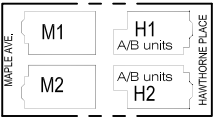


SCALED HALF-SIZE SET



NEW DETACHED TOWN-HOUSES AT 616 MAPLE AVE.

TOWN-HOUSE ADDRESSES: 616 MAPLE & 614 MAPLE AVE.



SMALL CONDO-UNITS AT REAR BUILDINGS

(ALONG HAWTHORNE PLACE)

REAR CONDO-UNITS ADDRESSES:
616-A & 616-B MAPLE AVE.
614-A & 614-B MAPLE AVE.

DOWNTOWN MEDIUM DENSITY RESIDENTIAL

MAPLE - NEW TOWNHOUSES

6 UNITS - 3 size-styles within 4 detached buildings
616 MAPLE AVENUE, SOUTH SAN FRANCISCO CA 94080



BUILDING PERMIT APPLICATION

PERMIT #

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SHEET TITLE :

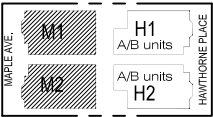
3D-RENDERING

SCALE : 3/16" = 1'-0"

SHEET NO.:

(N) FRONT ELEVATIONS ALONG MAPLE AVE. (UNIT M1& M2) - SHOWN WITH TWO ADJACENT SIDE NEIGHBORS

3/16" = 1'-0"



SCALED HALF-SIZE SET
Neighborhood Meeting HzChkSet-2025-0710



NEW DETACHED TOWN-HOUSES AT 616 MAPLE AVE.

AND SMALL CONDO-UNITS AT REAR BUILDINGS ALONG HAWTHORNE PLACE

SITE PHOTOS



LEFT-SIDE NEIGHBOR FRONT ELEVATION - A 2-STORY SINGLE FAMILY BUILDING.



EXISTING LOT FRONT ELEVATION WITH A 2-STORY SINGLE FAMILY BUILDING ON THE LEFT SIDE.



RIGHT-SIDE NEIGHBOR FRONT ELEVATION- A 2 STORY BUILDING.

DOWNTOWN MEDIUM DENSITY RESIDENTIAL

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SHEET TITLE :

COVER SHEET

SCALE : 3/16" = 1'-0"

SHEET NO. :

A-0.0

1 SHEET OF

SYMBOLS

③

KEY NOTES

7'-3"

CEILING HEIGHT

③

WINDOW TYPE

CLOUD AROUND REVISION

②

DOOR SYMBOL

INTERIOR ELEVATION(S)

ELEVATION IDENTIFICATION (UNFOLD ELEVATIONS CLOCKWISE NO ARROWS MEANS ELEVATION NOT SHOWN.)

SHEET WHERE ELEVATION IS DRAWN

DETAIL

DETAIL IDENTIFICATION

SHEET IDENTIFICATION

SECTION/ELEVATION(S)

ELEV. IDENTIFICATION

SHEET IDENTIFICATION

FENCE

GATE

PROPERTY LINE

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODES
- California Building Code (2021 International Building Code)
 - California Residential Code (2021 International Residential Code)
 - California Plumbing Code (2021 Uniform Plumbing Code)
 - California Mechanical Code (2021 Uniform Mechanical Code)
 - California Electrical Code (2020 National Electrical Code)
 - California Fire Code (2021 International Fire Code)
 - California Existing Building Code (2021 International Existing Building Code)
 - California Energy Code
 - California Green Building Standards Code
 - California Historical Building Code
 - Local and State Amendments, Ordinances and law

AERIAL PHOTO

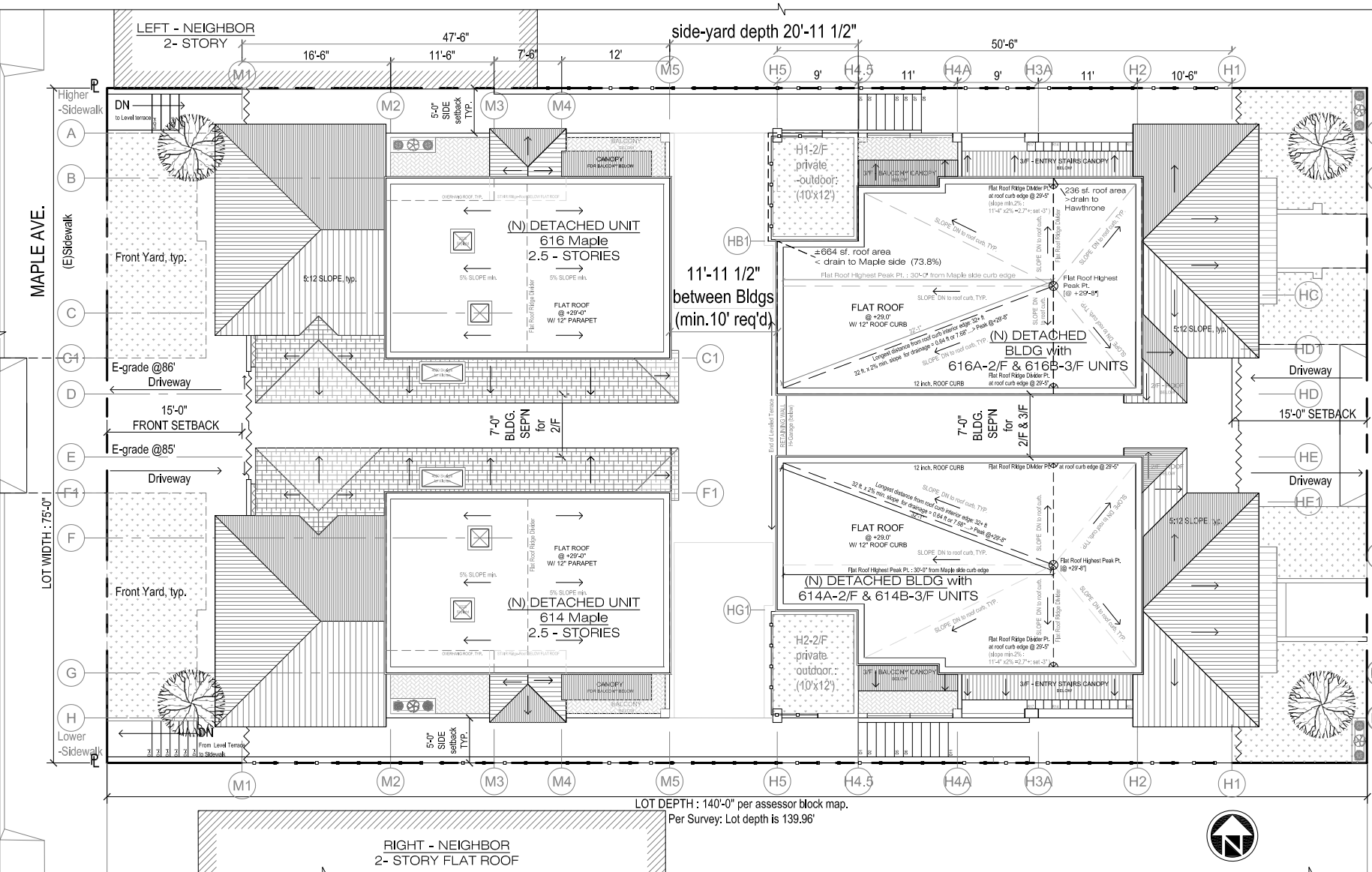


SITE PHOTO



EXISTING LOT FRONT ELEVATION WITH A 2-STORY SINGLE FAMILY BUILDING ON THE LEFT SIDE.

(N) SITE PLAN / ROOF PLAN



PROJECT TEAM

Owners :

JENSEN LU / RICHARD LEE
730 THIRD AVE., SAN BRUNO, CA 94066
(415) 261-1229 EMAIL : rchlee5@gmail.com

Architect :

WINNIE TAM, AIA, LEED AP.
707 BRADFORD ST. #620, Redwood City CA 94063
(415) 613-8878 EMAIL : winnietam9@aol.com

Land Surveyor :

CURT CHAPPELL, PLS 7992
147 NORTH FIRST AVENUE, Oakdale CA 95361
(408) 375-5220 EMAIL : curt@csi-oakdale.com

Structural Engineer :

STEPHEN CHAN, LIC. # 4533
870 JUNIPERO SERRA BLVD, SF CA 94127
(415) 606-7848 EMAIL : yhc_inc@outlook.com

Civil Engineer :

BKF Engineers : MIKE O'CONNELL, PE
150 CALIFORNIA ST., SUITE 600, SF CA 94127
(415) 660-6360 EMAIL : moconnell@bkf.com

GeoTech Engineer :

GEOFOUNDATION INC. : KOUROSHI YOUNESI
486 CHELSEA XING, San Jose CA 95138
(408) 710-6701 EMAIL : info@geofoundationinc.com

Landscape Architect :

TANIGUCHI Landscape Architecture CLA 2942
1013 South Claremont St. Ste 1, San Mateo CA 94401
(650) 638-9985 EMAIL : dennis@dtlandarch.com

DRAWING INDEX

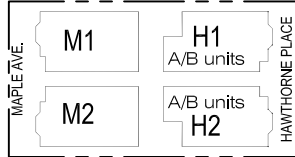
- A-0.0 Cover Sheet: Maple Front Elevation w/Ngbars.
A-1.0 Project Data, Location Map, Scope of work. (N) Plot/Roof Plan.
A-1.1 (N) Site Plan with G/F Plan of M units, Garage/Parking Plan for H1 & H2 units, Landscape and Drainage Plan.
A-2.0 (E) Site Plan w/Garage Plan, (E) Bldg. Floor Plans, & (E) Bldg. Elevation. [(E) Non-conforming Bldg to be removed.]
A-2.1 Proposed (N) Floor Plans/ Roof Plan of detached Townhouse Unit M1 along Maple Ave. (Unit M2, similar.)
A-2.2 Proposed (N) Floor Plans/ Roof Plan of H1 units along rear Hawthorne Place. (H2 units sim.)
A-3.1 Proposed (N) Elevations of detached Townhouse Unit M1 along Maple Ave. front. (Unit M2, similar.)
A-3.2 Proposed (N) H1 and H2 Bldg. along Hawthorne : Front, Side & Rear Elevations. (H2 unit sim. H1)
A-3.3 Proposed (N) Long Elevations from Maple front Townhouses to Hawthorne End H-Buildings.
A-3.4 Proposed (N) Short North-South Sections - M1 thru M2; (N) Longitudinal East-West Sections thru Units M1 and H1 Bldg. And Proposed (N) North-South Sections - H2 thru H2.
Survey: 1402-BT BOUNDARY & TOPOGRAPHIC SURVEY

- Civil: TM-1.0 Existing Condition
TM-1.1 Demolition Plan
TM-2.0 Grading and Drainage Plan
TM-3.0 Utility Plan
TM-4.0 Stormwater Control Plan
TM-5.0 Fire Access Plan
Landscape : L-1 Schematic Landscape Plan
L-2 Irrigation Hydrozone Plan

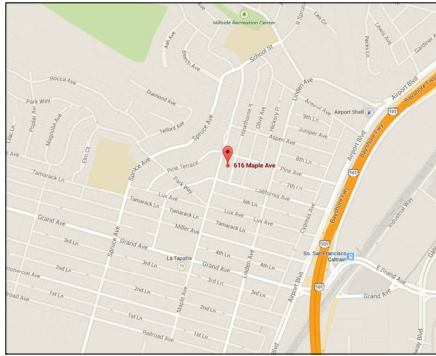
SCOPE OF WORK

- REMOVE (E) 1 detached bldg-unit (with non-conforming setbacks).
- BUILD 2 detached M-BLDGs along Maple Ave. (M-Units are free-standing town-houses of 2.5-Stories.) BUILD 2 detached H-BLDGs at lot rear Hawthorne Place front. (H-Units are Condos. Each H-Bldg has 2 H-Units, w/ground floor Entry Lobby and an Open shared Garage.
- Rear H-Units to be with Maple Ave addresses, per Fire Access. Side entry gates provided at Maple front to access the Rear H-Units.
- PARKING SPACES: Provide 2 spaces per M-UNIT (1 in enclosed garage and 1 in open carport). Provide 1.5 spaces per H-UNIT in open shared garage. Provide 1 CURB CUT per street front for the driveway.
- Apply CUT & FILL to existing grade to provide a LEVEL FIRE ACCESS TERRACE at Maple Ave front to reach to the H-BLDGS at the Mid-terrace separating the M- & H-buildings.
- See Civil & Landscape Plans for Grading, Drainage, Stormwater Control, and Irrigation Standards.

UNITS DIAGRAM



LOCATION MAP



PROJECT INFORMATION

PARCEL :

012-171-170 . (012171140; 012171130)

LOT AREA :

10,500 SF. 0.24 acres.
LOT WIDTH: 75' LOT DEPTH: 140'-0"
DRM (Downtown Residential Medium)

ZONING :

1 Units. 1-STORY over garage.

BUILDING DATA :

PROPOSED 6 Units: 2 Townhouses & 4 condo. units.

OCCUPANCY GP :

R-3 (RESIDENTIAL)
U-1/S-2 (GARAGE)

CONSTRUCTION TYPE :

V-B (WOOD FRAME)
(Steel frame for open garage.)

As (N) construction : to install Photovoltaic, all electric construction; need to be sprinklered; and install EV chargers for single family dwellings.

(N) BUILDING AREAS :

On Maple Ave front - two detached townhouses :
Unit M1 (616 Maple Ave) & Unit M2 (614 Maple Ave):
G/F - (include enclosed Garage 190 sf.) 897 sf.
2/F - 1,328 sf.
3/F - 569 sf.
Total per unit : 2,794 sf.
Outdoor Usable Space:
Open Front Yard 283 sf.
3/F Outdoor Side Decks (private) 90 + 62 sf.

Access at Maple side-gates to Rear Hawthorne Place :

Bldg. H1 (616 A, 616 B) & Bldg. H2 (614 A, 614 B) :

Living Spaces:

2/F Condo unit A 1,116 sf.
2/F Condo unit B 900 sf.
Total Living per Bldg. : 2,016 sf.

Common Space [Enclosed (253+92+40) x 2=770 sf.]:

G/F Lobby+Util/Stor/Stairwell 253 sf.
2/F Front Terrace and to 3/F stairwell (partial) 92+40 sf.
3/F (Open) stairwell 31 sf.
3/F Unit Entry Landing (Open Common) 33 sf.

Outdoor Usable Space:

Open Front Yard (Shared Common) 192 sf.
2/F Rear Open Mid-Yard (private for unit-A): 120 sf.
3/F Side Balcony (private for unit-B): 64 sf.

Open Garage Parking:

Shared Parking areas for H1 & H2 condo units.

GRAND TOTAL :

= M1 + M2 + H1- units A+B + H2-units A+B+Lobby/stair
= 2794 + 2794 + 2016 + 2016 + 770 = 10,390 sf.
(F.A.R. LIMIT : 10,500 sf. x 1.25 = 13,125 sf.)

PARKING PROVIDED :

Each M-unit : provided 1 space in garage & 1 carport.
Each Condo-A unit : provided 1.5 space In open garage
Each Condo-B unit : provided 1.5 spaces in open garage.

(N) BUILDING SETBACKS

PROPOSED

G/F: Bldg. Front set back 15'-0"
Garage setback 20'-0"
G/F & 2/F: Bldg. Side set back 5'-0"
3/F: Bldg. Side set back 10'-0"

LOT COVERAGE :

(M:1,378 +H: 1,346 sf.) x2 = 5,448 sf.) - 10.89%
(MAX. LOT COVERAGE 90% : 10,500 sf. x 0.9 = 9,450 sf.)

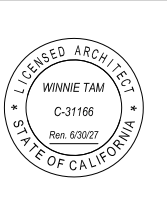
LANDSCAPE :

(Maple Front: (283x2) + Hawthorne Rear: (287x2) = 1,140 sf.) - 10.86%
(MIN. 10% OF SITE : 10,500 sf. x 10% = 1,050 sf.)

DOWNTOWN MEDIUM DENSITY RESIDENTIAL

MAPLE - NEW TOWNHOUSES

6 UNITS - 3 size-styles within 4 detached buildings
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Neighborhood Mtg: July 2025

DATE : Jul 10, 2025

SHEET TITLE :

PROJECT DATA

- Location Map
- Scope of work
- Drawing index

SCALE : 1/8" = 1'-0"

SHEET NO. :

A-1.0

2 SHEET OF

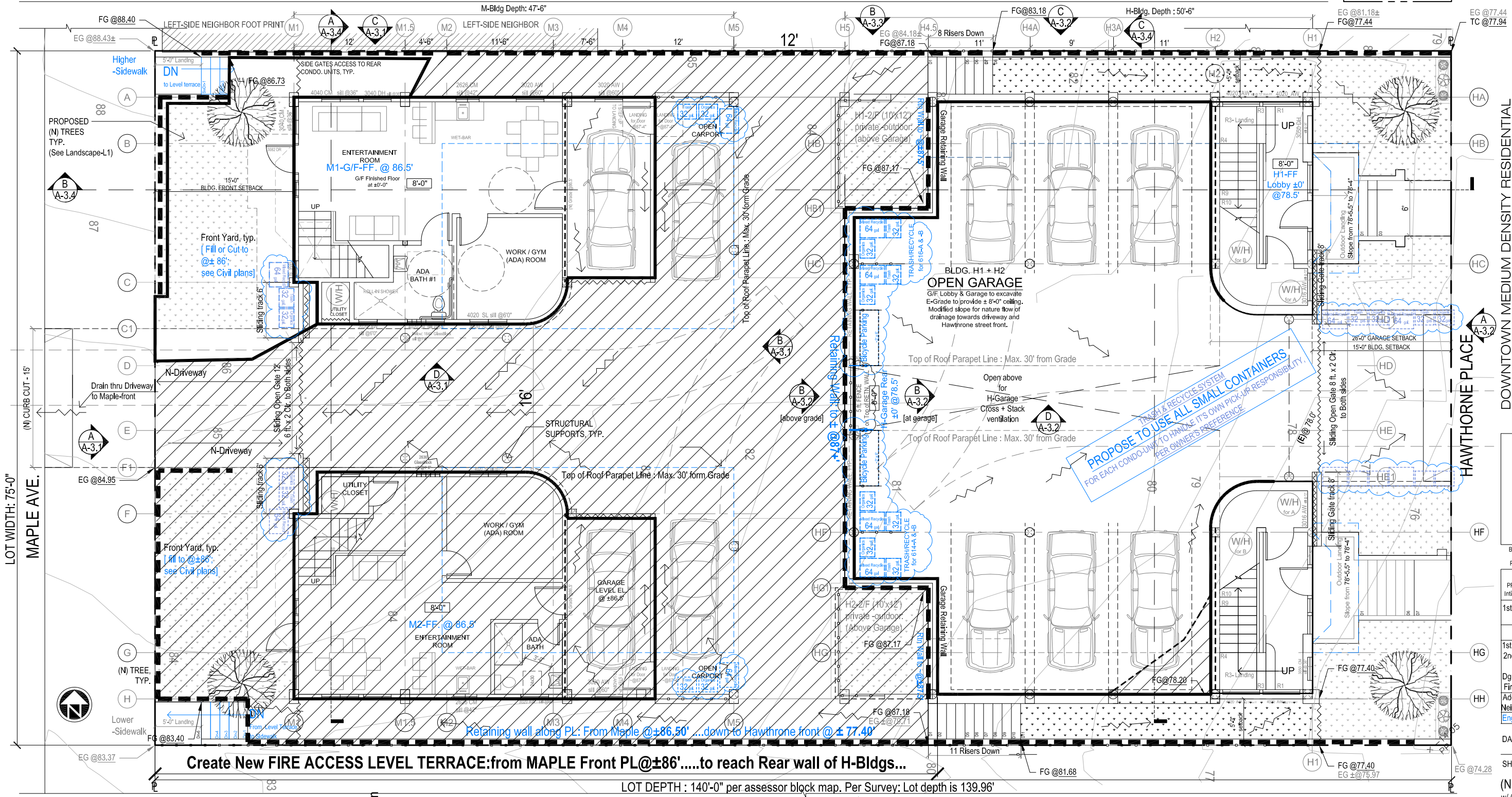
SCALED HALF-SIZE SET

1/8" = 1'-0"

Site Plan:

(N) SITE PLAN / LANDSCAPING PLAN with G/F, GARAGE & CARPORT FLOOR PLAN (w/ contours underlay)

3/16" = 1'-0"



FRONT YARD HARD SCAPE 50% MAX.:

MAPLE FRONT Landscape Areas:
283 sf, X both sides = 566 SF.
566 / 1125 = 50.3 %

HAWTHORNE FRONT Landscape Areas:
192 + 97 + 95 + 190 sf. = 574 SF.
574 / 1125 = 51.02 %

MapleFront
[@ ± 86']

Terrace Rear
Reach H-Bldg
[@ ± 87.0']

See Civil : Grading Plan

Provide Fire Access Level Terrace
Apply CUT or FILL to create Level Terrace
[See sheet A-3.3 Long. Elevations for clarity.]

- RETAINING WALL
- H1 & H2 Garage / Lobby @ 78.5'
CUT/FILL to @ 78.5' for H-Bldgs FF
- M1 & M2 G/F & Garage @ 86.5'
CUT/FILL to @ 86.5' for M-Bldgs FF

Site Plan - Grading, Drainage,
Stormwater Control, Landscaping &
Irrigation details to refer to
Civil & Landscape drawings

LEGENDS

	SHEET FLOW		SPLASH BLOCK		WALL & CEILING		FENCE
	GRASSED SWALE OR DRAIN PIPE		WALL & CEILING W/ 1-HR. FIRE-RATED		GATE		PROPERTY LINE

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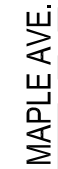
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AddCivil/LandSubmit:Mar2025
Neighborhood Mtg:July31,2025
EngrCmt/BicPkg: Sep26, 2025

DATE : Sep 26, 2025

SHEET TITLE :
(N) SITE PLAN
w/ (N) units @ G/F

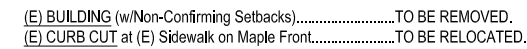
(E) SITE PLAN 1/8" = 1'-0"



(E) 1-STORY OVER GARAGE BLDG. 1/4" = 1'-0"



(E) 2/F FLOOR PLAN above Garage 1/4" = 1'-0"



NOTE:
TO REMOVE THIS (E) Non-Conforming DETACHED UNIT.
[FRONT SETBACK.....0 FT.]
[LEFT-SIDE SETBACK.....4 FT. 1.5 IN.]
REWORK (E) FOUNDATION TO BUILD THE (N) M1 DETACHED UNIT AT THIS
LOCATION.

(E) G/F GARAGE FLOOR PLAN 1/4" = 1'-0"



MAPLE AVE.

(E) Curb cut to be re-located



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SHEET TITLE :

E) SITE PLAN

E) FLOOR PLANS:

G/F GARAGE & 2/F

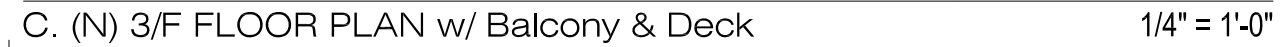
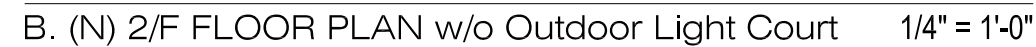
SCALE : 1/4" = 1'-0"

SHEET NO.:

A-2.0

4 SHEET OF

A. (N) G/F FLOOR PLAN w/ Garage & Carport 1/4" = 1'-0"



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Civil/ and Submit: Mar 2025

Neighborhood Mtg: July 2025

Jul 10, 2025

DATE: Jul 10, 2025

EFFECT TITLE :

- M1

FMI

FLOOR PLANS:

Roof Terrace

Roof Terrace.

SCALE : 1/4" = 1'-0"

SHEET NO.:

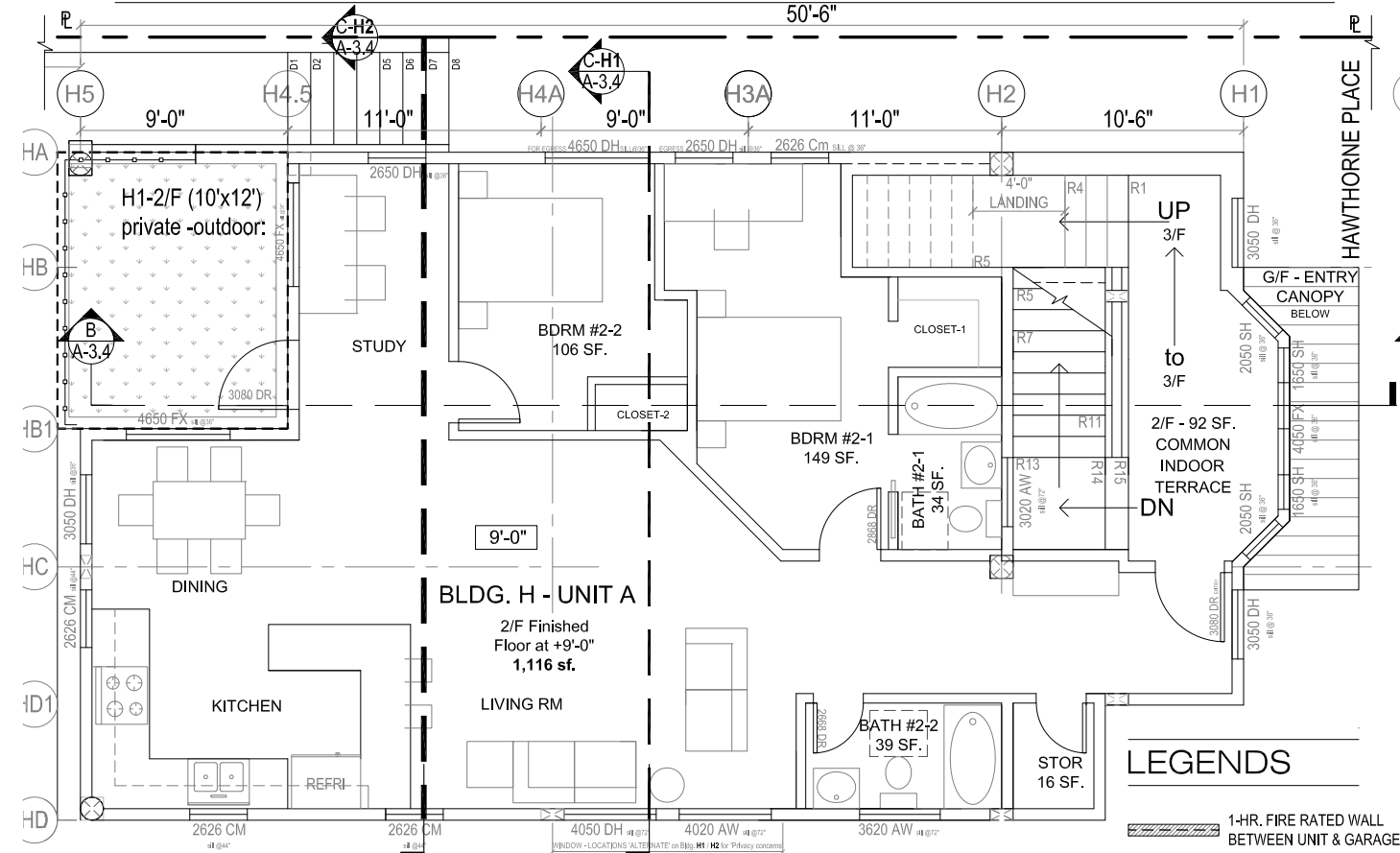
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A-2.1

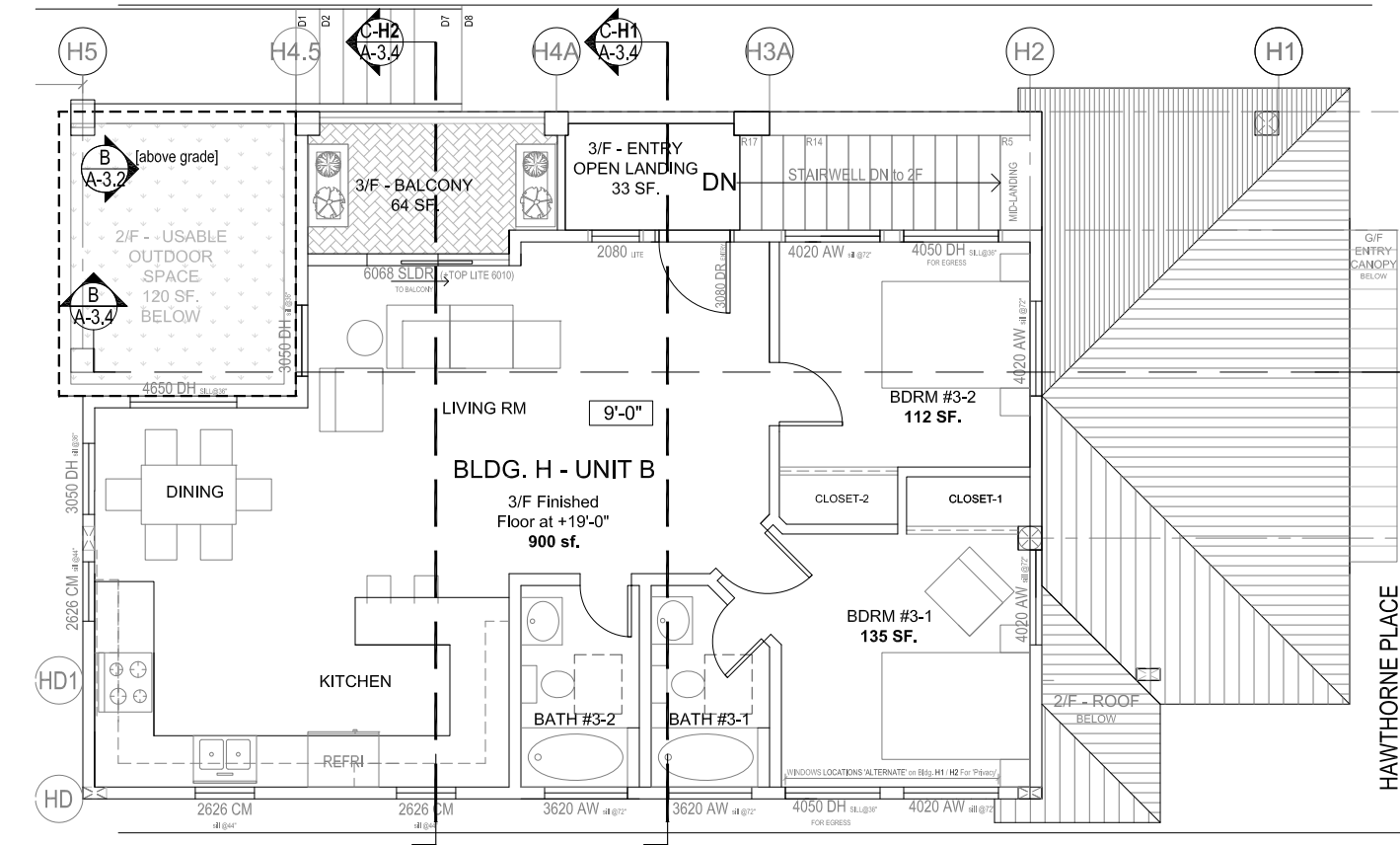
5 SHEET OF _____

Hawthorne Bldg. H1 CONDO UNITS (SIM. H2) :

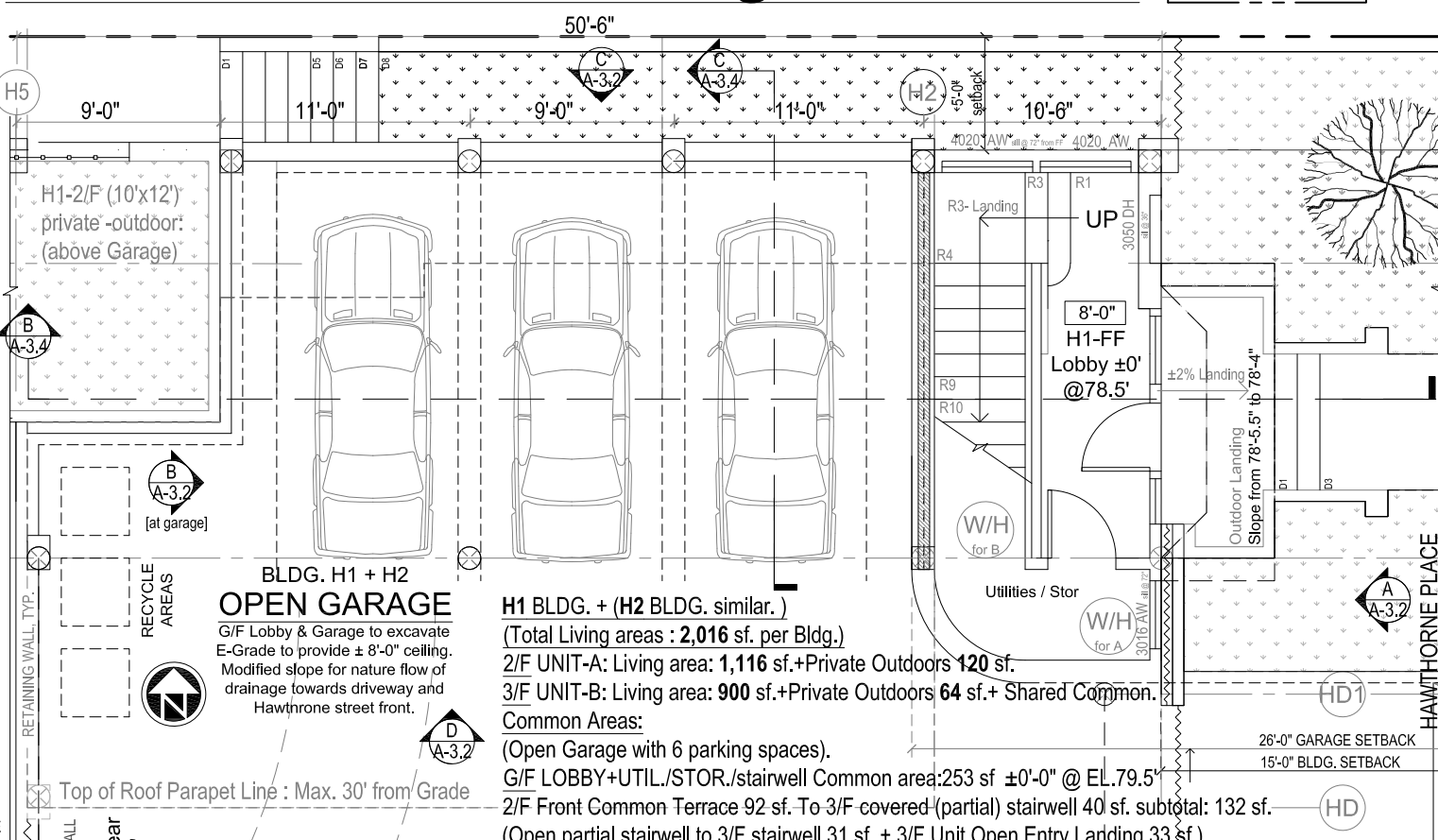
B. (N) 2/F FLOOR PLAN : UNIT A - 2+ Bdrm 2 Baths 1/4" = 1'-0"



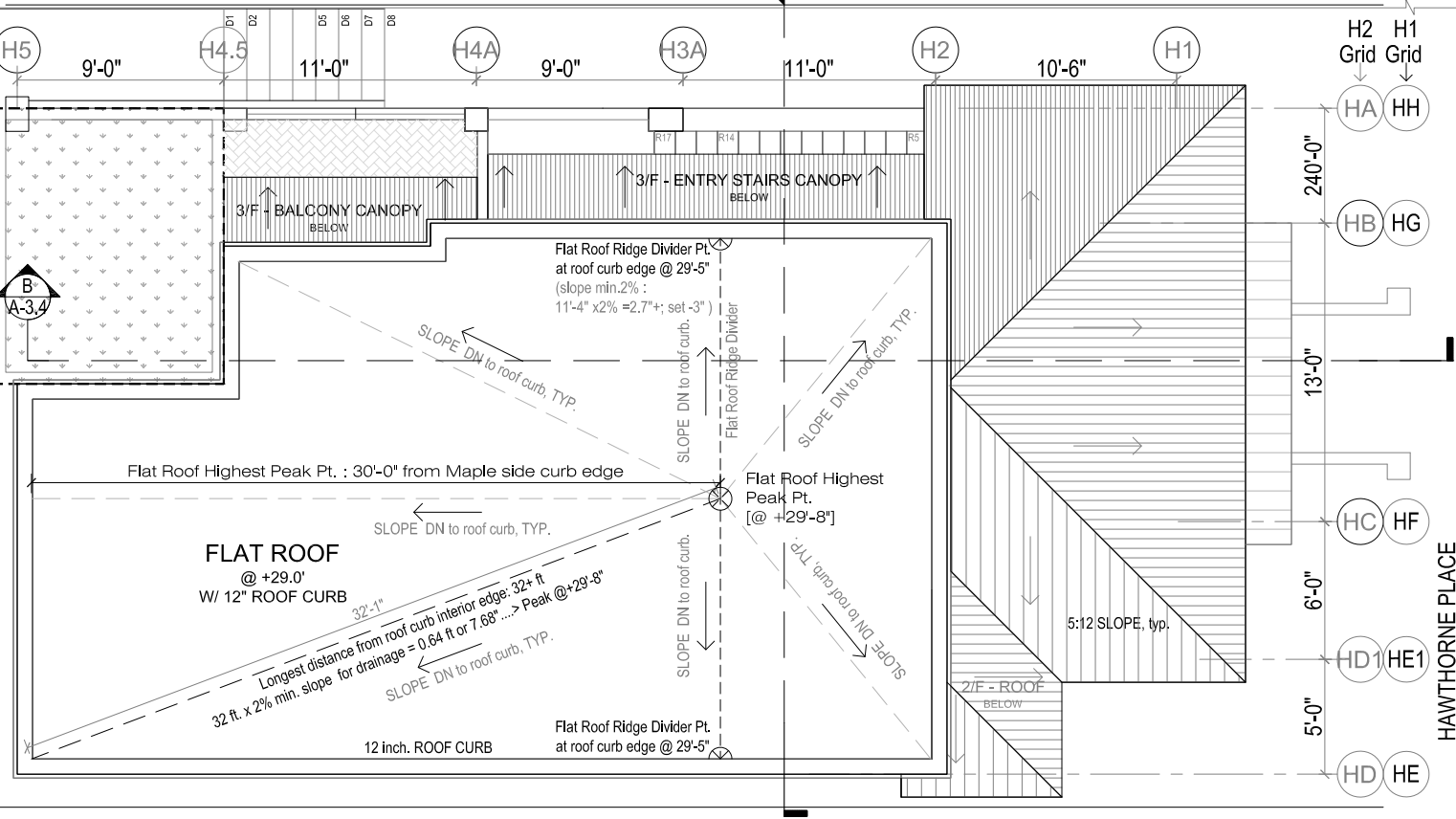
C. (N) 3/F FLOOR PLAN : UNIT B - 2 Bdrm 2 Baths 1/4" = 1'-0"



A. (N) G/F FLOOR PLAN : Open Garage/Lobby 1/4" = 1'-0"



D. (N) FLAT ROOF PLAN 1/4" = 1'-0"



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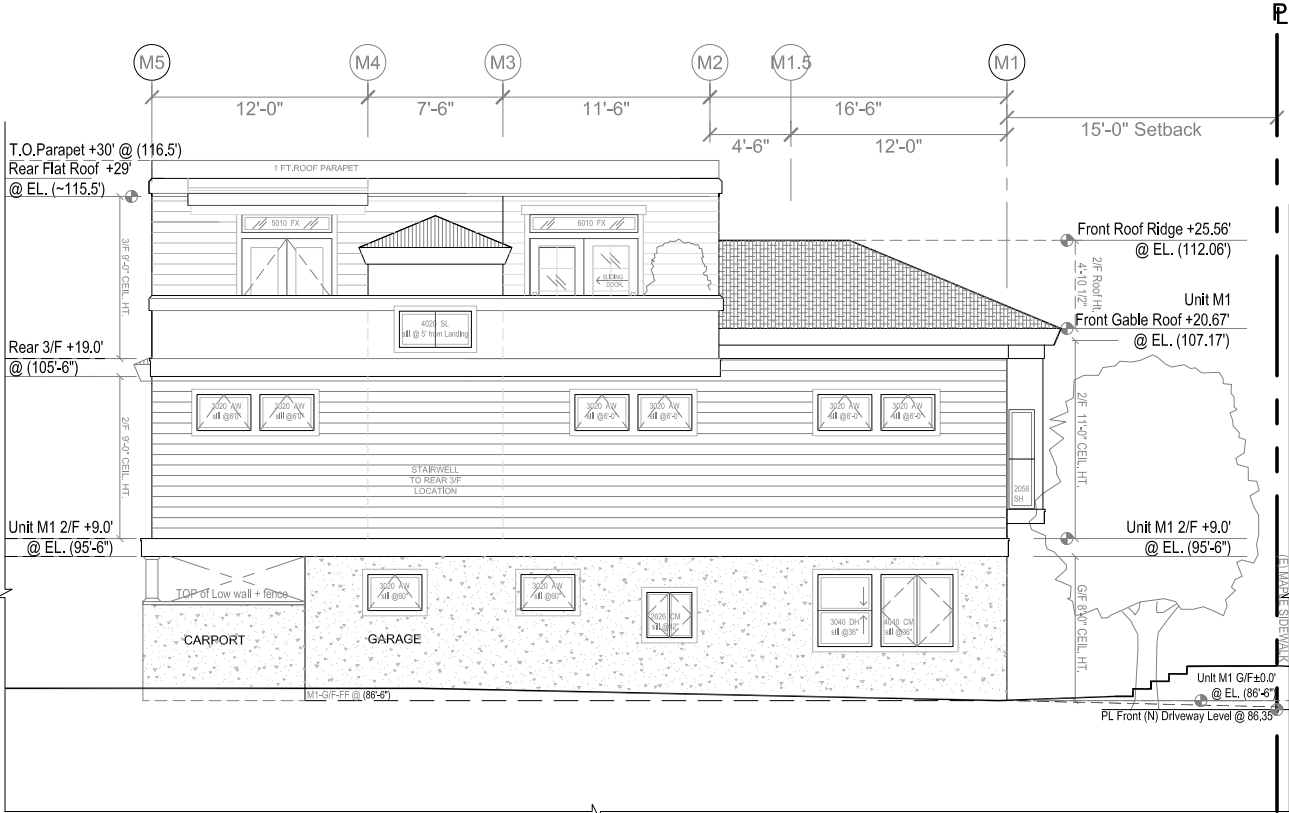
SHEET TITLE :
BLDG. H1/ H2 SIM.
(N) FLOOR PLANS:
- G/F, 2/F, 3/F,
and Roof Plans.

SCALE : 1/4" = 1'-0"

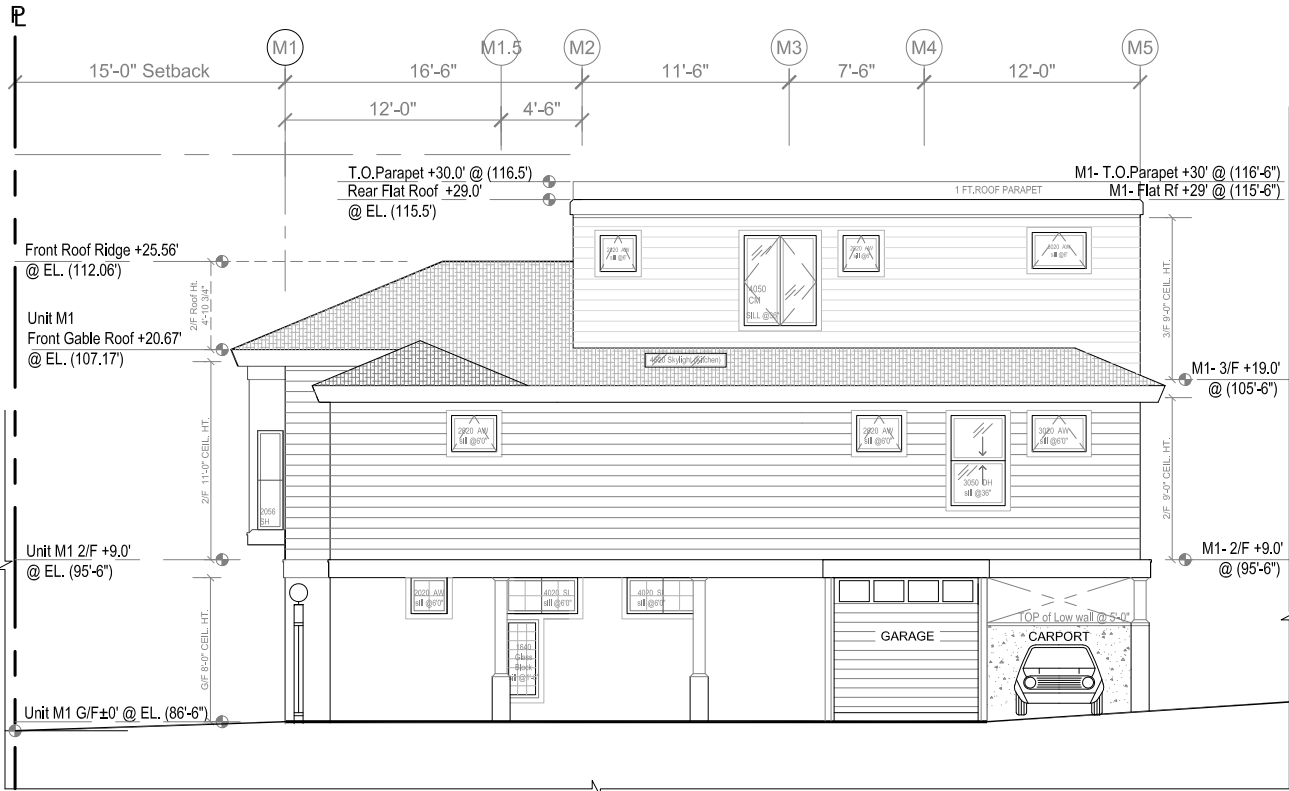
SHEET NO. :

Maple Townhouse Unit - M1 & M2(SIM.) :

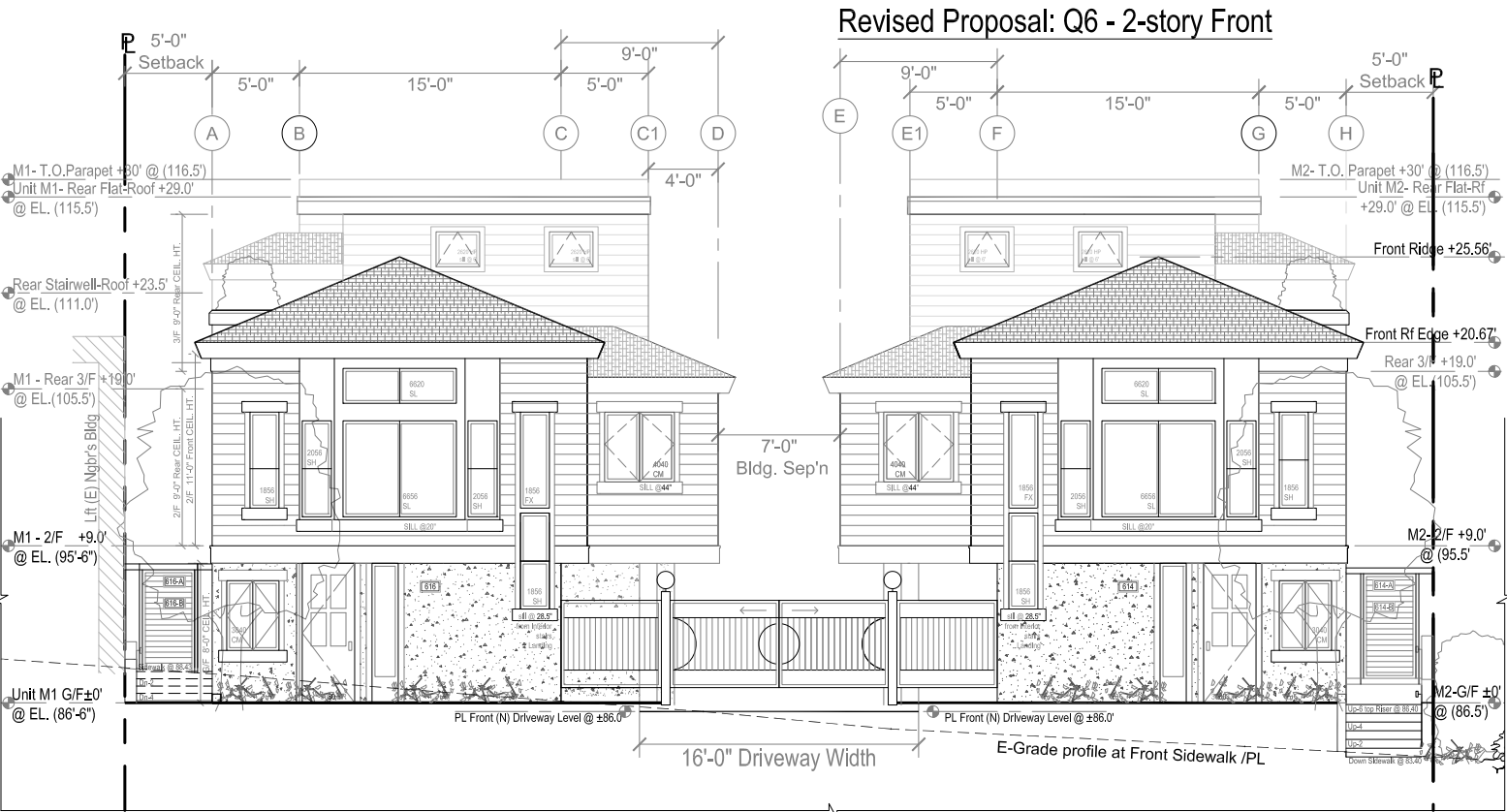
C. (N) SIDE ELEVATION - NORTH - M1 (sim M2) 3/16" = 1'-0"



D. (N) SIDE ELEVATION - SOUTH - M1 (sim M2) 3/16" = 1'-0"



A. (N) FRONT ELEVATIONS ALONG MAPLE AVE. (M1 & M2) 3/16" = 1'-0"



B. (N) REAR ELEVATION - M1 & M2 3/16" = 1'-0"



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SHEET TITLE:

ELEVNS - M1 (& M2)

- (N) FRONT ELEVATIONS

- (N) SIDE ELEVATIONS

- (N) REAR ELEVATION

SCALE: 3/16" = 1'-0"

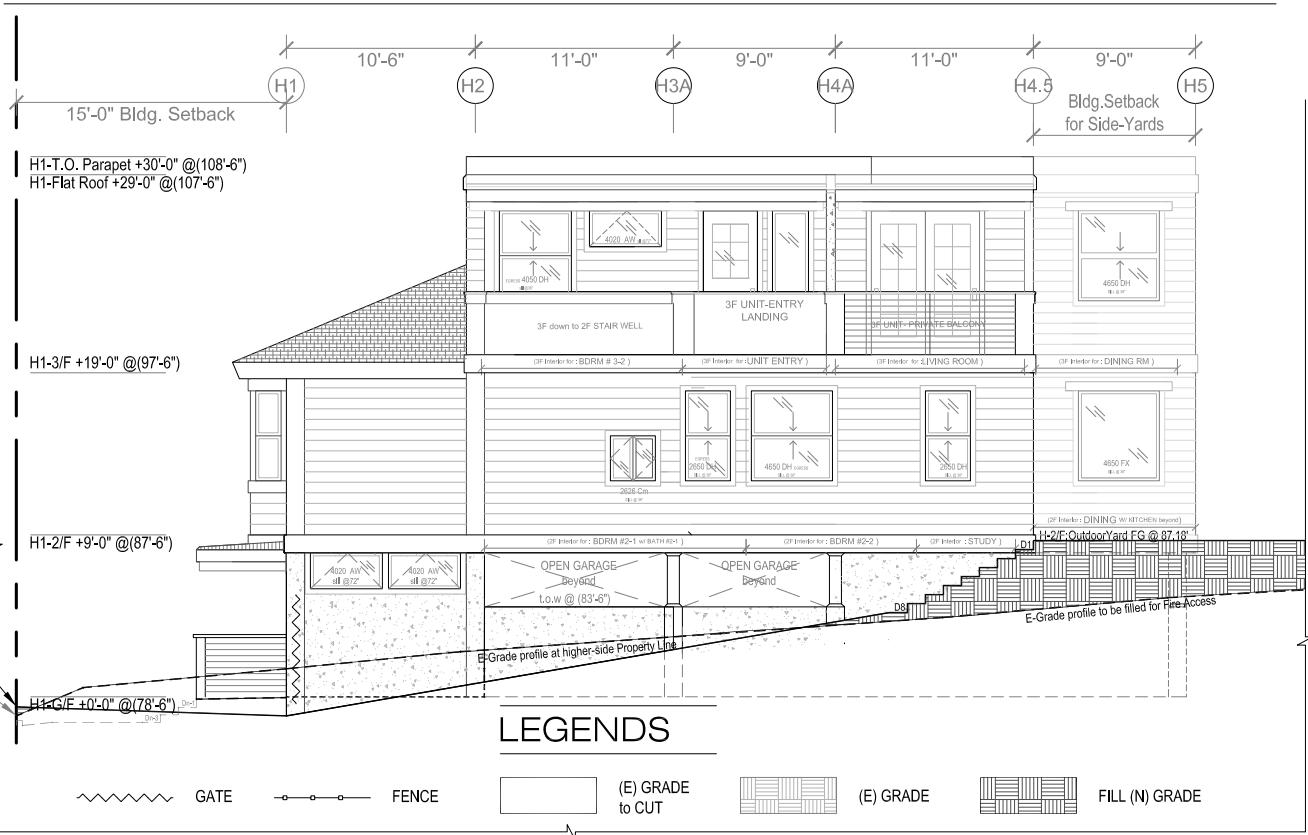
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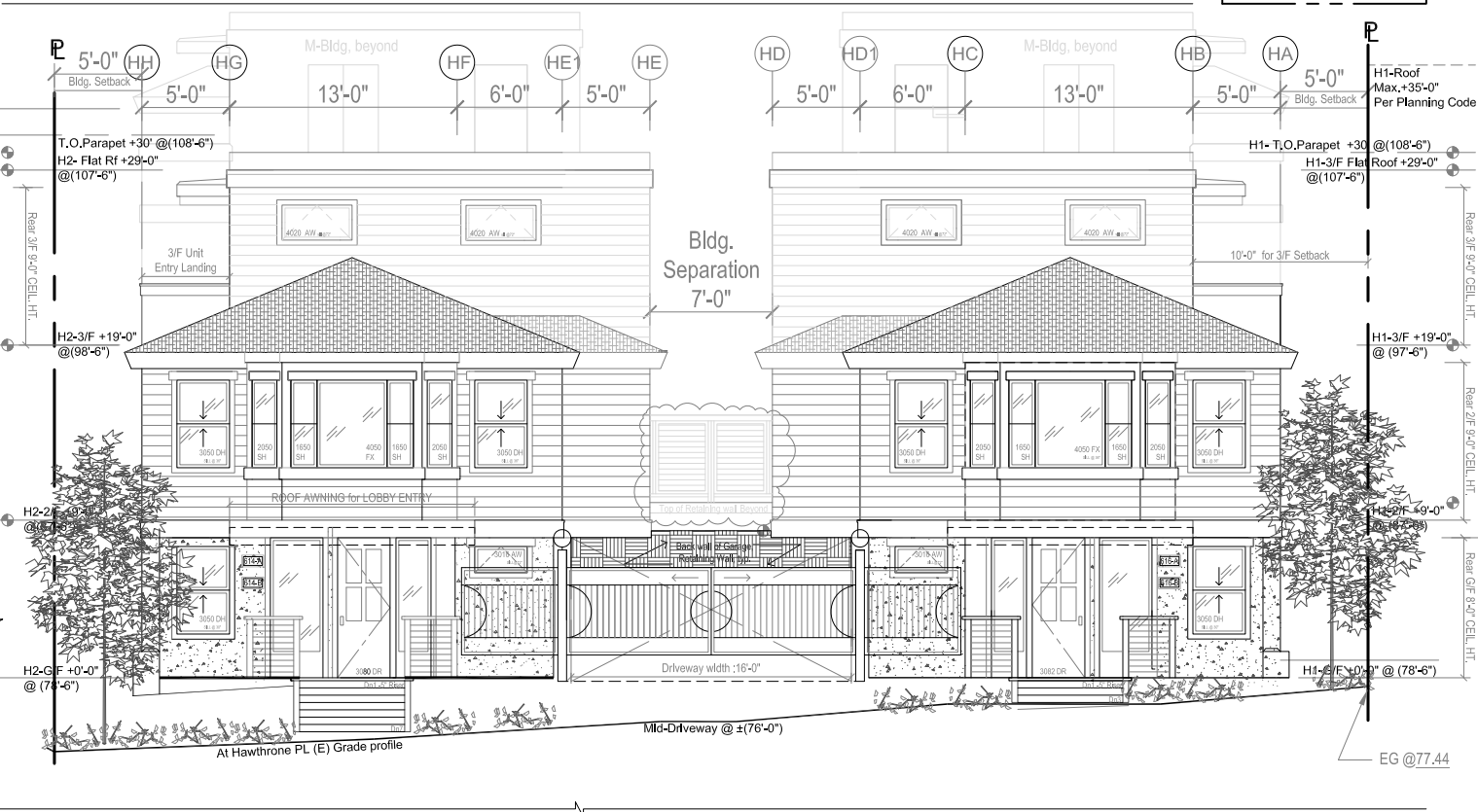
7 SHEET OF

Hawthorne Bldg. H1 & H2 :

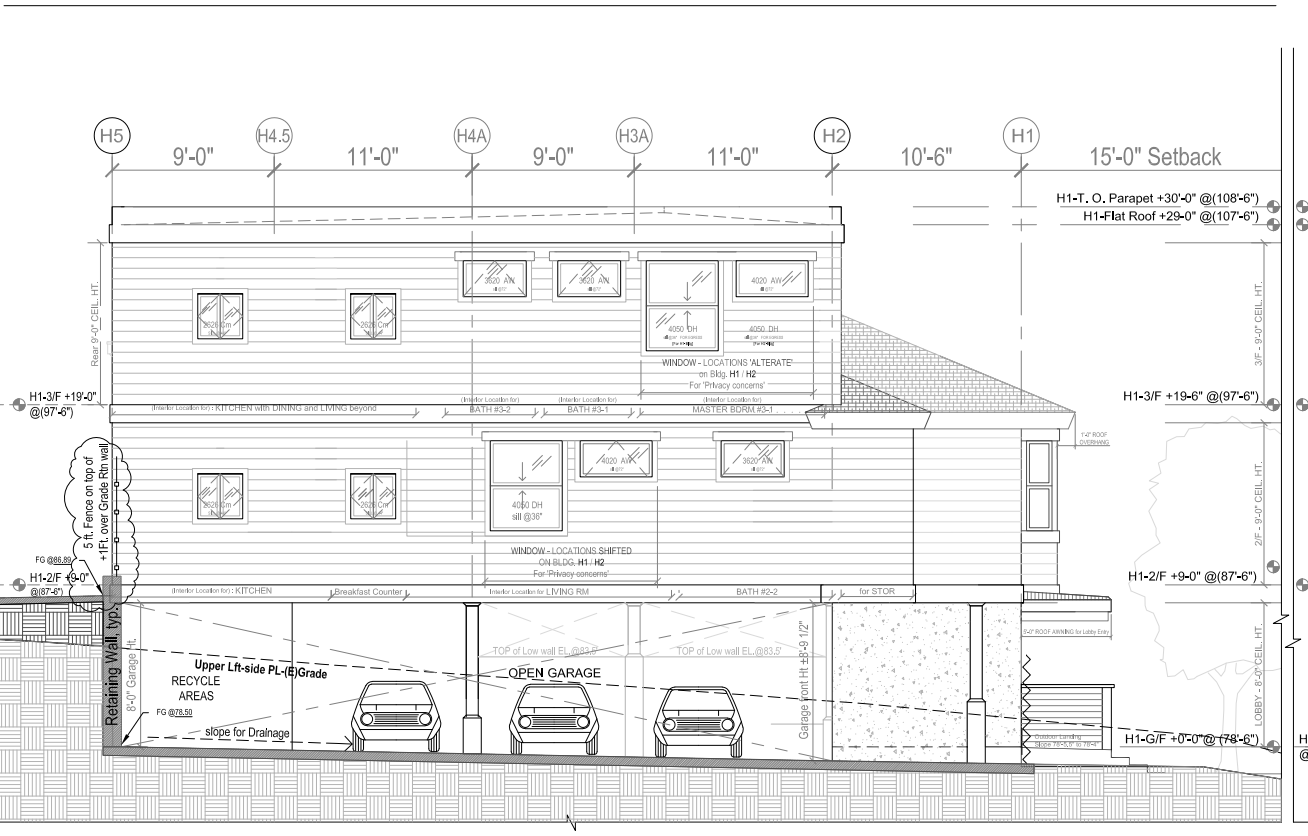
C. (N) SIDE ELEVATION - NORTH - H1(SIM. H2 - SOUTH) 3/16" = 1'-0"



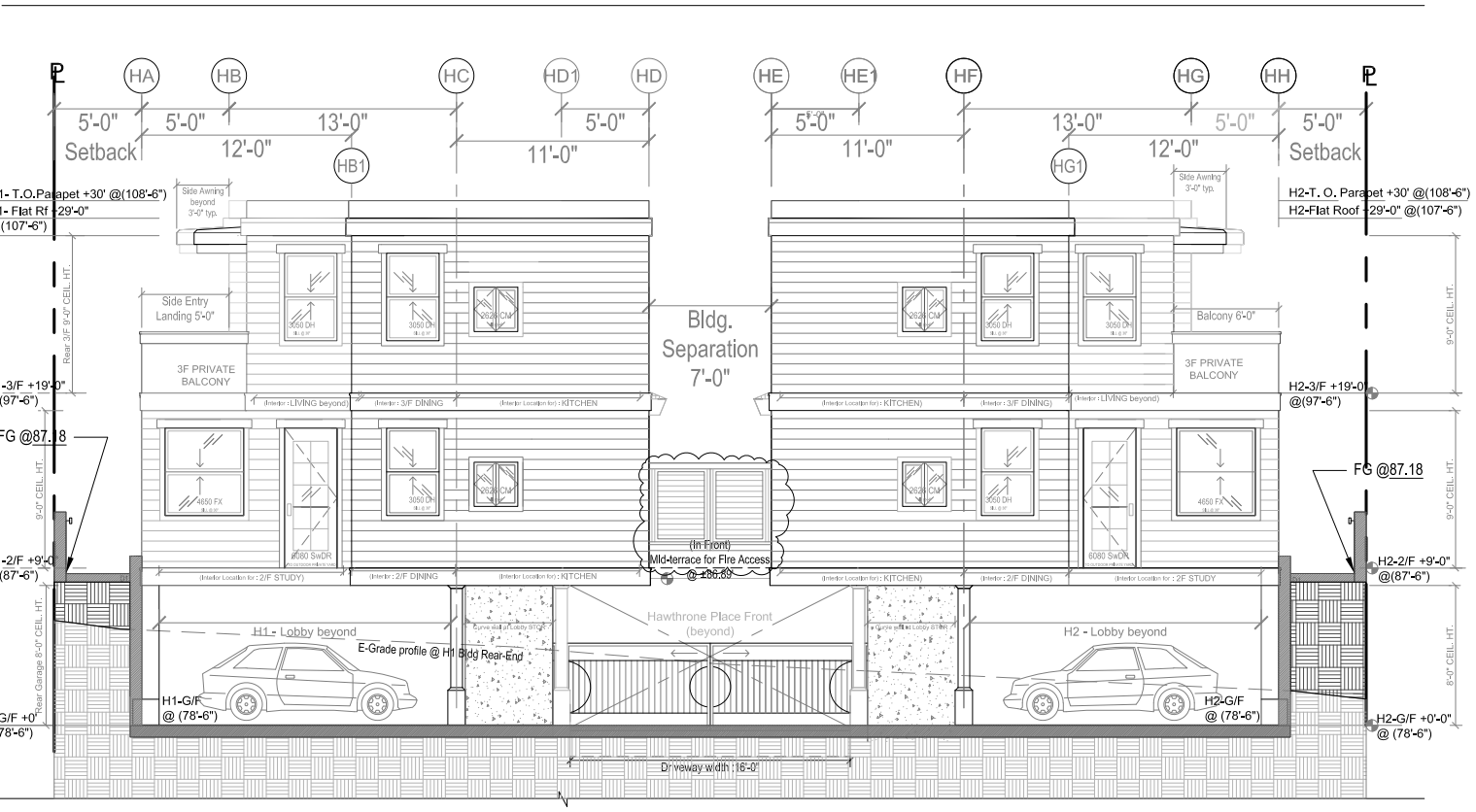
A. (N) FRONT ELEVATIONS ALONG HAWTHORNE PLACE (H2-H1)



D. (N) SIDE ELEVATION - SOUTH - H1(SIM. H2 - NORTH) 3/16" = 1'-0"



B. (N) REAR ELEVATION- (H1-H2.) showing Garage beyond Retaining wall 3/16" = 1'-0"



DOWNTOWN MEDIUM DENSITY RESIDENTIAL

MAPLE - NEW TOWNHOUSES

6 UNITS - 3 size-styles within 4 detached buildings
616 MAPLE AVENUE, SOUTH SAN FRANCISCO CA 94080



BUILDING PERMIT APPLICATION
PERMIT #
DGN REVIEW BOARD
PROJECT # : P15-0039; DR15-0035
Initial approved: JUL.31, 2015; Revised
1st PLANN COMM. MEETING
JAN 21, 2016
REVISIONS
1st Revised Sk-R5b: Mar 2017
2nd Revised Sk-Q6: Apr 2018
Sk-Q6-Opt3a: Dec 2021
DgnRvBdMtg-Q6: Aug15 2023
FireAccessGrading: Oct 2024
AddCivil/LandSubmit:Mar2025
Neighborhood Mtg: July 2025

DATE : Jul 10, 2025

SHEET TITLE :

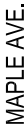
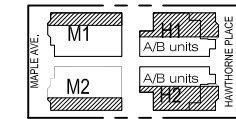
ELEV-H1 & H2
- (N) FRONT ELEVATIONS
- (N) REAR ELEVATIONS
- (N) SIDE ELEVATIONS

SCALE : 1/4" = 1'-0"

SHEET NO. :

A-3.2

8 SHEET OF

$$3/16'' = 1'-0''$$

$$\frac{3}{16}'' = 1'-0''$$

LEGENDS

Notes for setting up M-Bldg & H-Bldg FF levels :
Maple Ave PL front / Driveway @ ±86'; M-Bldg G/F FF set @ 86.5', to be above Front yard grade.
 Per Civil Grading Plan, end of Fire Access level terrace (N) garage is @ 87.17 where it reached
 H-Bldg end wall at the H-2/F unit outdoor space. **H-Bldg 2/F-FF** should be above outdoor grade
 level, being set @ **87.5'**. Hence **H-Bldg G/F-FF** is 9 ft. below 2/F, being set @ **78.5'**.)



BUILDING PERMIT APPLICATION

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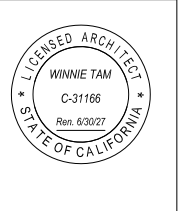
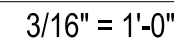
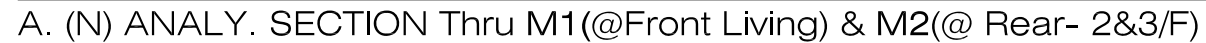
LONG ELEV'NS
- (N) H1 & M1 ELEVATION
- (N) M2 & H2 ELEVATION

SCALE : 3/16" = 1'-0"

SHEET NO.:

A-3.3

9 SHEET OF

$$3/16'' = 1'-0''$$


BUILDING PERMIT APPLICATION

PERMIT #

PERMIT # _____

DCM REVIEW BOARD

PROJECT # : P15-0039; DB15-0035

Initial approved: JUL:31, 2015; Revised

PLANN COMM MEETING

JAN 21, 2016

JAN 21, 2010

REVISIONS

Revised Sk-R5b: Mar 2017

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FreeAccessGrading: Oct 2024

ddCivil/LandSubmit:Mar2025

Neighborhood Mtg: July 2025

Page 10 of 10

DATE: Jul 10, 2025

DATE: Jul 10, 2025

SHEET TITLE :

SECTION 2

SECTIONS

N) M1-M2 SECTION

N) M1-H1 SECTION

SCALE : $3/16" = 1'-0"$

SHEET NO.:

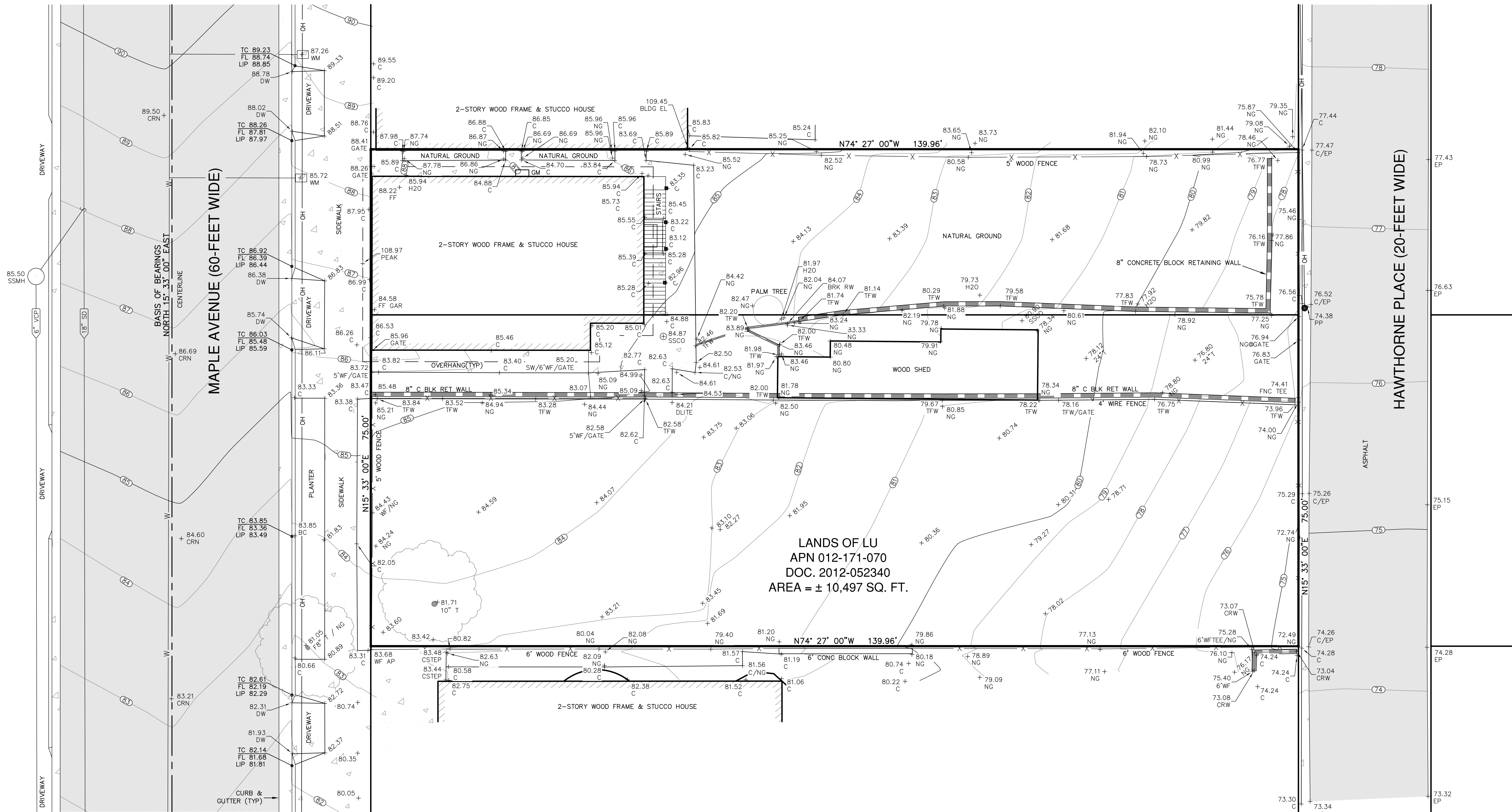
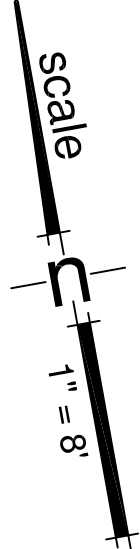
124

A-3 4

A. C. 1

10

10 SHEET OF _____



LEGEND

AP	ANGLE POINT	COR	CORNER	MON	MONUMENT	WF	WOOD FENCE—HEIGHT NOTED
APN	ASSESSOR'S PARCEL NUMBER	DI	DRAINAGE INLET	NG	NATURAL GROUND	WM	WATER METER
BCOR	BUILDING CORNER	DOC	DOCUMENT NUMBER	O.R.	OFFICIAL RECORDS, SAN MATEO CO.	WV	WATER VALVE
BDM	BRASS DISC MONUMENT	EB	ELECTRICAL JUNCTION BOX	P	PRORATED DISTANCE	WVL	WATER VAULT
BOL	BOLLARD	EP	EDGE OF ASPHALT PAVEMENT	PB	PACIFIC BELL		
BOW	BACK OF WALK	FD	FOUND	PL	PROPERTY LINE		
CATV	CABLE TV BOX	FDC	FIRE DEPARTMENT CONNECTION	SLB	STREET LIGHT BOX		
CB	CATCH BASIN	FNC	FENCE—HEIGHT & TYPE NOTED	SSCO	SANITARY SEWER CLEAN OUT		
CP	CAST IN PLACE	GRD RAIL	GUARD RAIL	SS LAT	SANITARY SEWER LATERAL		
CLF	CHAIN LINK FENCE	GM	GAS METER	SSMH	SANITARY SEWER MAN HOLE		
COL	COLUMN	GV	GAS VALVE	SQ. FT.	SQUARE FEET		
CONC	CONCRETE	HV VLT	HIGH VOLTAGE VAULT	T 22"	TREE W/ 22" DIAMETER TRUNK		

LINE TYPES

BOUNDARY OF SUBJECT PROPERTY	GAS
CENTER LINE	UNDERGROUND GAS LINE
STREET RIGHT-OF-WAY/PROPERTY LINE	UNDERGROUND ELECTRICAL LINE
FENCE—HEIGHT AND TYPE NOTED	10" SS
BUILDING OUTLINE	UNDERGROUND SANITARY SEWER LINE
CURB AND GUTTER	72" SD
CONCRETE	UNDERGROUND STORM DRAIN LINE
	4" W CIP
	UNDERGROUND WATER LINE

BASIS OF BEARINGS

THE BEARING OF NORTH 15°33'00" EAST (BASIS OF BEARINGS), FOR THE CENTERLINE OF MAPLE AVENUE, AS SHOWN ON THE MAP OF THE CITY OF SOUTH SAN FRANCISCO, FILED FOR RECORD IN VOLUME 2 OF RECORD SUBDIVISION MAPS, PAGE 52B, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

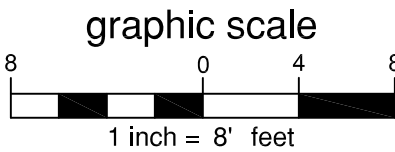
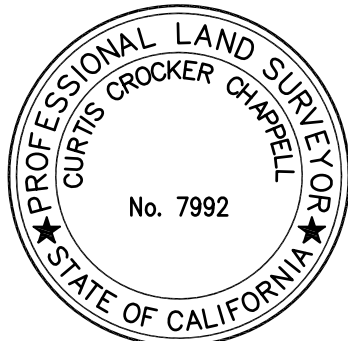
BENCHMARK

NAME:	SSMH
DESCRIPTION:	SANITARY SEWER MANHOLE RIM
ELEVATION:	75.47 FEET — CITY OF SOUTH SAN FRANCISCO DATUM NGVD 29
RECORD MAP:	CITY OF SOUTH SAN FRANCISCO SEWER AS-BUILT MAPS ON FILE WITH THE PUBLIC WORKS DEPARTMENT
LOCATION:	SOUTHWEST CORNER OF MAPLE AVENUE AND CALIFORNIA AVENUE.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS MAP WAS PREPARED BY ME AND IS BASED ON FIELD WORK COMPLETED IN JANUARY OF 2014.

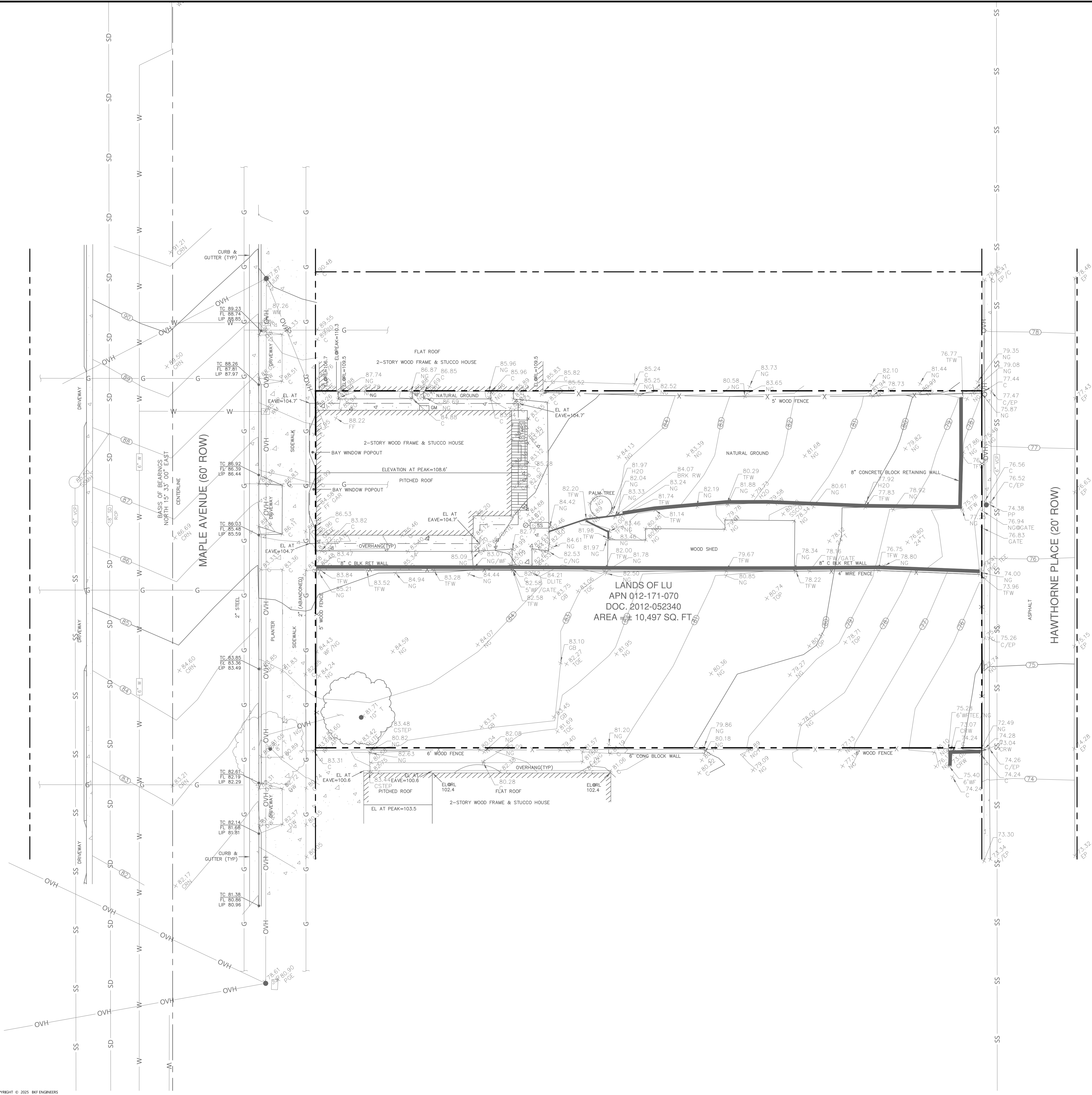
BY: CURT CHAPPELL, PLS 7992
DATED: JUNE 9, 2015



BOUNDARY & TOPOGRAPHIC SURVEY
LANDS OF LU
616 MAPLE AVENUE, SOUTH SAN FRANCISCO

zanetti surveying & mapping | curt chappell, p.l.s. no. 7992
8 barton park phone 408.375.5220
oakdale ♦ ca ♦ 95361 | curtcrock@ sbcglobal . net

Date	1-21/2014	No.	
Scale	1" = 8'	No.	
Design	ccc	No.	
Drawn	ccc	No.	
Approved	ccc	No.	
Job No.	1402	No.	
Drawing	1402 BT	No.	
	1 of 1	No.	



LEGEND

- PROPERTY LINE
- CENTERLINE
- MAJOR CONTOUR
- MINOR CONTOUR
- SD STORM DRAIN
- SS SANITARY SEWER
- W WATER MAIN
- G GAS LINE
- OVH OVERHEAD LINE
- BENCHMARK
- WATER METER
- FIRE HYDRANT
- WATER VALVE
- PG&E ELECTRIC BOX
- JOINT POLE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE

NOTES

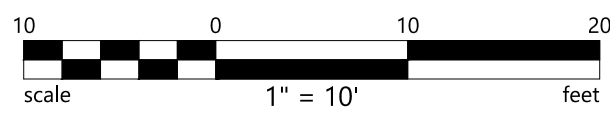
- TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY ZANETTI SURVEYING AND MAPPING, DATED JANUARY 27, 2014.

BASIS OF BEARINGS

THE BEARING OF NORTH 15°33'00" EAST (BASIS OF BEARINGS), FOR THE CENTERLINE OF MAPLE AVENUE, AS SHOWN ON THE MAP OF THE CITY OF SOUTH SAN FRANCISCO, FILED FOR RECORD IN VOLUME 2 OF RECORD SUBDIVISION MAPS, PAGE 52B, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

BENCHMARK

NAME: SSMH
DESCRIPTION: SANITARY SEWER MANHOLE RIM
ELEVATION: 75.47 FEET - CITY OF SOUTH SAN FRANCISCO DATUM NGVD 29
RECORD MAP: CITY OF SOUTH SAN FRANCISCO SEWER AS-BUILT MAPS ON FILE WITH THE PUBLIC WORKS DEPARTMENT
LOCATION: SOUTHWEST CORNER OF MAPLE AVENUE AND CALIFORNIA AVENUE.



PRELIMINARY
NOT FOR CONSTRUCTION

DATE: 03/04/2025

BKF ENGINEERS
150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com



MAPLE - NEW TOWNHOUSES

APN 012-171-170
610 MAPLE AVENUE, SOUTH SAN FRANCISCO, SAN MATEO COUNTY

EXISTING CONDITIONS

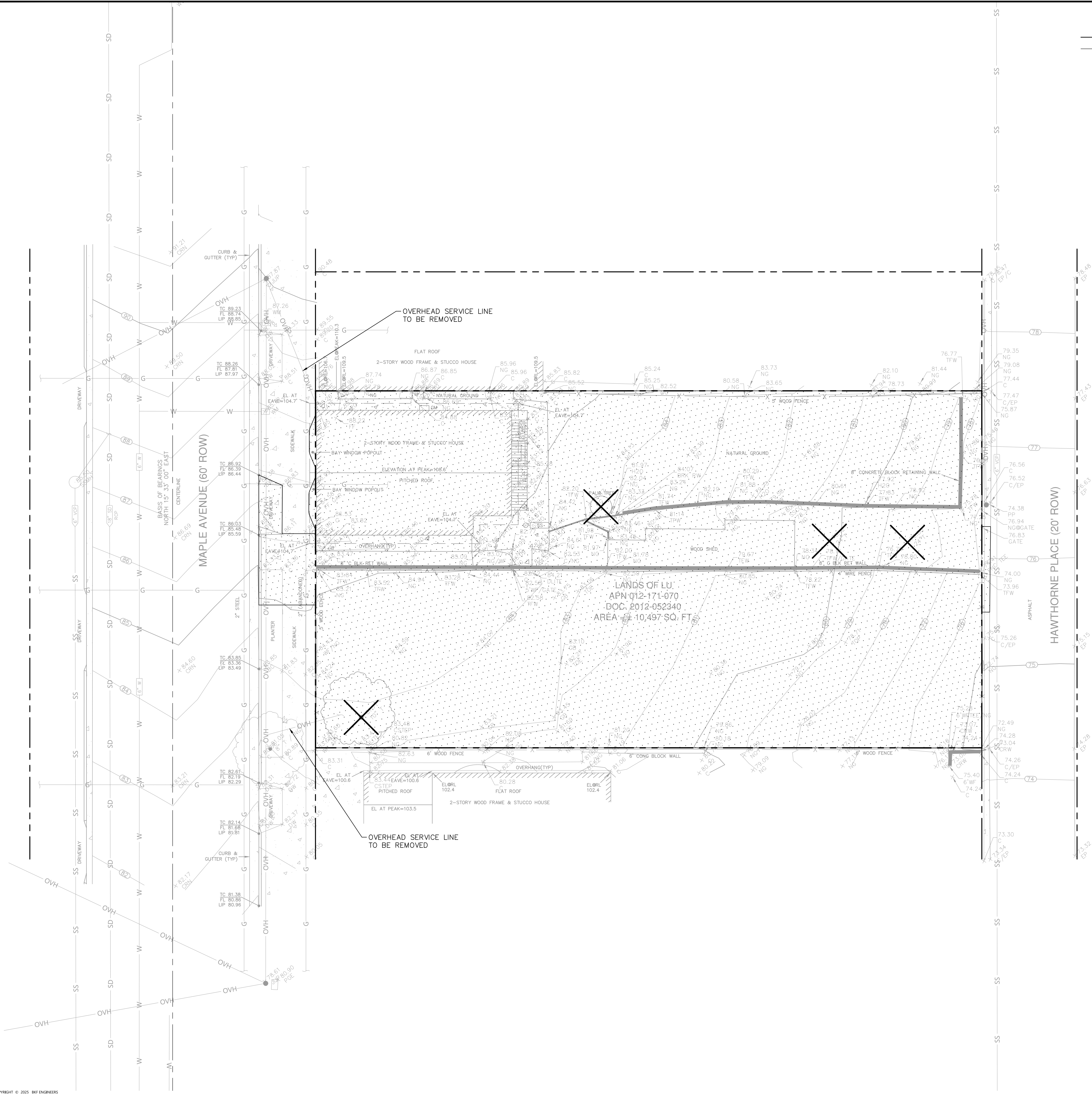
Revisions

No.

Date: 03/07/2025

Drawing Number:

TM-1.0
1 OF 6



LEGEND

- PROPERTY LINE
- CENTERLINE
- DEMOLITION LIMITS, SEE NOTE 1
- REMOVE TREE

NOTES

- WITHIN DEMOLITION LIMITS REMOVE ALL ASPHALT, AGGREGATE BASE, CONCRETE, TOPSOIL, ORGANIC MATERIAL, BUILDING STRUCTURES, WALLS, UTILITIES AND MISCELLANEOUS ITEMS UNLESS OTHERWISE NOTED ON PLANS. REMOVAL OF EXISTING SERVICES OR CAPPING OF LINES WITHIN CITY R.O.W. SHALL BE PER CITY OF SOUTH SAN FRANCISCO STANDARDS AND SPECIFICATIONS. UNLESS OTHERWISE NOTED, EXTENT AND EXACT LOCATION OF EXISTING UNDERGROUND UTILITIES ON-SITE ARE NOT KNOWN. WHERE UTILITIES ARE TO BE REMOVED, CONTRACTOR SHALL CONFIRM THAT SERVICE OF THAT UTILITY DOES NOT EXTEND TO ANY NEIGHBORING PROPERTY AND ALL UNDERGROUND FACILITIES FROM THAT STRUCTURE SHALL BE REMOVED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. IF BELOW-GROUND LINES 4" OR GREATER ARE DISCOVERED AT DEPTHS GREATER THAN THE EXCAVATION DEPTH REQUIRED FOR EARTHWORK, CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER REGARDING ABANDONMENT-IN-PLACE BY BACKFILLING THE PIPE WITH SLURRY.

MAPLE - NEW TOWNHOUSES

APN 012-171-170
610 MAPLE AVENUE, SOUTH SAN FRANCISCO, SAN MATEO COUNTY

DEMOLITION PLAN

PRELIMINARY

NOT FOR CONSTRUCTION

DATE: 03/04/2025

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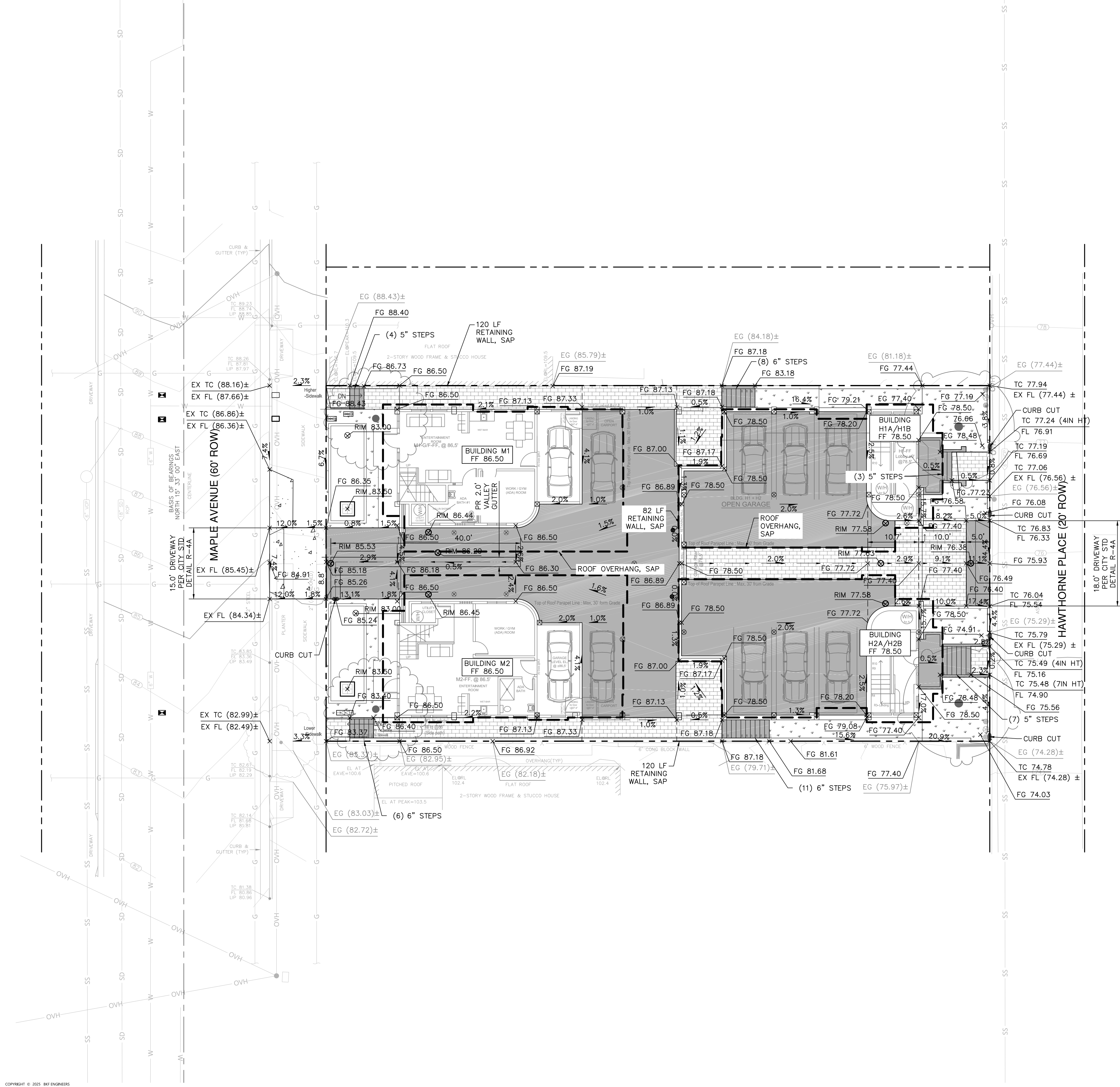
Revisions

No.

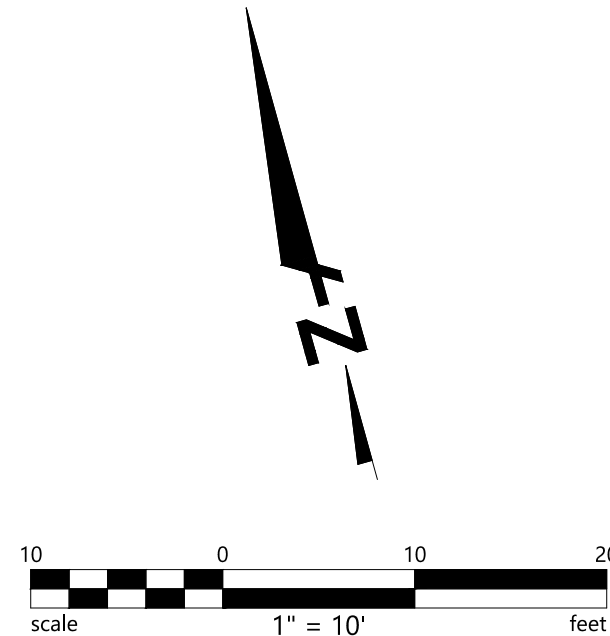
Date: 03/07/2025

Drawing Number:

TM-1.1
2 OF 6



- LEGEND**
- PROPERTY LINE
 - CENTERLINE
 - ROOF OUTLINE
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EG EXISTING GRADE
 - FG FINISHED GRADE
 - PR PROPOSED
 - EX EXISTING
 - SAP SEE ARCHITECTURAL PLAN



PRELIMINARY
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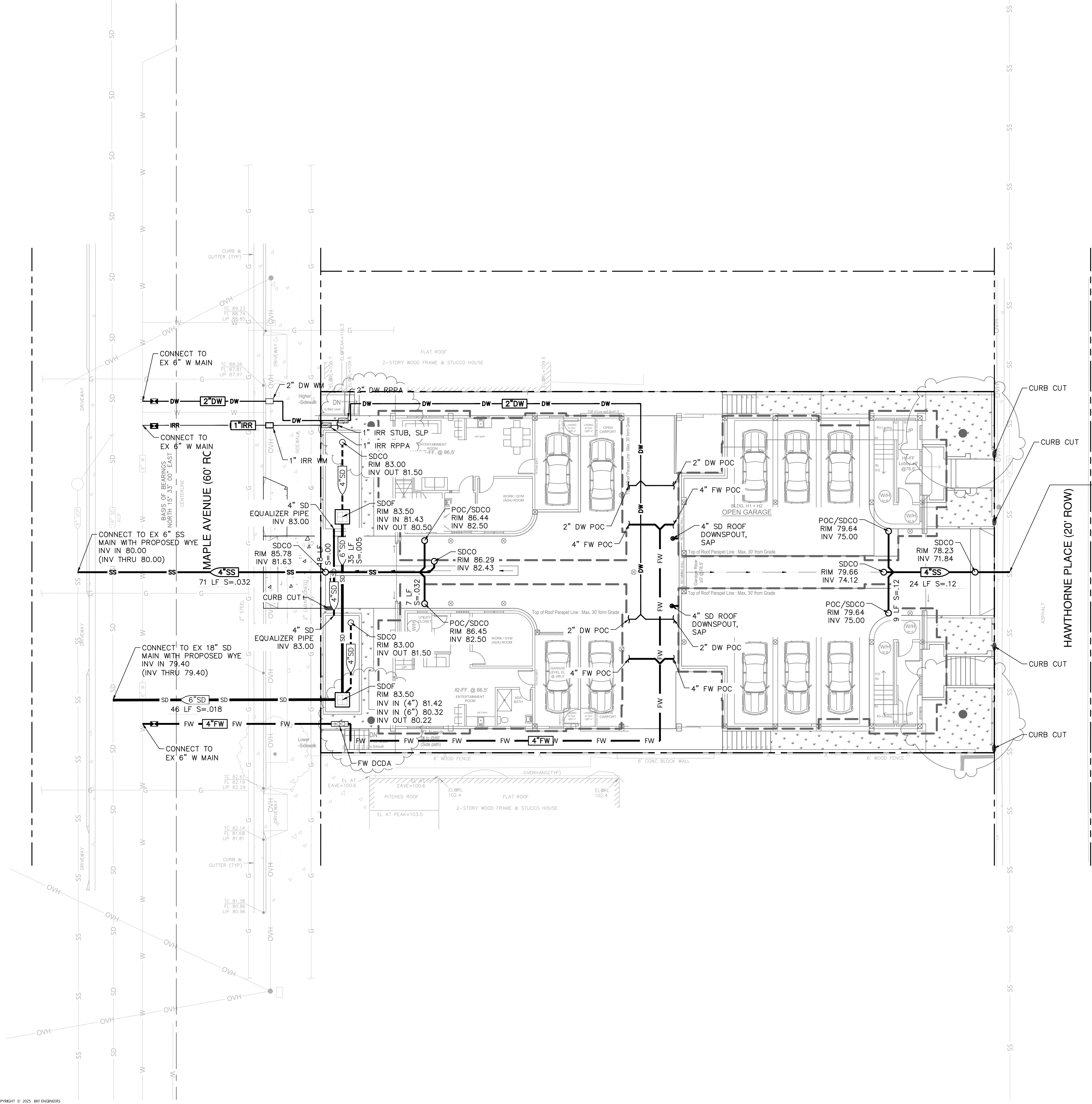
MAPLE - NEW TOWNHOUSES
APN 012-171-170
610 MAPLE AVENUE, SOUTH SAN FRANCISCO, SAN MATEO COUNTY

Revisions	
No.	Revisions
1	PLANNING SUBMITTAL

Date: 03/07/2025
Scale: AS SHOWN
Design: LP
Drawn: LP
Approved: AJ
Job No: 232266

Drawing Number:
TM-2.0
3 OF 6

GRADING AND DRAINAGE PLAN



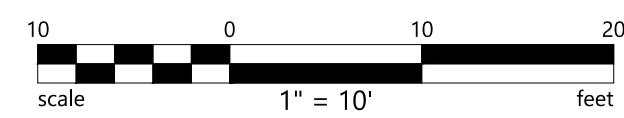
LEGEND

- PROPERTY LINE
- SUBDIVISION BOUNDARY
- CENTERLINE
- ROOF OUTLINE
- SD STORM DRAIN
- CO STORM DRAIN CLEANOUT
- STORM DRAIN AREA DRAIN
- STORM DRAIN MANHOLE
- CURB CUT
- SS SANITARY SEWER LATERAL
- CO SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- DW DOMESTIC WATER LATERAL
- DOMESTIC WATER METER
- DOMESTIC WATER RPPA
- DOMESTIC WATER VALVE
- IRR IRRIGATION WATER LATERAL
- IRRIGATION WATER METER
- IRRIGATION WATER RPPA
- IRRIGATION WATER VALVE
- FW FIRE WATER LATERAL
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- FIRE WATER DCDA
- FIRE WATER VALVE
- SAP SEE ARCHITECTURAL PLAN
- SLP SEE LANDSCAPE PLAN

NOTES

- PIPE MATERIALS
 - 4" SANITARY SEWER: PVC SDR 26
 - 6" AND SMALLER STORM DRAIN: PVC SDR 35
 - 2" DOMESTIC WATER: PE 4710 TUBING
 - 4" FIRE WATER: PVC C900 (DR14)
- THE INVERT OF THE EXISTING SANITARY SEWER MAINS AT THE PROPOSED CONNECTION POINTS SHALL BE CONFIRMED IN THE FIELD PRIOR TO THE INSTALLATION OF ANY SEWER LATERALS SHOWN ON THE PLANS.
- THE INVERT OF THE EXISTING STORM DRAIN MAIN AT THE PROPOSED CONNECTION POINT SHALL BE CONFIRMED IN THE FIELD PRIOR TO THE INSTALLATION OF ANY STORM LATERALS SHOWN ON THE PLANS.

CONNECT TO EX 6" SS MAIN WITH PROPOSED WYE INV IN 71.00 (INV THRU 71.00)



PRELIMINARY
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DATE: 03/04/2025

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MAPLE - NEW TOWNHOUSES

APN 012-171-170
610 MAPLE AVENUE, SOUTH SAN FRANCISCO, SAN MATEO COUNTY

UTILITY PLAN

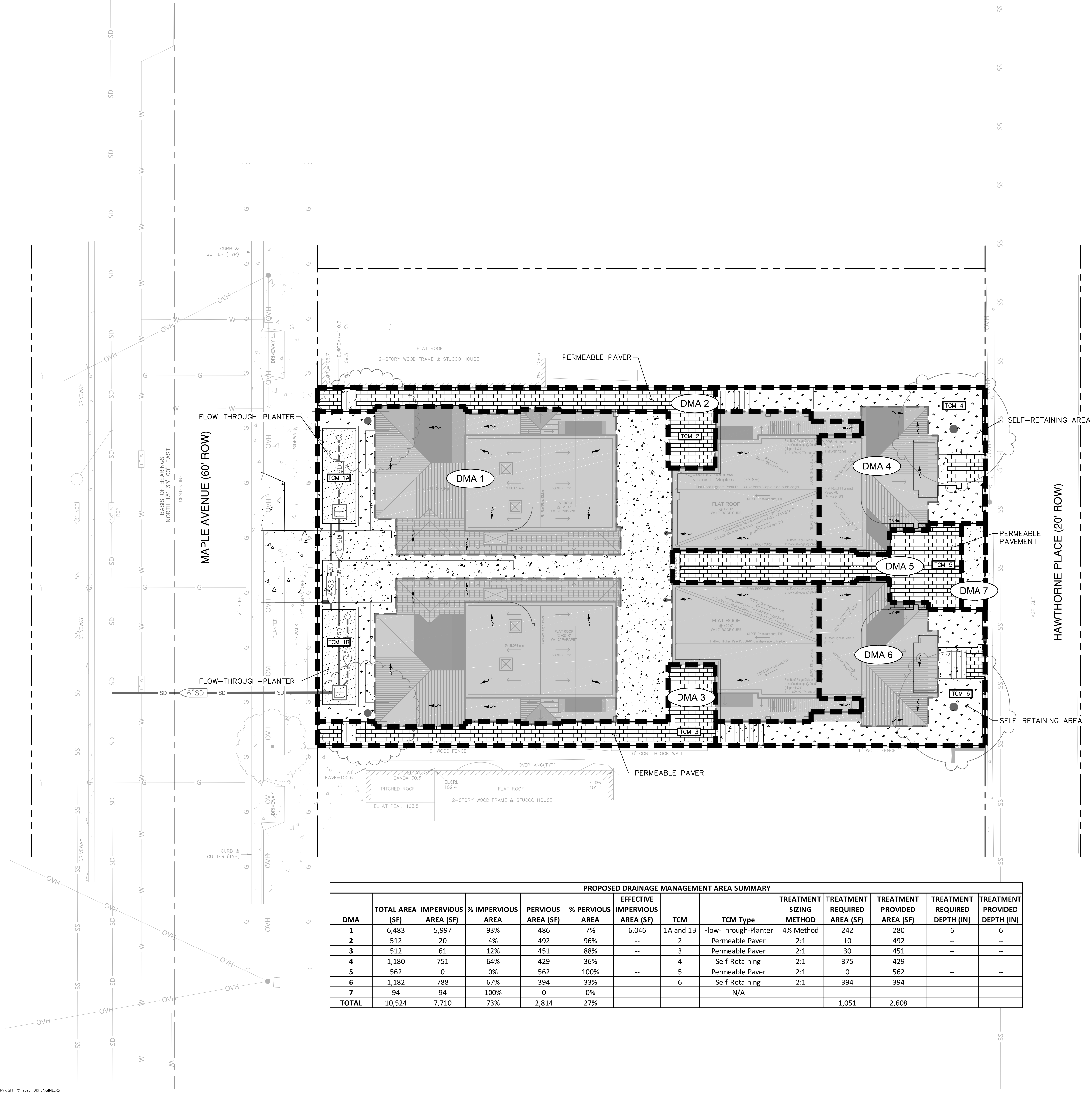
Revisions

No.

Date: 03/07/2025
Scale: AS SHOWN
Design: LP
Drawn: LP
Approved: AJ
Job No: 232266

Drawing Number:

TM-3.0
4 OF 6



PROPOSED DRAINAGE MANAGEMENT AREA SUMMARY													
DMA	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	% IMPERVIOUS AREA	PERVIOUS AREA (SF)	% PERVIOUS AREA	EFFECTIVE IMPERVIOUS AREA (SF)	TCM	TCM Type	TREATMENT SIZING METHOD	TREATMENT REQUIRED AREA (SF)	TREATMENT PROVIDED AREA (SF)	TREATMENT REQUIRED DEPTH (IN)	TREATMENT PROVIDED DEPTH (IN)
1	6,483	5,997	93%	486	7%	6,046	1A and 1B	Flow-Through-Planter	4% Method	242	280	6	6
2	512	20	4%	492	96%	--	2	Permeable Paver	2:1	10	492	--	--
3	512	61	12%	451	88%	--	3	Permeable Paver	2:1	30	451	--	--
4	1,180	751	64%	429	36%	--	4	Self-Retaining	2:1	375	429	--	--
5	562	0	0%	562	100%	--	5	Permeable Paver	2:1	0	562	--	--
6	1,182	788	67%	394	33%	--	6	Self-Retaining	2:1	394	394	--	--
7	94	94	100%	0	0%	--	--	N/A	--	--	--	--	--
TOTAL	10,524	7,710	73%	2,814	27%	--	--			1,051	2,608		

LEGEND

CONCRETE PAVEMENT

ROOF

CONVENTIONAL LANDSCAPE SURFACE

FLOW-THROUGH-PLANTER AREA

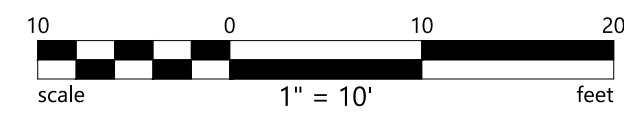
PERMEABLE PAVEMENT

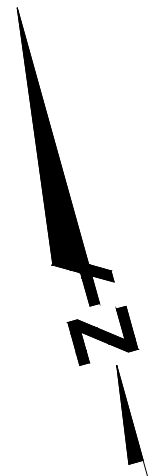
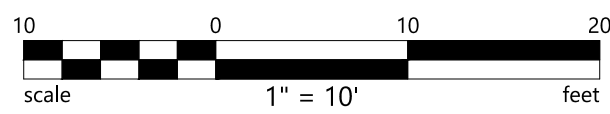
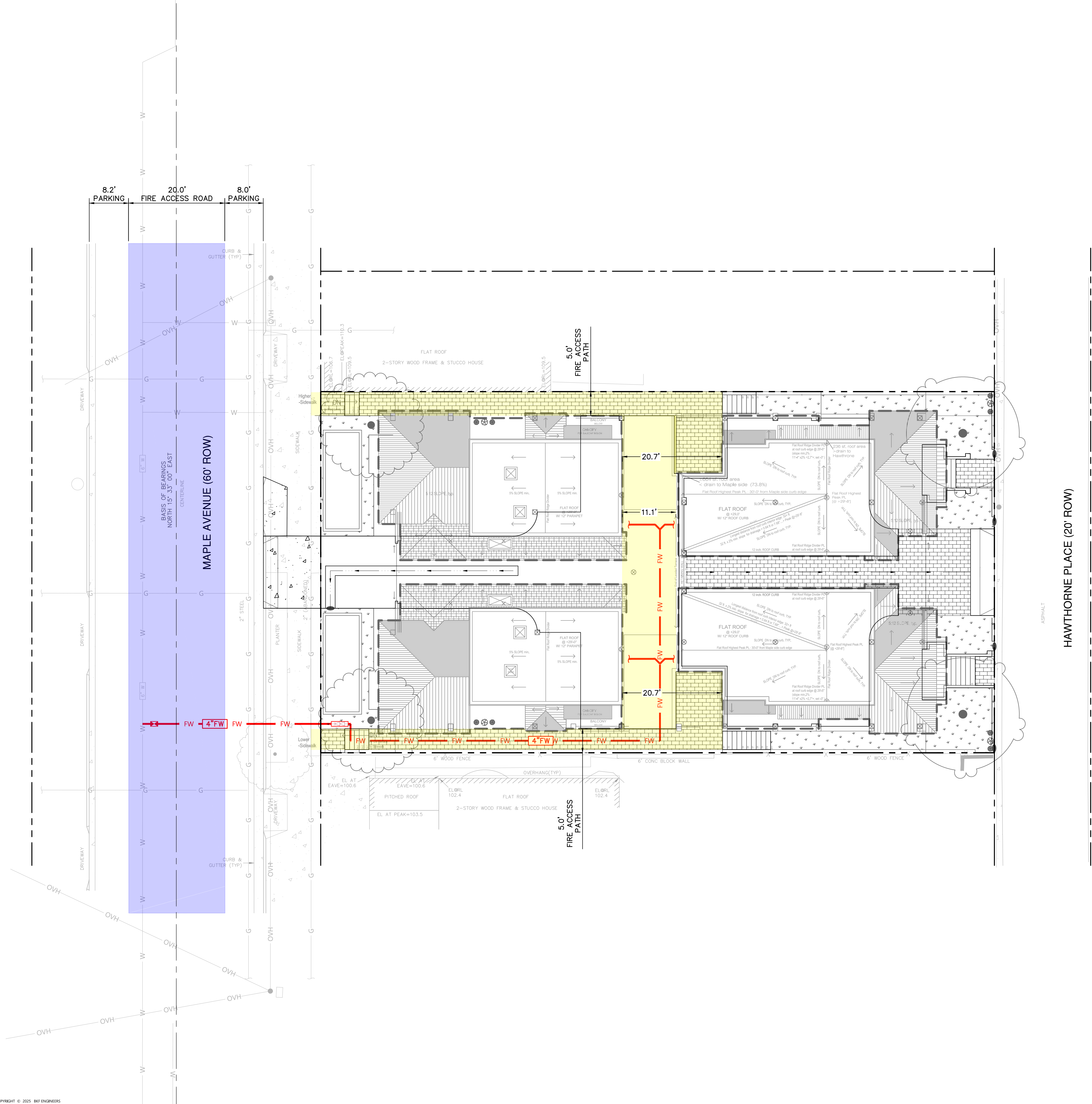
DMA BOUNDARY

DRAINAGE AREA IDENTIFICATION

TREATMENT CONTROL MEASURE IDENTIFICATION

FLOW DIRECTION





- LEGEND
- FIRE APPARATUS ACCESS ROAD
 - FIRE ACCESS PATH

Date: 03/07/2025	No.	Revisions
Scale: AS SHOWN	1	PLANNING SUBMITTAL
Design: LP		
Drawn: LP		
Approved: AJ		
Job No: 232266		

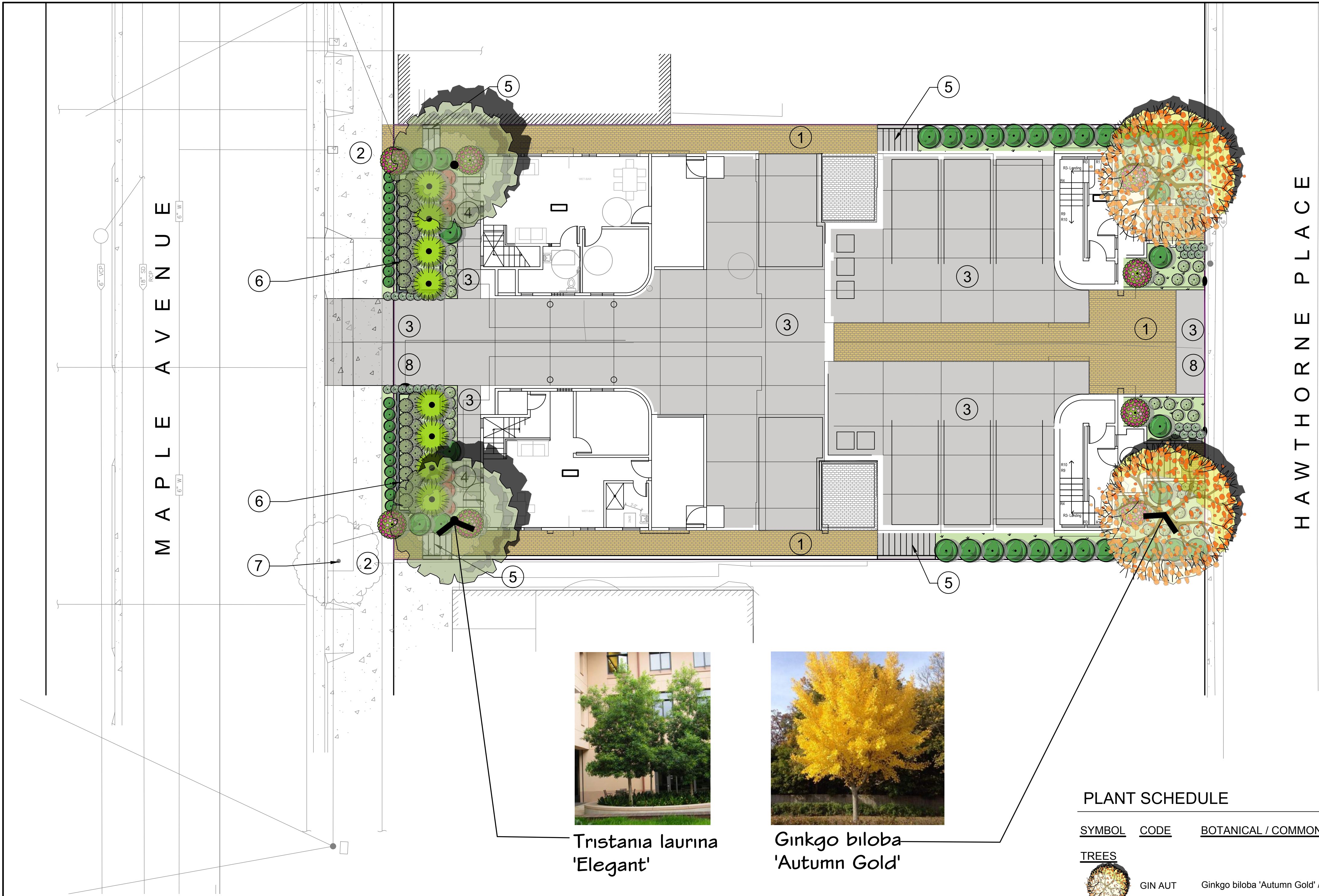
MAPLE - NEW TOWNHOUSES
APN 012-171-170
610 MAPLE AVENUE, SOUTH SAN FRANCISCO, SAN MATEO COUNTY

FIRE ACCESS PLAN

BKF ENGINEERS
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SUITE 600
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(415) 930-7900
www.bkf.com

PRELIMINARY
NOT FOR CONSTRUCTION

DATE: 03/04/2025



Tristania laurina
'Elegant'



Ginkgo biloba
'Autumn Gold'

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	REMARKS
TREES							
	GIN AUT	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree	15 gal.	Can	M	2	Male forms only
	TRI EL2	Tristania laurina 'Elegant' / Elegant Water Gum	15 gal.	Can	M	2	
SHRUBS							
	ARB ELF	Arbutus unedo 'Elfin King' / Elfin King Strawberry Tree	5 gal.	Can	L	6	
	CHO ELE	Chondropetalum elephantinum / Large Cape Rush	1 gal.	Can	L	8	
	DIE BIC	Dietes bicolor / Fortnight Lily	1 gal.	Can	L	34	
	ERI MOE	Erigeron karvinskianus 'Moerheimii' / Pink Santa Barbara Daisy	1 gal.	Can	L	44	
	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Can	L	34	
	LOR FOO	Loropetalum chinense 'Raspberry' / Raspberry Fringe Flower	5 gal.	Can	L	8	
	MYR DWA	Myrtus communis 'Compacta' / Dwarf Common Myrtle	1 gal.	Can	L	21	
	NAN GUL	Nandina domestica 'Gulf Stream' / Gulf Stream Heavenly Bamboo	5 gal.	Can	L	6	
	PRU COM	Prunus caroliniana 'Compacta' / Compact Carolina Laurel Cherry	5 gal.	Can	L	29	

KEY NOTES: STREET LEVEL

- 1 PERMEABLE PRECAST CONCRETE PAVERS
- 2 EXISTING CITY SIDEWALK
- 3 CONCRETE PAVING
- 4 ENTRY TO RESIDENCES
- 5 STEPS (CONCRETE)
- 6 FLOW-THROUGH PLANTER--FOR STORMWATER TREATMENT
SEE CIVIL ENGINEER'S PLANS.
- 7 EXISTING STREET TREE TO REMAIN UNDER EXISTING OVERHEAD
UTILITY LINES
CALLISTEMON VIMINALIS (WEEPING BOTTLEBRUSH)
- 8 PROPOSED DRIVEWAY

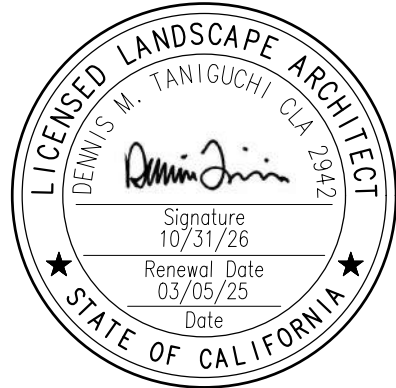
NOTES:

1. TREES PROPOSED FOR BOTH THE MAPLE AVENUE AND
HAWTHORNE PLACE FRONTAGES ARE FROM SPECIES LISTED
BY THE DESIGN REVIEW BOARD IN RECOMMENDATIONS
DATED AUGUST 21, 2023.

MAPLE
NEW
TOWNHOUSES

616 Maple Avenue
South San Francisco
California
94080

Taniguchi Landscape Architecture
1013 South Claremont St., Ste 1
San Mateo, CA 94402
v 650.638.9985 | f 650.638.9986
CLA #2942



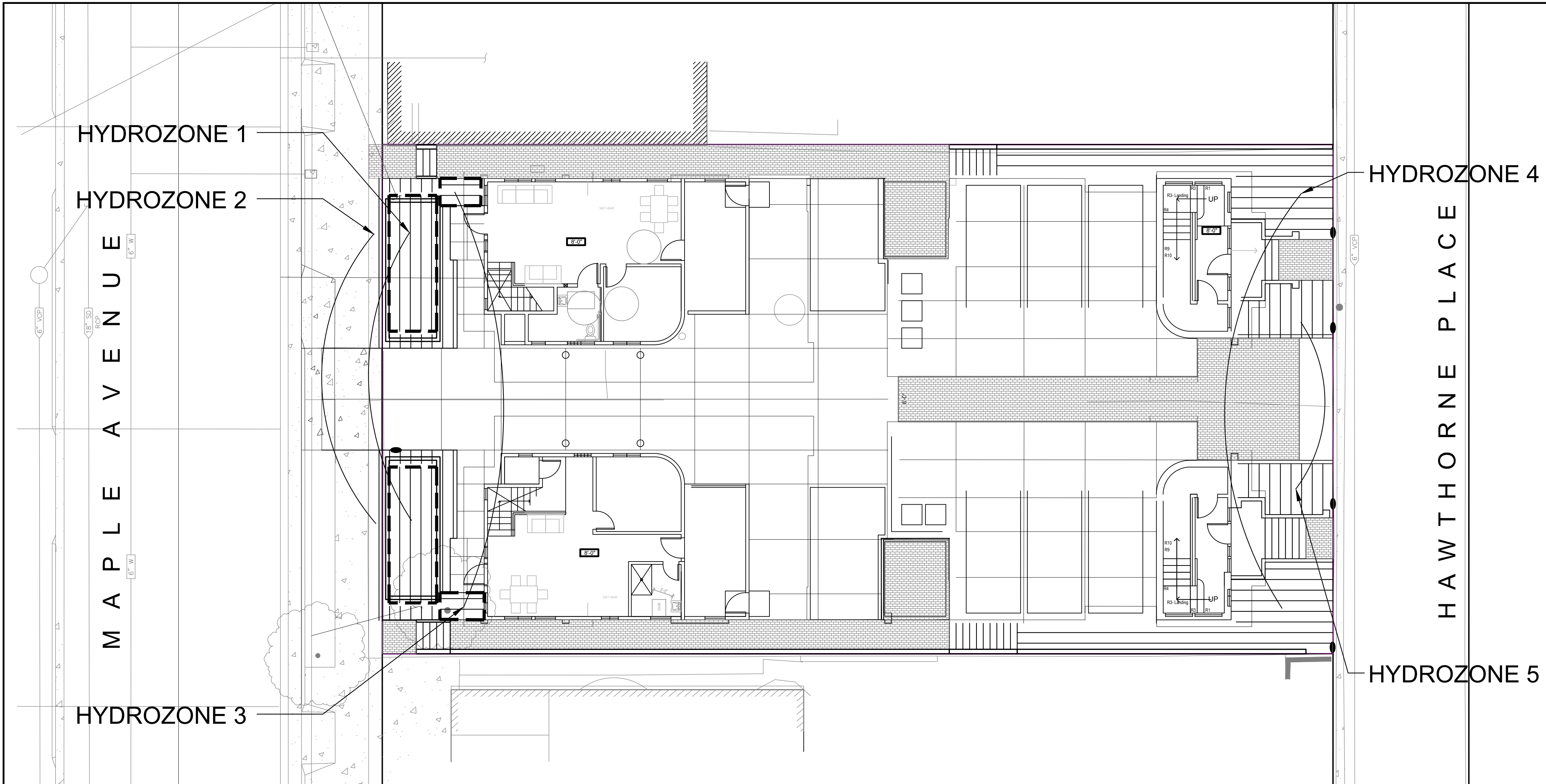
ISSUE: DESCRIPTION: DATE:
1 PROGRESS PLANNING SUBMITTAL 03/05/25

SCALE: 1" = 10'-0"
PROJECT NUMBER: TLAP: 24004.000

SCHEMATIC
LANDSCAPE
PLAN

SHEET NO.

L-1



HYDROZONE LEGEND

- LOW WATER USE
(SUBSURFACE DRIP AND/OR DRIP EMITTERS)
1,235 SF OR 83% OF IRRIGATED AREA
- MEDIUM WATER USE
(SUBSURFACE DRIP AND/OR DRIP EMITTERS)
248 SF OR 17% OF IRRIGATED AREA
- HIGH WATER USE
(TURF ROTORS AND/OR POP-UP SPRAY HEADS)
0 SF OR 0% OF IRRIGATED AREA

CONCEPTUAL IRRIGATION STATEMENT

- 1 Irrigation design shall be zoned for 1) turf and annuals and other moderate to higher water use plant materials; 2) groundcovers, and 3) native and water conserving plant materials.
- 2 Irrigation design shall also be zoned for micro climates including cool, shaded and protected areas, as well as hot, sunny and windy areas.
- 3 Part shade areas include moderate water use areas having morning and/or afternoon shade.
- 4 Cool and full shady areas include low water use areas for plants requiring little or no irrigation water and/or locations that will provide moist conditions.
- 5 Layout shall be designed for minimum runoff and overspray onto non-landscaped areas
- 6 Low volume sprinklers shall be used wherever possible with head to head coverage.
- 7 Drip emitter or bubbler irrigation shall be utilized at trees to promote deep watering wherever possible.
- 8 Drip irrigation shall be utilized at non-traffic or isolated planting areas to decrease the possibility of vandalism to the micro-tubing.
- 9 The irrigation controller shall have ample capacity in terms of programs and cycles that will match the complexity of the landscape plan for more efficient watering. For example, the controller shall have the ability to have multiple cycles to permit a number of short duration waterings that will allow water to soak into the soil rather than run off.
- 10 Individual bubblers or drip emitters shall be utilized to isolate water for plant materials and eliminate watering of "bare ground."

STANDARDS FOR IRRIGATION EQUIPMENT

- 1 Mainslines shall be 1120 pvc-schedule 40 for pipe size 1 1/2" and smaller, 1120 pvc-class 315 for pipe sizes 2" and 2 1/2", bell and ring pvc-class 160 for pipe sizes 3" and larger.
- 2 Lateral lines shall be 1120 pvc-class 200.
- 3 Depth of mainline: 24" of cover
Depth of lateral line: 18" of cover
Depth of pipe under paving: 24" of cover encased in a sleeve
- 4 Backflow preventer shall be a type approved by and installed per local codes.
- 5 Sprinklers shall have matched precipitation rates within each control valve circuit.
- 6 Precipitation rates for sprinklers shall match soil absorption rate.
- 7 Sprinklers shall have pressure compensating feature whenever possible to prevent fogging and misting and to prevent wind drift.
- 8 Sprinkler circuit shall have a check valve installed where necessary to minimize or prevent low head drainage.
- 9 Rain sensing override devices shall be installed with controller.

Water Efficient Landscape Worksheet: 616 Maple (02/24/2025)

Reference Evapotranspiration (Eto)		35 S San Francisco					Estimated Total Water Use (ETWU)
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	
Regular Landscape Areas							
#1 Maple St Stormwater	0.2	Drip	0.81	0.247	280	69.14	1,500
#2 Maple St Frontage	0.2	Drip	0.81	0.247	280	69.14	1,500
#3 Maple St Trees	0.5	Drip	0.81	0.617	50	30.86	670
#4 Hawthorne Pl Trees	0.5	Drip	0.81	0.617	675	416.67	9,042
#5 Hawthorne Pl Frontage	0.2	Drip	0.81	0.247	198	48.89	1,061
				Totals	1,483	634.69	13,773
Special Landscape Areas (SLA)							
1) Pool/Spa				0	0	0	0
2) Water Features				0	0	0	0
				0	0	0	0
				Totals	0	0	0
Estimated Total Water Use (ETWU)							13,773
Maximum Allowed Water Allowance (MAWA)							14,481

Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

MAWA (annual gallons allowed)=[Eto] (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

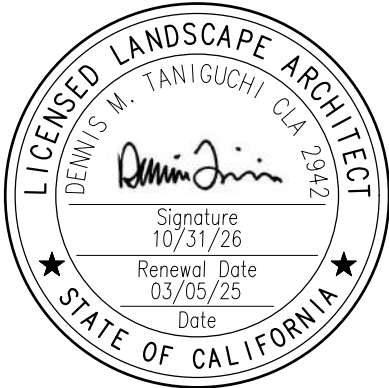
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	635
Total Area	1,483
Average ETAF	0.43
Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.	
All Landscape Areas	
Total ETAF x Area	635
Total Area	1,483
Site-wide ETAF	0.43

MAPLE NEW TOWNHOUSES

616 Maple Avenue
South San Francisco
California
94080

Taniguchi Landscape Architecture
1013 South Claremont St., Ste 1
San Mateo, CA 94402
v 650.638.9985 | f 650.638.9986
CLA #2942



ISSUE: DESCRIPTION: DATE:
1 PROGRESS PLANNING SUBMITTAL 03/05/25

SCALE: 1" = 10'-0"
PROJECT NUMBER: TLA# 24004.000

SHEET TITLE

IRRIGATION HYDROZONE PLAN

SHEET NO.

L-2