO ARCHITECT WITH FINAL APPLICATION FOR PAYMENT.

FIRE NOTES:

1. PRIOR TO SUBMITTAL OF BUILDING PERMITS, THE FOLLOWING ITEMS SHALL BE SUBMITTED DIRECTLY TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL:

A. FIRE APPARATUS ACCESS SITE PLAN
B. FIRE PROTECTION WATER SUPPLY

2. PRIOR TO ISSUANCE OF BUILDING PERMITS, THE OWNER OR OWNER'S AUTHORIZED AGENT SHALL BE RESPONSIBLE FOR THE DEVELOPMENT, IMPLEMENTATION, AND MAINTENANCE OF AN APPROVED WRITTEN SITE SAFETY PLAN APPROVED BY THE FIRE CODE OFFICIAL IN ACCORDANCE WITH CBC & CFC CHAPTER 33.

3. PRIOR TO ISSUANCE OF ANY BUILDING OR CONSTRUCTION PERMITS FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER, FIRE MARSHAL, AND CHIEF PLANNER.

DEFERRED SUBMITTALS:

1. SIGN PERMIT.
2. ~~FIRE SPRINKLER~~

MYTRA

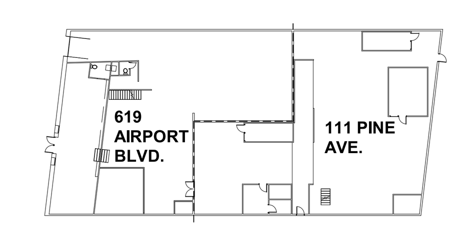
CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

STAMP

LICENSED ARCHITECT Deepanjali Dhar No. C 24738 REN.: Nov. 2025 STATE OF CALIFORNIA

KEYPLAN



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Project No.	#2318
Proj. Manager	DEEPA DHAR
Scale	AS NOTED
Date	NOV. 10, 2023

Revisions		
4	11/01/24	PLANNING RESPONSE 2
3	03/08/24	OWNER REVISIONS
2	02/13/24	PLANNING RESPONSE
1	01/22/24	OWNER REVISIONS
	11/09/23	ISSUED FOR PLANNING REVIEW

SHEET TITLE

TITLE SHEET PROJECT DATA & GENERAL NOTES

SHEET NUMBER

T-001

MYTRA

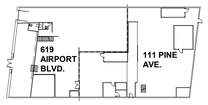
CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

STAMP

LICENSED ARCHITECT
Deepa Dhar
No. C24738
REN.: Nov. 2025
STATE OF CALIFORNIA

KEYPLAN



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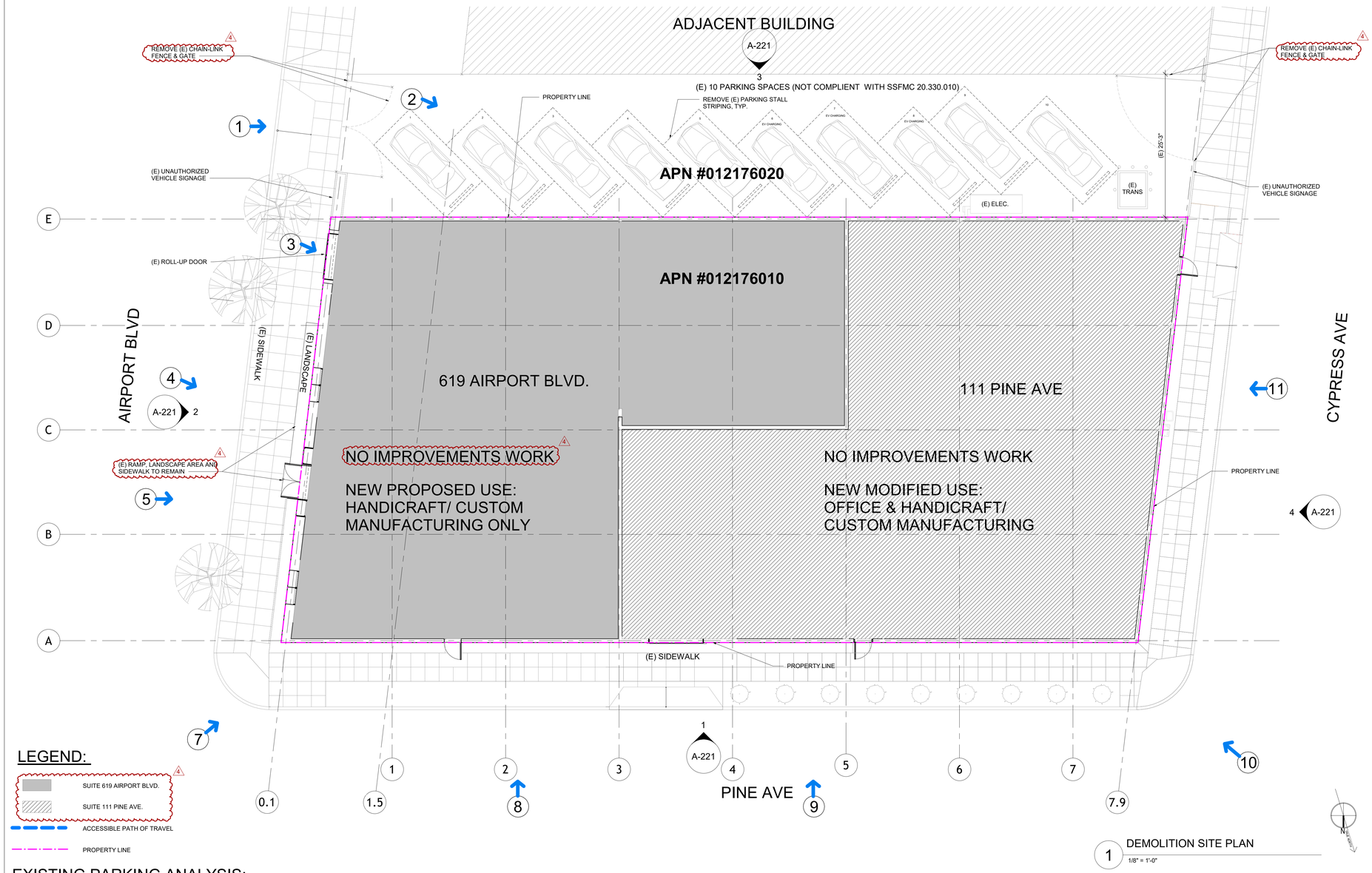
1.	01/22/24	OWNER REVISIONS
	11/09/23	ISSUED FOR PLANNING REVIEW

SHEET TITLE

ADJACENT SITES

SHEET NUMBER

A-100



1 DEMOLITION SITE PLAN
1/8" = 1'-0"

LEGEND:

- SUITE 619 AIRPORT BLVD.
- SUITE 111 PINE AVE.
- ACCESSIBLE PATH OF TRAVEL
- PROPERTY LINE

EXISTING PARKING ANALYSIS:

TOTAL BUILDING AREA = 13,249 S.F.
- 111 PINE AVE.: 600 S.F. OFFICE AREA + 5,965 S.F. FOR HANDICRAFT/CUSTOM MANUFACTURING AREA
- 619 AIRPORT BLVD.: 6,684 S.F. FOR HANDICRAFT/CUSTOM MANUFACTURING

PARKING SPACES REQUIRED PER SOUTH SAN FRANCISCO MUNICIPAL CODE 20.330.004 (F):

F. TRANSIT STATION AREAS. IN ACCORDANCE WITH AB 2097, NO OFF-STREET PARKING IS REQUIRED FOR ANY USE LOCATED WITH A TRANSIT STATION AREA.

THE PROJECT SITE IS WITHIN ONE-HALF MILE OF SOUTH SAN FRANCISCO CALTRAIN STATION.

TOTAL PARKING REQUIRED:	= 0
EXISTING TOTAL PARKING (NOT COMPLIANT WITH SSFMC 20.330.010):	= 10
EXISTING VAN ACCESSIBLE PARKING: (PER CBC 11B 208.4)	= 0
EXISTING REGULAR ACCESSIBLE PARKING: (PER CBC 11B 208.2)	= 0

MYTRA

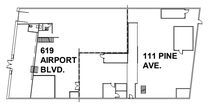
CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

STAMP

LICENSED ARCHITECT
Deepa Dhar
No. C24738
REN.: Nov. 2025
STATE OF CALIFORNIA

KEYPLAN



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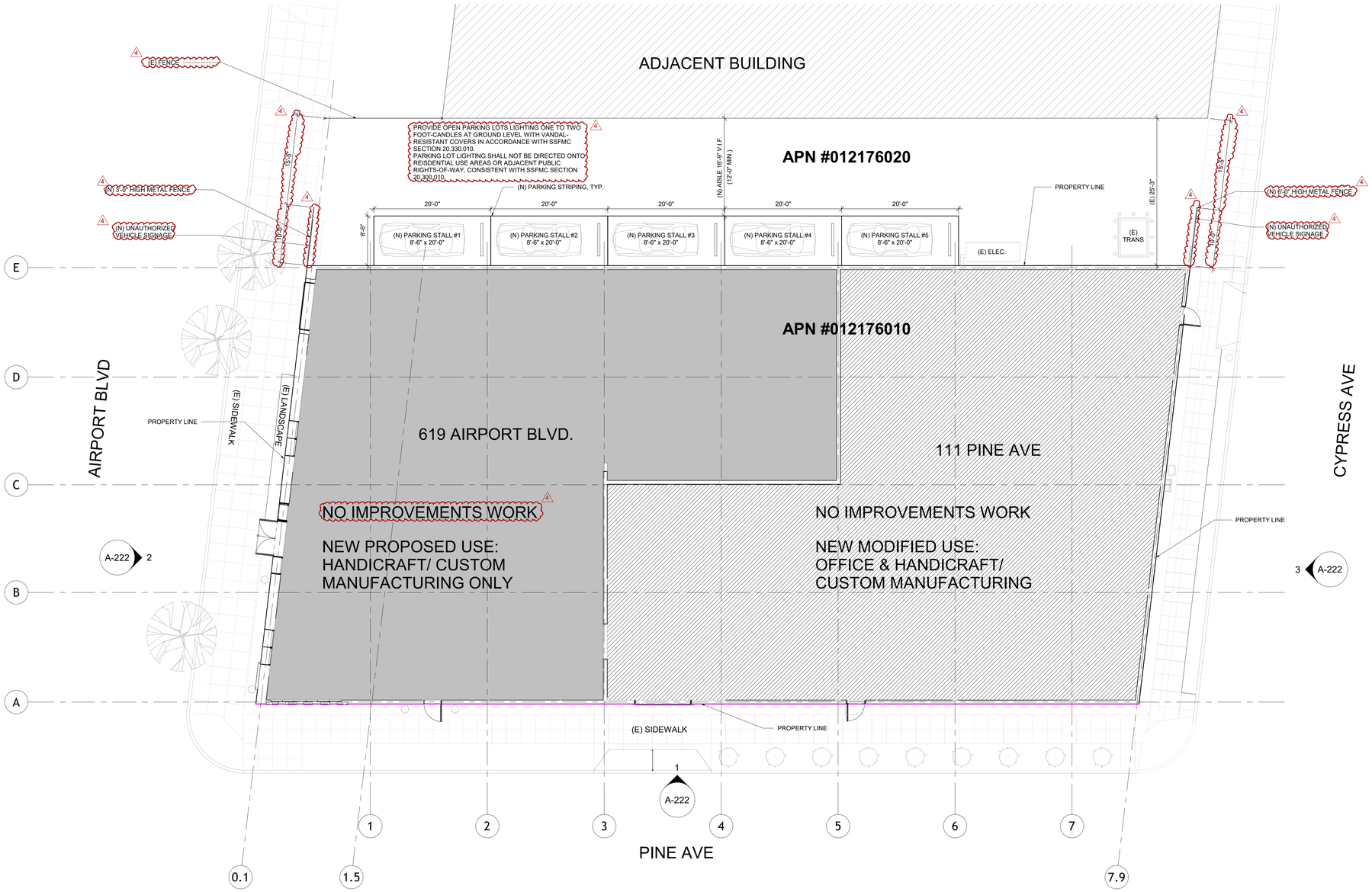
1.	01/22/24	OWNER REVISIONS
0.	11/09/23	ISSUED FOR PLANNING REVIEW

SHEET TITLE

DEMOLITION SITE PLAN

SHEET NUMBER

A-101



1 PROPOSED SITE PLAN
1/8" = 1'-0"

PROPOSED PARKING ANALYSIS:

TOTAL BUILDING AREA = 13,249 S.F.
- 111 PINE AVE.: 600 S.F. OFFICE AREA + 5,965 S.F. FOR HANDICRAFT/CUSTOM MANUFACTURING AREA
- 619 AIRPORT BLVD.: 6,684 S.F. FOR HANDICRAFT/CUSTOM MANUFACTURING

PARKING SPACES REQUIRED PER SOUTH SAN FRANCISCO MUNICIPAL CODE 20.330.004 (F):

F. TRANSIT STATION AREAS. IN ACCORDANCE WITH AB 2097, NO OFF-STREET PARKING IS REQUIRED FOR ANY USE LOCATED WITH A TRANSIT STATION AREA.

THE PROJECT SITE IS WITHIN ONE-HALF MILE OF SOUTH SAN FRANCISCO CAL TRAIN STATION.

TOTAL PARKING REQUIRED: = 0

TOTAL PARKING PROVIDED (RESTRIPING ONLY): = 5

ACCESSIBLE PARKING REQUIRED: = 0
(PER CBC 11B-202.4 EXCEPTIONS 5)

VAN ACESSIBLE PARKING REQUIRED: = 0
(PER CBC 11B-202.4 EXCEPTIONS 5)

CBC 11B-202.4 EXCEPTIONS 5:
ALTERATIONS OF EXISTING PARKING LOTS BY RESURFACING AND/OR RESTRIPING SHALL BE LIMITED TO THE ACTUAL SCOPE OF WORK OF THE PROJECT AND SHALL NOT REQUIRE TO COMPLY WITH SECTION 11B-202.4.

ACCESSIBLE PARKING PROVIDED = 0
(EXISTING SITE TECHNICAL INFEASIBILITY)

SHORT TERM BICYCLE PARKING REQUIRED: (PER SSFMC 20.330.007 (A)) 5% X 0 = 0
LONG TERM BICYCLE PARKING REQUIRED: (PER SSFMC 20.330.007 (B)) 5% X 0 = 0
LONG TERM BICYCLE PARKING PROVIDED: (SEE 1/A-211) = 3

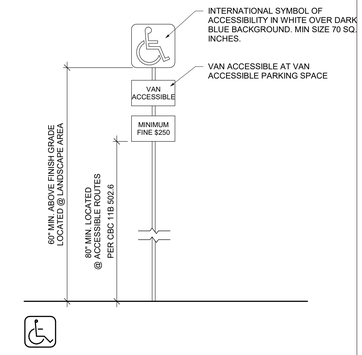
LEGEND:

- SUITE 619 AIRPORT BLVD.
- SUITE 111 PINE AVE.
- ACCESSIBLE PATH OF TRAVEL
- PROPERTY LINE

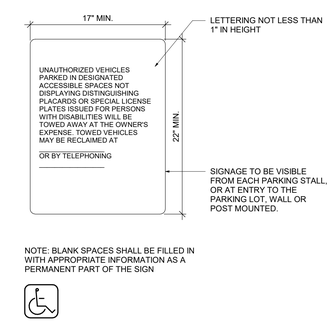
NOTE:

1. WALKWAYS & SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE (1) CONTINUOUSLY ACCESSIBLE, (2) HAVE MAXIMUM 1/2" CHANGES IN ELEVATION, OR HAVE CURB RAMPS COMPLYING WITH CBC 1112A; (3) ARE MINIMUM 48" IN WIDTH, AND (4) WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% (I.E., 1:20) SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 1113A. CBC 1114A.
2. DETECTABLE WARNINGS AT NEW CURBS RAMPS/CONCRETE POURS AT WALKWAYS ADJACENT TO/CROSSING VEHICULAR PATH OF TRAVEL, SHALL BE CAST-IN-PLACE. BOLT-ON OR STICK-ON DETECTABLE WARNIINGS ARE NOT PERMITTED. ALL DETECTABLE WARNINGS MUST HAVE A MINIMUM 5 YEAR WARRANTY.
3. ACCESSIBLE PATH OF TRAVEL SHALL HAVE MAX. 5% SLOPE IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE.

NOT USED



ACCESSIBLE PARKING SIGN DETAIL 3
NTS



NOTE: BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN

UNAUTHORIZED VEHICLE SIGNAGE DETAIL. 4
1" = 1'-0"

MYTRA

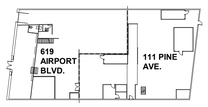
CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

STAMP

LICENSED ARCHITECT
Deepanjali Dhar
No. C24738
REN.: Nov. 2025
STATE OF CALIFORNIA

KEYPLAN



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tel. 408-980-8955 fax. 408-980-9437

Project No.	#2318
Proj. Manager	DEEPA DHAR
Scale	AS NOTED
Date	NOV. 10, 2023

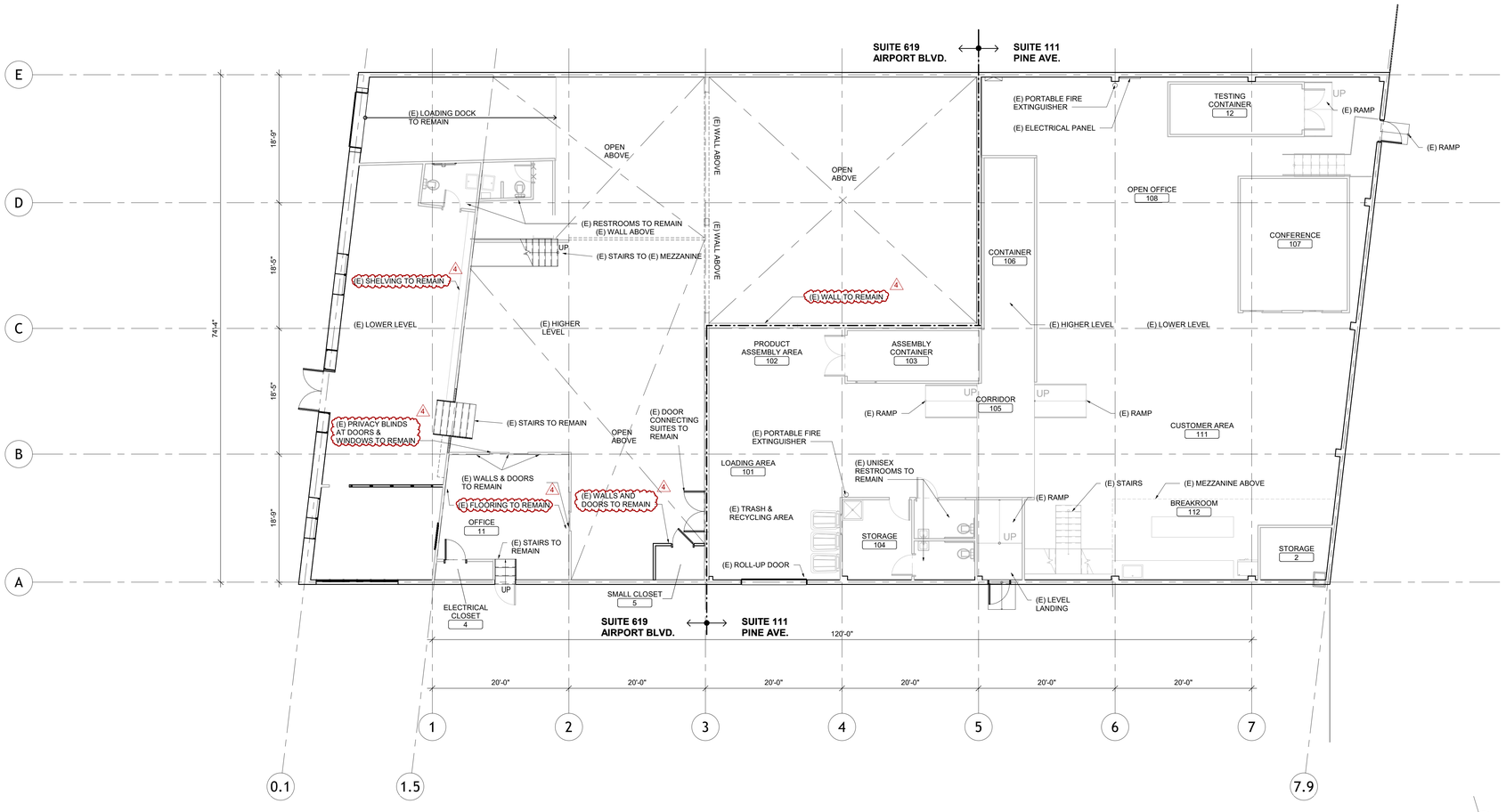
Revisions		
4.	11/01/24	PLANNING RESPONSE 2
3.	03/08/24	OWNER REVISIONS
2.	02/13/24	PLANNING RESPONSE
1.	01/22/24	OWNER REVISIONS
△	11/09/23	ISSUED FOR PLANNING REVIEW

SHEET TITLE

PROPOSED SITE PLAN

SHEET NUMBER

A-102



1 FIRST FLOOR DEMOLITION FLOOR PLAN
1/8" = 1'-0"

DEMOLITION PLAN LEGEND

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION NOTES

1. ALL DEMOLITION TO BE DONE PER APPLICABLE CODES AND REGULATIONS.
2. VERIFICATION OF EXISTING FIELD CONDITIONS IS REQUIRED PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE WITH BUILDING OWNER TO IDENTIFY ITEMS (QUANTITY AND QUALITY) TO BE SAVED AND REUSED. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS REVEAL ITEMS NOT SHOWN ON PRICING PLAN.
3. PROTECT FROM DAMAGE ALL MATERIALS NOT REQUIRED TO BE REMOVED OR DEMOLISHED.
4. MAINTAIN ALL BUILDING SERVICES, SECURITY, FIRE ALARM AND FIRE PROTECTION SYSTEMS IN WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.
5. ALL ELECTRICAL AND DATA OUTLETS, SWITCHES OR THERMOSTATS IN DEMOLISHED WALLS TO BE REMOVED. THERMOSTATS TO BE RELOCATED AS REQUIRED BY NEW PARTITION LAYOUT.
6. REMOVE ONLY THE UTILITY LINES AND CONDUITS WHICH ARE NOT INTENDED TO REMAIN IN THE TENANT SPACE AND ONLY IF THEIR REMOVAL WILL NOT IMPEDE THE OPERATION OF OTHER PORTIONS OF THE BUILDING.
7. REMOVE PIPING AND CAP ALL UTILITIES WHERE FIXTURES (SINKS, ELECTRICAL OUTLETS, SWITCHES, ETC.) AND/OR PARTITIONS HAVE BEEN REMOVED. CAP ALL UTILITIES BEHIND NEW FINISHED SURFACES.
8. PATCH AND REPAIR ALL WALLS TO REMAIN, AS REQUIRED, WHEN AFFECTED BY DEMOLITION.
9. ALL ELECTRICAL PANELS LOCATED IN WALLS TO BE DEMOLISHED SHOULD BE RELOCATED. COORDINATE WITH ARCHITECT.
10. DUST AND DEBRIS MUST NOT BE ALLOWED TO ENTER THE SUPPLY/RETURN AIR SYSTEM OR ADJACENT SPACES. TAPE OFF ALL EQUIPMENT OR DUCT OPENINGS AND PROVIDE DUST PROOF BARRIERS WHERE REQUIRED DURING CONSTRUCTION AND REMOVE ONCE DUST IS NO LONGER BEING GENERATED.
11. DOORS & DOOR FRAMES TO BE REMOVED & SALVAGED FOR REUSE WHEREEVER POSSIBLE.
12. DEMO TO INCLUDE REMOVAL OF ALL MISC. FIXTURES IN AREA OF WORK.

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CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

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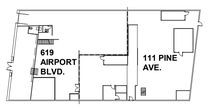
LICENSED ARCHITECT
Deepanjali Dhar
No. C-24738
REN.: Nov. 2025
STATE OF CALIFORNIA

KEYPLAN



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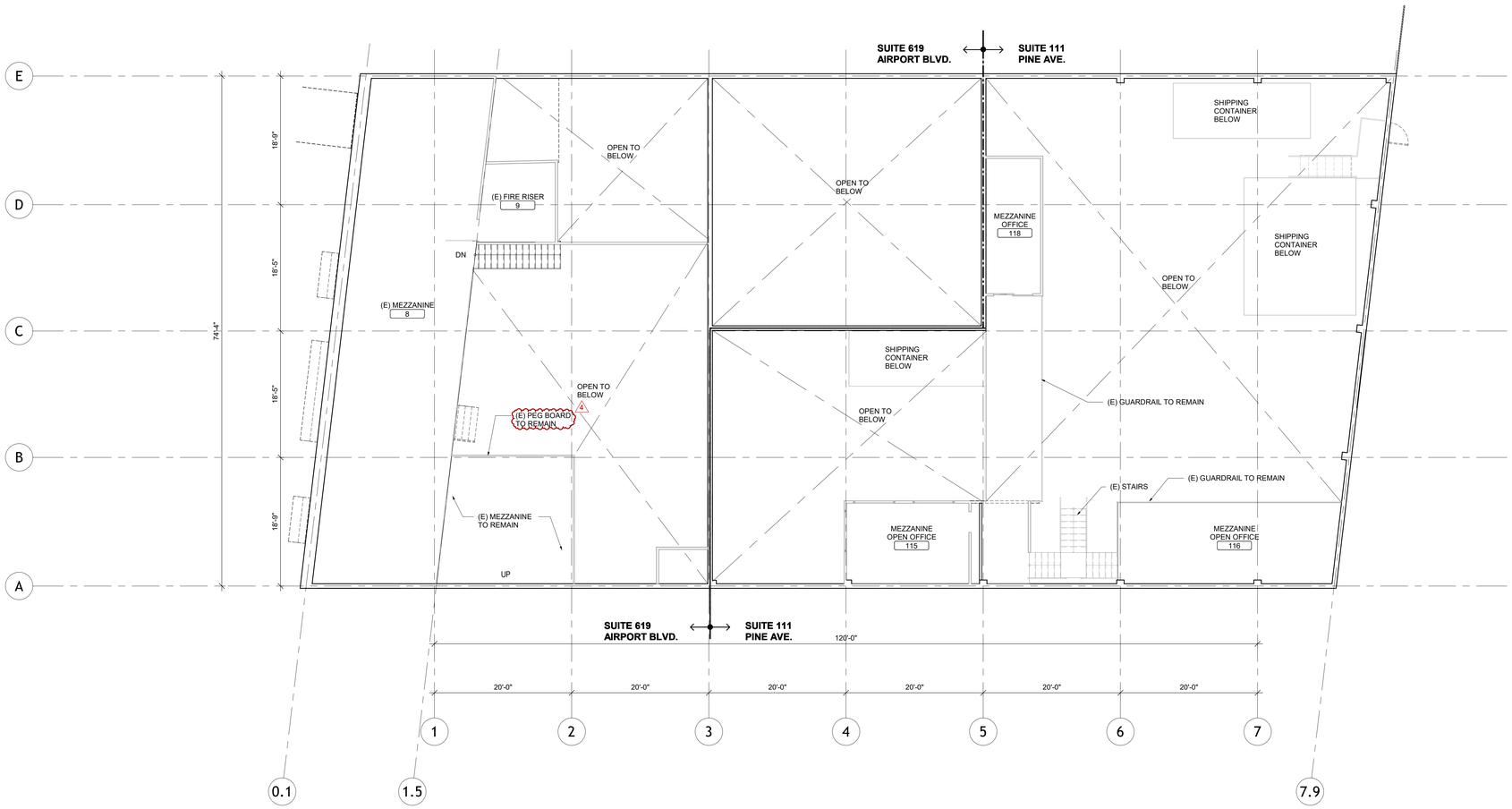
11/09/23	ISSUED FOR PLANNING REVIEW

SHEET TITLE

FIRST FLOOR DEMOLITION FLOOR PLAN

SHEET NUMBER

A-201



1 MEZZANINE LEVEL DEMOLITION FLOOR PLAN
1/8" = 1'-0"

DEMOLITION PLAN LEGEND

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION NOTES

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11. DOORS & DOOR FRAMES TO BE REMOVED & SALVAGED FOR REUSE WHEREEVER POSSIBLE.
12. DEMO TO INCLUDE REMOVAL OF ALL MISC. FIXTURES IN AREA OF WORK.

MYTRA

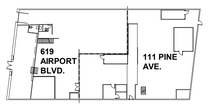
CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

STAMP

LICENSED ARCHITECT
Deepa Dhar
No. C 24738
REN.: Nov. 2025
STATE OF CALIFORNIA

KEYPLAN



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Project No.	#2318
Proj. Manager	DEEPA DHAR
Scale	AS NOTED
Date	NOV. 10, 2023

Revisions		
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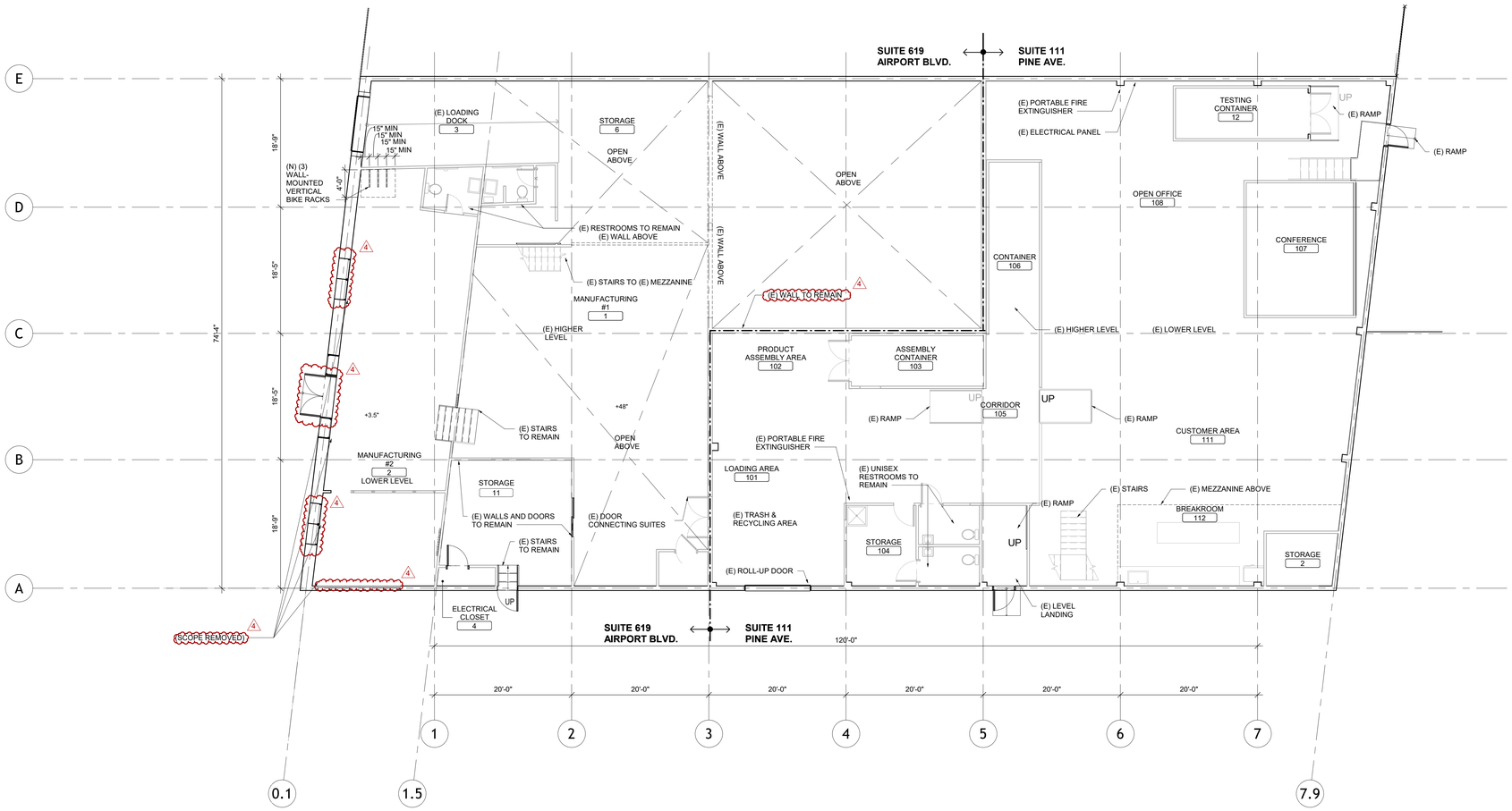
2.	02/13/24	PLANNING RESPONSE
1.	01/22/24	OWNER REVISIONS
△	11/09/23	ISSUED FOR PLANNING REVIEW

SHEET TITLE

MEZZANINE LEVEL DEMOLITION FLOOR PLAN

SHEET NUMBER

A-202



1 FIRST FLOOR PROPOSED FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN LEGEND

(E) NON RATED WALL

FLOOR PLAN NOTES

1. PROVIDE BACKING FOR WALL MOUNTED EQUIPMENT & CABINETS. COORDINATE EXACT FURNITURE LOCATIONS & EQUIPMENT REQUIREMENTS.
2. ALL COUNTERTOPS IN LABS ARE 30" DEEP & 36" A.F.F., U.N.O
3. MAXIMUM HEIGHT OF ALL CONTROLS (SWITCHES, THERMOSTATS ETC) SHALL BE 48" A.F.F. TO TOP OF BOX.
4. ALL NEW ELECTRICAL OUTLETS ARE AT +18" A.F.F. U.N.O. OUTLETS SHALL NOT BE INSTALLED BACK TO BACK. STAGGER MIN 6". PROVIDE OUTLET PADS @ ALL WALLS WITH ACOUSTIC INSULATION.
5. ALL ELECTRICAL OUTLETS SHALL BE CLEARLY LAMBLED WITH PANEL NUMBER & CIRCUIT ID NUMBER.
6. ALL WALLS, DOORS AND DOOR FRAMES SHALL BE PAINTED P-1 U.N.O.
7. IN AREAS WITH NO CEILING, EXPOSED STRUCTURE AND DUCTWORK SHALL BE PAINTED P-2, U.N.O.
8. ALL WALLS SHALL BE PAINTED FROM CORNERS TO CORNERS.

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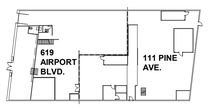
CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

STAMP

LICENSED ARCHITECT
Deepanjali Dhar
No. C 24738
REN.: Nov. 2025
STATE OF CALIFORNIA

KEYPLAN



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Project No.	#2318
Proj. Manager	DEEPA DHAR
Scale	AS NOTED
Date	NOV. 10, 2023

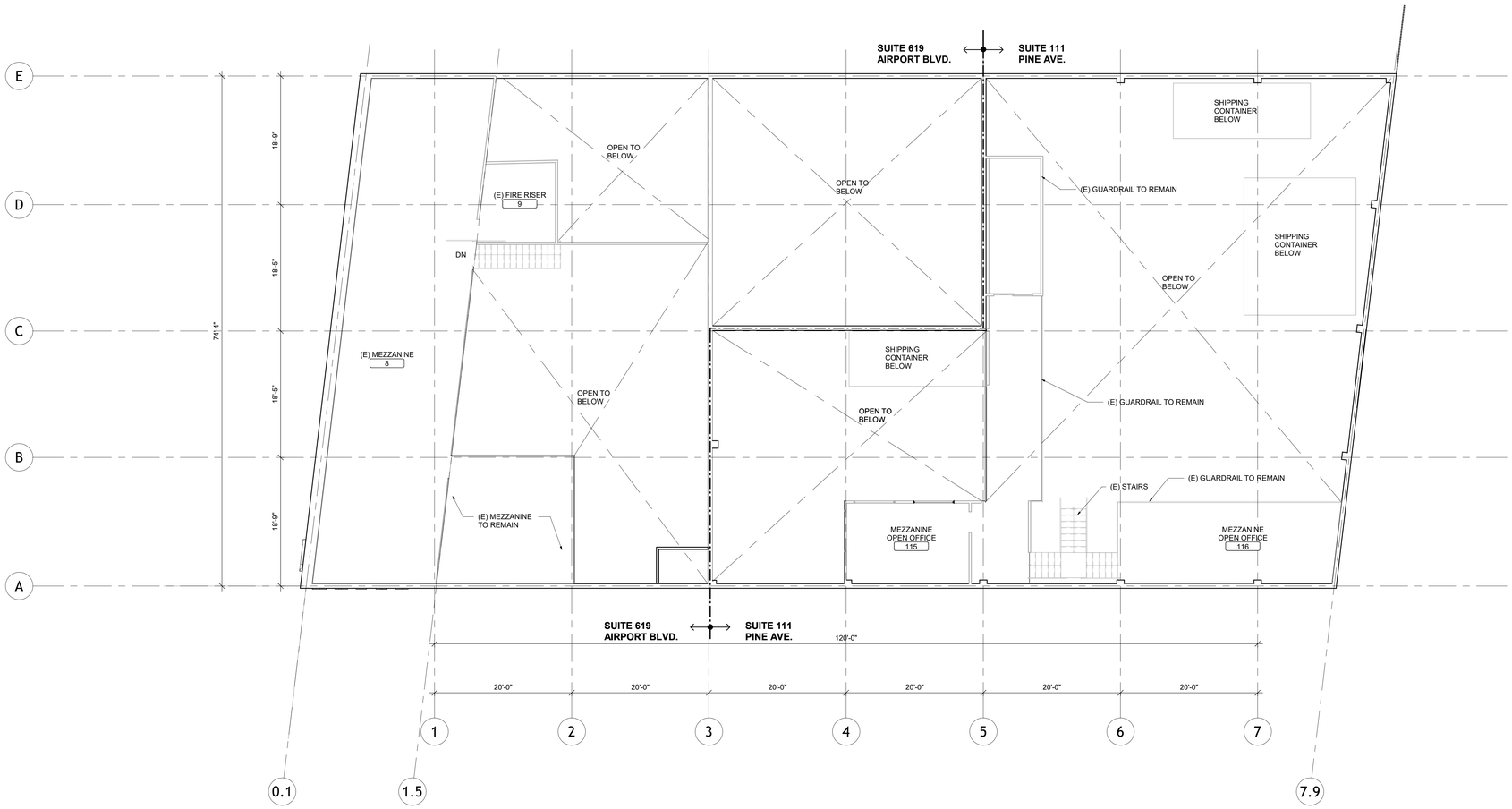
Revisions		
4.	11/01/24	PLANNING RESPONSE 2
3.	03/08/24	OWNER REVISIONS
2.	02/13/24	PLANNING RESPONSE
1.	01/22/24	OWNER REVISIONS
	11/09/23	ISSUED FOR PLANNING REVIEW

SHEET TITLE

FIRST FLOOR PROPOSED FLOOR PLAN

SHEET NUMBER

A-211



1 MEZZANINE LEVEL PROPOSED FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN LEGEND

(E) NON RATED WALL

FLOOR PLAN NOTES

1. PROVIDE BACKING FOR WALL MOUNTED EQUIPMENT & CABINETS. COORDINATE EXACT FURNITURE LOCATIONS & EQUIPMENT REQIUIREMENTS.
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8. ALL WALLS SHALL BE PAINTED FROM CORNERS TO CORNERS.

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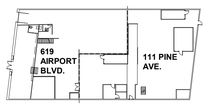
CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

STAMP

LICENSED ARCHITECT
Deepa Dhar
No. C 24738
REN.: Nov. 2025
STATE OF CALIFORNIA

KEYPLAN



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Project No.	#2318
Proj. Manager	DEEPA DHAR
Scale	AS NOTED
Date	NOV. 10, 2023

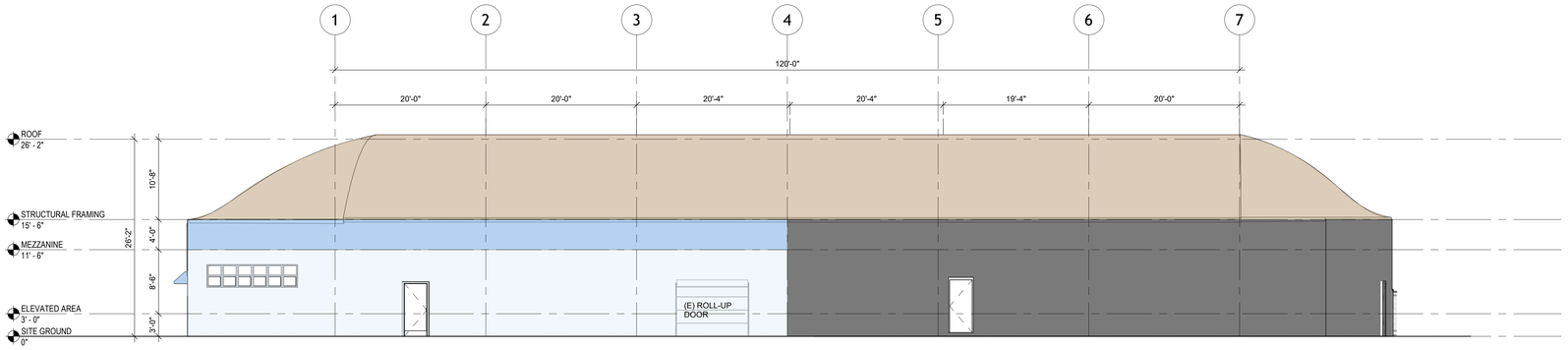
Revisions	
3	03/08/24 OWNER REVISIONS
2	02/13/24 PLANNING RESPONSE
1	01/22/24 OWNER REVISIONS
	11/09/23 ISSUED FOR PLANNING REVIEW

SHEET TITLE

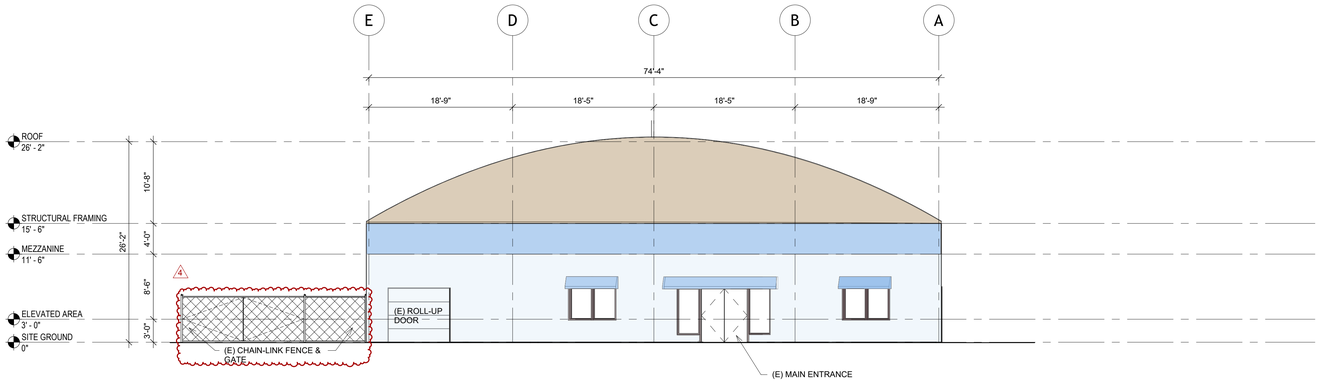
MEZZANINE LEVEL PROPOSED FLOOR PLAN

SHEET NUMBER

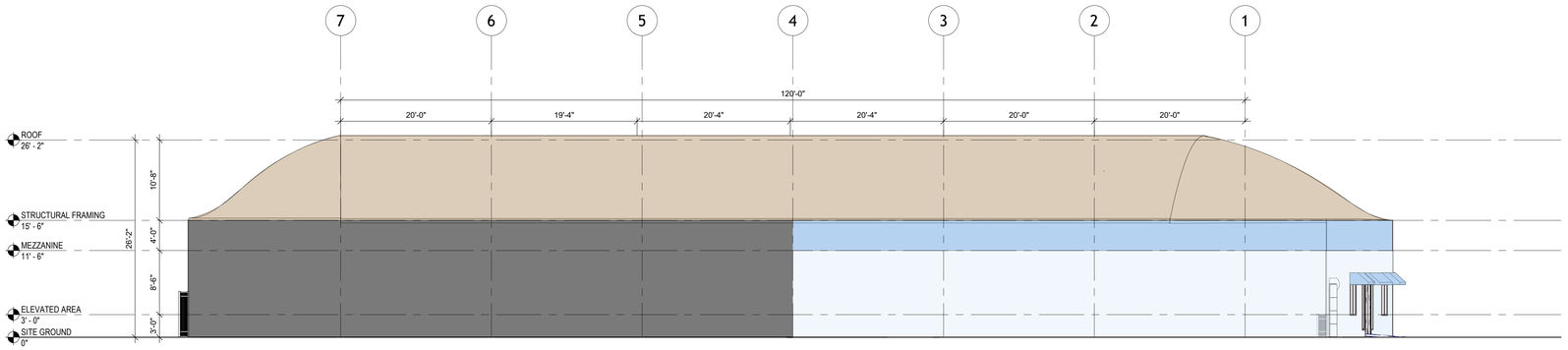
A-212



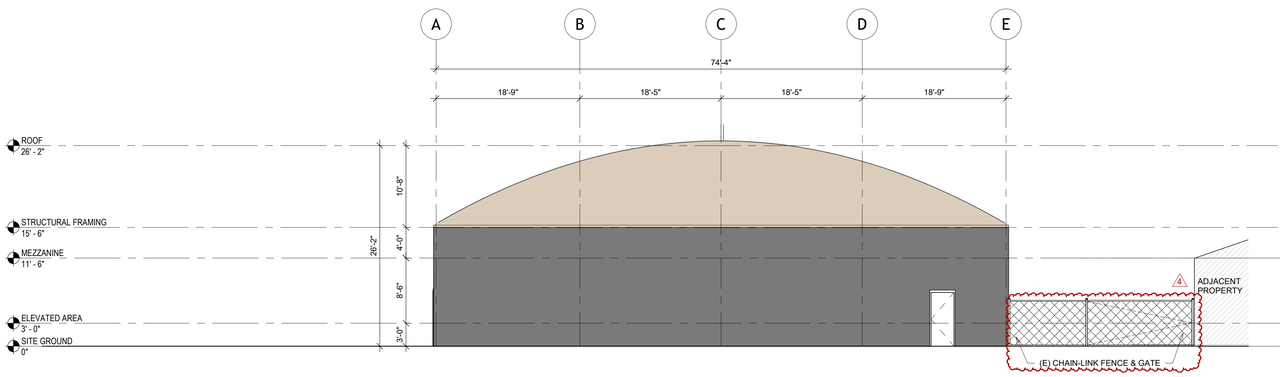
1 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 EXISTING EAST ELEVATION
1/8" = 1'-0"



3 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



4 EXISTING WEST ELEVATION
1/8" = 1'-0"

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CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

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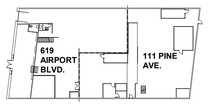
KEYPLAN



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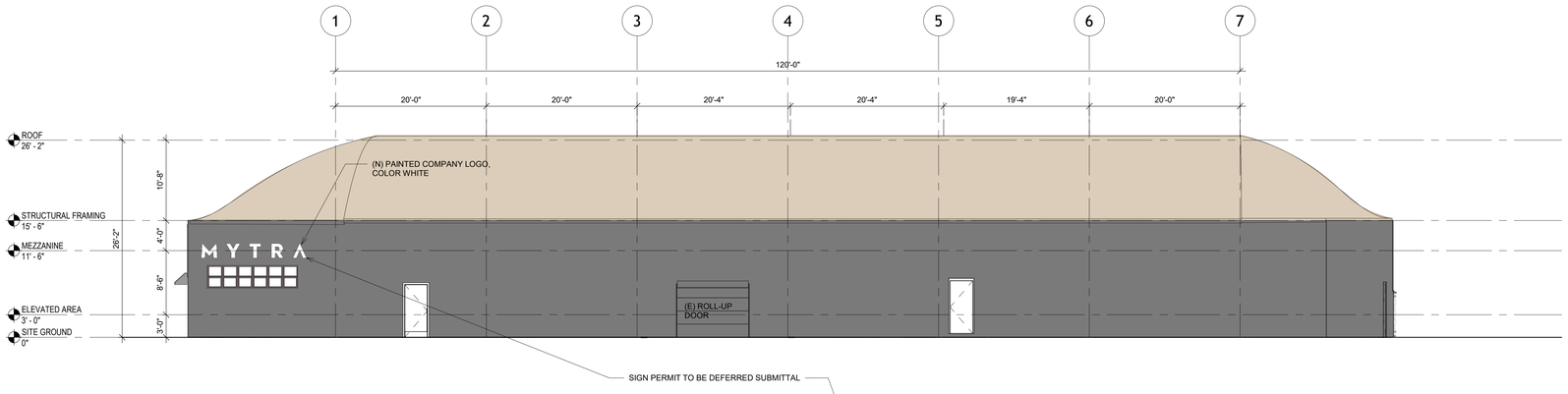
△	11/09/23	ISSUED FOR PLANNING REVIEW

SHEET TITLE

EXISTING EXTERIOR ELEVATIONS

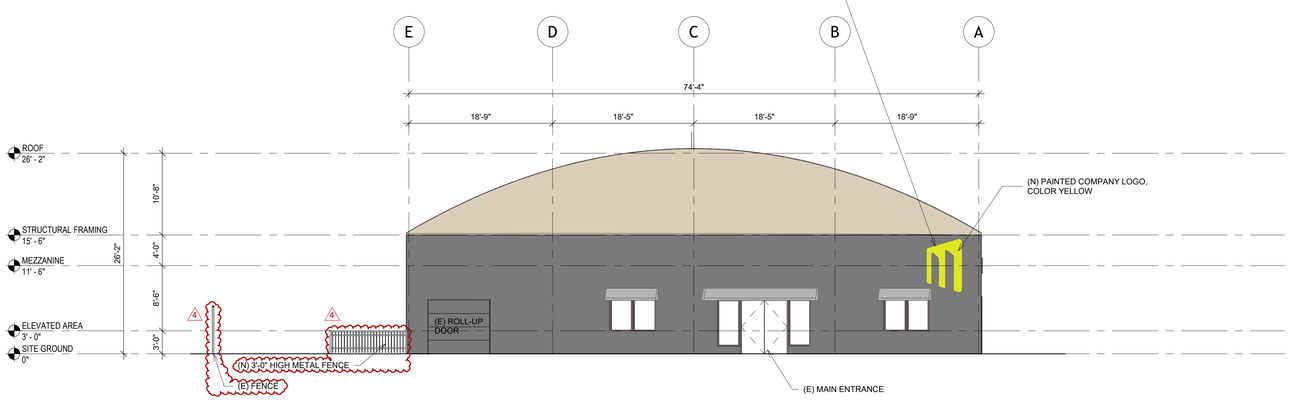
SHEET NUMBER

A-221



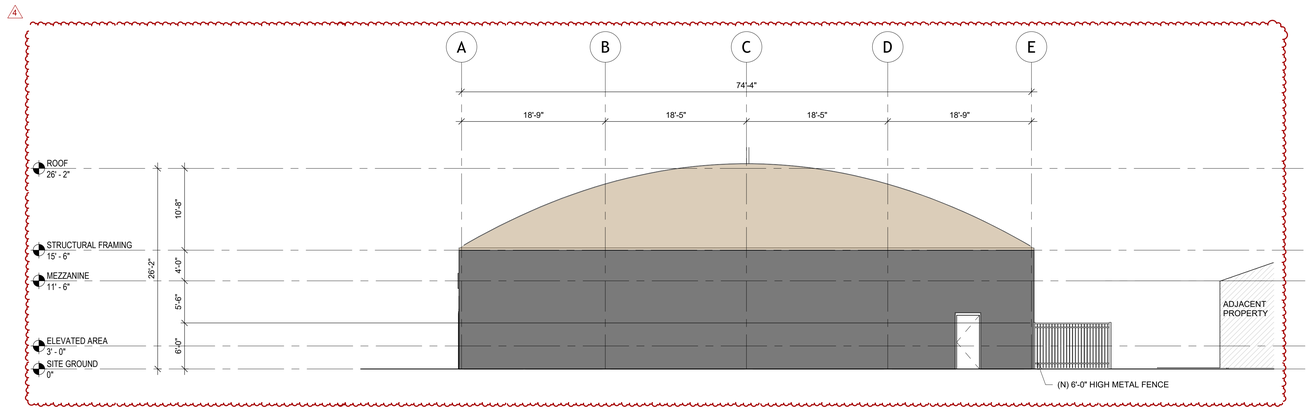
1 PROPOSED NORTH ELEVATION

1/8" = 1'-0"



2 PROPOSED EAST ELEVATION

1/8" = 1'-0"



3 PROPOSED WEST ELEVATION

1/8" = 1'-0"

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CHANGE OF USE

619 AIRPORT BLVD. / 111 PINE AVE.
SOUTH SAN FRANCISCO, CA 94080

STAMP

LICENSED ARCHITECT
Deepanjali Dhar
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REN.: Nov. 2025
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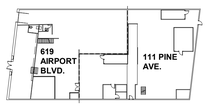
KEYPLAN



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SHEET TITLE

PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A-222