

ABBREVIATIONS

A.B.	ANCHOR BOLT
A/C	AIR CONDITION
A.F.F.	ABOVE FINISHED FLOOR
APP	APPROVED
ARCH.	ARCHITECT
ARCHL.	ARCHITECTURAL
BD.	BOARD
BLDG.	BUILDING
BLK'G	BLOCKING
BM.	BEAM
B.O.	BY OWNER
BOT.	BOTTOM
B.O.W.	BASE OF WALL
B.U.	BUILT-UP
CL.	CENTERLINE
CL.R.	CLEAR
CL.G.	CEILING
COL.	COLUMN
CSK	COUNTERSINK
COMP.	COMPOSITION
CONC.	CONCRETE
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
CRC	COLD-ROLLED CHANNEL
C.T.	CERAMIC TILE
DBL.	DOUBLE
DET.	DETAIL
DWR.	DRAWER
DIM.	DIMENSION
(E)	EXISTING
EA.	EACH
ELEV.	ELEVATION
EQ.	EQUAL
EXH	EXHAUST
EXP.	EXPANSION
EXT.	EXTERIOR
F.A.	FLOOR AREA
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.G.	FIXED GLAZING
FIN.	FINISH
FL/ FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.	FACE OF
FTG.	FOOTING
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GYPSPUM BOARD
G.I.	GALVANIZED IRON
GLB	GLUE-LAMINATED BEAM
GFRG	GLASS FIBER REINFORCED GYPSPUM
GSM	GALVANIZED SHEET METAL
H.C.	HOSE BIB
H.O.	HOLLOW CORE
H.D.	HOLLOW DRUM
HDR.	HEADER
HT.	HEIGHT
INCL.	INCLUDE(D)
INSUL.	INSULATION
INT.	INTERIOR
JST.	JOIST
JT.	JOINT
L.H.	LEFT HAND
L.H.R.	LEFT HAND REVERSE
L.S.	LANDSCAPE
LT.	LIGHT
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MEMB.	MEMBRANE
MTL.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MOUNTED
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.A.	OVERALL
O.C.	ON CENTER
OP.	OPERABLE
OPG.	OPENING
OPP.	OPPOSITE
PL.	PLATE
P-LAM	PLASTIC LAMINATE
P.LY.	PLYWOOD
PROP.	PROPERTY
P.T.	PRESSURE-TREATED
R.	RISER
(R)	RE-LOCATE(D)
R.D.	ROOF DRAIN
REC.	RECESSED
REG.	REGISTER
REINF.	REINFORCED
REQ'D	REQUIRED
REV.	REVERSE
R.H.	RIGHT HAND
R.H.R.	RIGHT HAND REVERSE
RWD.	REINFORCED
R.W.L.	RAINWATER LEADER
S.C.	SOLID CORE
S.D.	SMOKE DETECTOR
SH'TG	SHEATHING
SM.	SIMILAR
SQ.	SQUARE
S.S.D.	SEE STRUCTURAL DRAWINGS
T.	TREAD
T&G	TONGUE & GROOVE
T&D	TO BE DETERMINED
TEMP.	TEMPERED
THK.	THICK
T.O.C.	TOP OF CURB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
UHMW	ULTRA HIGH MOLECULAR WEIGHT POLY-ETHYLENE
W/	WITH
W.C.	WATER CLOSET
W.H.	WATERHEATER
W.P.	WATERPROOF
W.W.M.	WELDED WIRE MESH
WIN.	WINDOW
W/O	WITHOUT
WD.	WOOD

LOCATION MAP (N.T.S)



SANITARY FACILITIES

SANITARY FACILITIES SHALL COMPLY TO CBC SECTION 11B-404 AND 11B-604, 11B-605, 11B-606 AND FIGURE 11A-9A-a

A. WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32-INCHES WHEN LOCATED AT THE END AND 34-INCHES WHEN LOCATED AT THE SIDE WITH THE DOOR POSITION AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION

B. TOILET FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, NO MORE THAN 44-INCHES ABOVE THE FLOOR, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS MAX.

C. WHERE URINALS ARE PROVIDED AT LEAST ONE WITH A RIM PROJECTING A MINIMUM OF 14-INCHES FROM THE WALL AND AT A MAXIMUM OF 17-INCHES ABOVE THE FLOOR SHALL BE PROVIDED

D. URINAL FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS MAX.

E. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.

F. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS MAX. HAND-OPERATED METERING FAUCET SHALL REMAIN OPEN FOR 10 SECONDS MIN.

G. TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DEVICES. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS

H. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE NOT MORE THAN 40-INCHES ABOVE THE FLOOR

I. LOCATE TOWEL, SANITARY NAPKIN, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS NOT MORE THAN 40-INCHES FROM THE FLOOR

J. TOILET TISSUE DISPENSERS SHALL COMPLY WITH SECTION 11-309.4 AND SHALL BE 7" MIN. AND 9" MAX IN FRONT OF THE WATER CLOSET MEASURE TO THE CENTER LINE OF THE DISPENSER. THE OUTLET OF DISPENSER SHALL BE BELOW THE GRAB BAR, 10" MIN ABOVE FINISH FLOOR AND SHALL NOT BE LOCATED BEHIND GRAB BAR.

K. GRAB BARS SHALL COMPLY WITH SECTION 11B-609 AND 11-604.5, FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 250 LB. PER LINEAR FOOT LOAD

L. GRAB BARS (SEE DETAIL 12/A-801):

- THE DIAMETER OR WIDTH OF THE GRIPPING SURFACE OF A GRAB BAR SHALL BE 1-1/4" TO 2" OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE
- IF THE GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1-1/2"
- A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS
- GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS
- EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8"

ACCESSIBLE TOILET COMPARTMENTS, SHALL COMPLY WITH CBC SECTION 11B-604

A. SEE TOILET ROOM FLOOR PLAN FOR H.C. TOILET STALL LOCATION

B. PROVIDE BACKING IN WALL & TOILET PARTITION FOR GRAB BAR ANCHORAGE

C. COMPARTMENT DOOR TO PROVIDE A MINIMUM 9" CLEARANCE FOR FOOTRESTS UNDERNEATH DOOR, OR A MINIMUM OF 18" SIDE-STRIKE CLEARANCE IS PROVIDED

D. INSIDE AND OUTSIDE OF THE COMPARTMENT DOOR IS EQUIPPED WITH A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE LATCH IS A FLIP-OVER STYLE, SLIDING, OR OTHER HARDWARE NOT REQUIRING TIGHT GRASPING OR TWISTING

F. OPENING HARDWARE IS CENTERED BETWEEN 30" AND 44" ABOVE FINISH FLOOR

G. TOILET PAPER DISPENSER ALLOWS CONTINUOUS PAPER FLOW AND DOES NOT CONTROL DELIVERY. SEE CBC SECTION 11B-604.7

H. THE ACCESSIBLE COMPARTMENT DOOR SHALL BE EQUIPPED WITH AN AUTOMATIC CLOSING DEVICE (3 SECONDS MIN. SWEEP TIME FROM OPEN POSITION OF 70 DEGREES TO A POINT 3" FROM THE LATCH).

I. FLUSH CONTROL SHALL BE ON WIDE SIDE OF TOILET COMPARTMENT AT ALL ACCESSIBLE STALLS - TYP

J. WHERE ONLY ONE TYPE OF TOILET FIXTURE OR ACCESSORY IS USED, IT SHALL BE POSITIONED FOR ACCESSIBILITY

K. SEE ACCESSIBILITY NOTES FOR ADDITIONAL REQUIREMENTS

ENTRANCES AND DOORWAYS

ENTRANCES AND DOORWAYS, SHALL COMPLY WITH SECTION 11B-404

A. PRIMARY ENTRANCES TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO THE DISABLED

B. RECESSED DOOR MATS SHALL BE ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIRS

C. ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE SIGN (INTERNATIONAL SYMBOL OF ACCESSIBILITY) AND WITH ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED VISIBLE FROM APPROACHING PEDESTRIAN WAYS

D. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL BE A MINIMUM 60" SQUARE IN THE DIRECTION OF THE DOOR SWING AND A MINIMUM 44" SQUARE OPPOSITE THE DIRECTION OF DOOR SWING. THE SQUARES SHALL BE MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.

E. THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED NO GREATER THAN 1:2

F. THE FLOOR LANDING IMMEDIATELY OUTSIDE THE ENTRY MAY BE SLOPED UP TO 1/8" PER FOOT IN THE DIRECTION AWAY FROM THE PRIMARY ENTRANCE FOR DRAINAGE

G. EXTERIOR DECK, PATIO, OR BALCONY SURFACES SHALL BE NO MORE THAN 1/2" BELOW THE FLOOR LEVEL OF THE INTERIOR OF THE DWELLING UNIT, UNLESS CONSTRUCTED OF IMPERVIOUS MATERIALS. IN SUCH CASE THE SURFACE SHALL BE NO MORE THAN 4 INCHES BELOW THE FLOOR LEVEL OF THE INTERIOR OF THE DWELLING UNIT, OR LOWER IF REQUIRED BY LOCAL BUILDING CODES

H. THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE, SERVING OTHER THAN A REQUIRED EXIT STAIRWAY, MUST HAVE AT LEAST 48" OF CLEAR SPACE FROM ANY DOOR OPENING INTO THE VESTIBULE WHEN THE DOOR IS OPEN 90 DEGREES FROM ITS CLOSED POSITION. DOORS IN SERIES MUST SWING IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS

I. DOOR MUST PROVIDE MIN. 32" CLEAR OPENING WIDTH MEASURED WITH THE DOOR POSITIONED 90-DEGREES FROM THE CLOSED POSITION. DOOR MUST BE MIN. 36" IN WIDTH, WHERE A PAIR OF DOORS, MANUALLY OR AUTOMATICALLY OPERATED, IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING 32" WIDE W/ THE LEAF POSITIONED 90 DEGREES FROM ITS CLOSED POSITION. DOORS SHALL NOT BE LESS THAN 6'-9" IN HEIGHT.

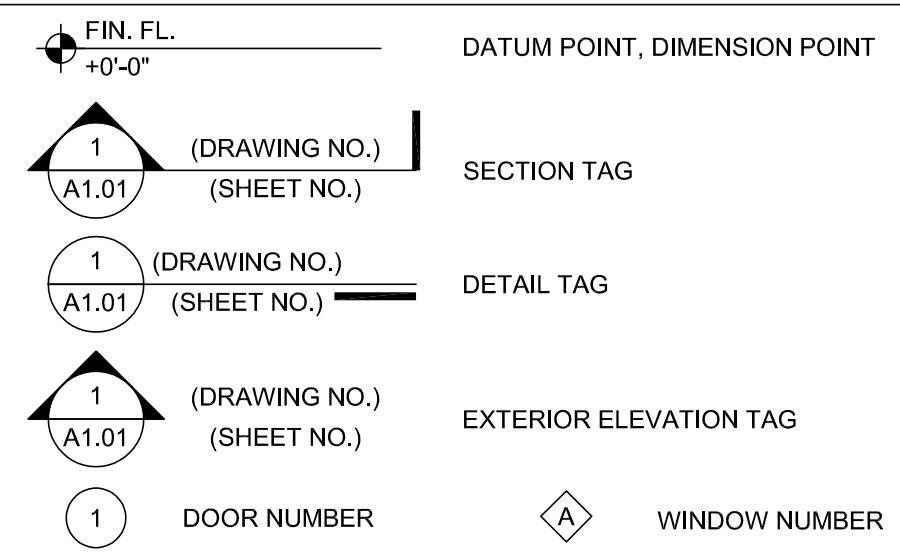
J. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC & SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO OPEN BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION, WHERE NARROW FRAME DOORS ARE USED A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. SEE CBC 11B-404.2.10

K. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR EXTERIOR DOORS AND 15 LBS FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT SHALL BE APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS, WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS

L. THE SWEEP PERIOD OF A CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 5 SECONDS TO MOVE THE DOOR TO A POSITION OF 12 DEGREE FROM THE LATCH. DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREE THE DOOR OR GATE SHALL MOVE TO CLOSE POSITION IN 1.5 SECONDS MIN.

M. OPERABLE HARDWARE SHALL COMPLY WITH CBC SECTION 11B-309.4. OPERABLE PART OF SUCH HARDWARE SHALL BE 34" MIN. AND 44" MAX. ABOVE THE FINISH FLOOR. HARDWARE SHALL BE OF A TYPE TO PERMIT OPERATION WITHOUT REQUIRING THE ABILITY TO GRASP THE HARDWARE.

DRAWING SYMBOLS



GENERAL NOTES

- ALL WORK TO BE IN CONFORMANCE WITH ALL GOVERNING CODES, WHETHER INDICATED ON THE DRAWINGS OR NOT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY ERROR OR OMISSION TO THE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
- THE CONTRACTOR SHALL FIELD INSPECT THE PROJECT AND VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
- THE CONTRACTOR SHALL LEAVE THE JOB BROOM CLEAN AT THE END OF EACH DAYS WORK.
- THE CONTRACTOR SHALL LEAVE THE JOB BROOM CLEAN, WINDOWS AND FIXTURES WASHED AND DEBRIS MOVED FROM THE JOB SITE AT THE COMPLETION OF THE PROJECT.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED AS PER MANUFACTURE'S SPECIFICATIONS AND RECOMMENDATIONS UNLESS OTHERWISE NOTED.
- PRIOR TO FINAL ACCEPTANCE, ALL SYSTEMS, EQUIPMENT APPARATUS, AND APPLIANCES SHALL OPERATE SAFELY AND SATISFACTORILY AS THE DESIGN INTENDED.
- CONTRACTOR TO PROVIDE OWNER WITH A HARD COVERING (3-RING, ETC.) BINDER OWNER'S MANUAL FOR THE HOUSE. THE MANUAL SHOULD INCLUDE MANUFACTURER'S INFORMATION, WARRANTIES, DIRECTIONS, ETC. ON ALL MECHANICAL ELEMENTS OF THE HOUSE (E.G. WATER HEATERS, KITCHEN APPLIANCES, HEATING UNITS, THERMOSTATS, ETC.). THE MANUAL SHOULD USE DIVIDERS FOR EASE OF REFERENCE.
- SHOP DRAWINGS SHALL BE PROVIDED FOR REVIEW AND FINAL APPROVAL BY THE OWNER AND THE ARCHITECT FOR DOORS, WINDOWS, AND CABINETS THROUGHOUT THE HOUSE.
- CUT SHEETS OR SAMPLES SHALL BE PROVIDED FOR REVIEW AND FINAL APPROVAL BY THE OWNER AND THE ARCHITECT FOR ALL EQUIPMENT, LIGHTING FIXTURES, PLUMBING FIXTURES, HARDWARE, AND FINISH MATERIALS THROUGHOUT THE PROJECT.
- ALL VISIBLE WOOD WORK, INTERIOR + EXTERIOR, (INCLUDING BUT NOT LIMITED TO FASCIA BOARDS, RAFTER TAILS, BRACKETS, WINDOWS, DOORS, CASEWORK, CABINETS, ETC.) SHALL HAVE CLEAN, SQUARE CORNERS: NO ROUNDED, RADIUS, OR EASED CORNERS SHALL BE VISIBLE UNLESS OTHERWISE NOTED.

ELECTRICAL NOTES

ELECTRICAL RECEPTACLE, SWITCH AND CONTROL HEIGHTS SHALL COMPLY WITH CBC SECTION 11B-308

A. ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT MEASURED AT THE BOX IS REDUCED TO 44" FOR FORWARD APPROACH, OR 46" FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24" IN DEPTH, OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE. OUTLETS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE PROVIDED THAT COMPARABLE OUTLETS, THAT PERFORM THE SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE. EXCEPTIONS INCLUDE THE FOLLOWING:

- RECEPTACLE OUTLETS INSTALLED AS PART OF PERMANENTLY INSTALLED BASEBOARD HEATERS ARE EXEMPT
- REQUIRED RECEPTACLE OUTLETS SHALL BE PERMITTED IN FLOORS WHEN ADJACENT TO SLIDING PANELS OR WALLS
- BASEBOARD ELECTRICAL OUTLETS USED IN RELOCATABLE PARTITIONS, WINDOW WALLS OR OTHER ELECTRICAL CONVENIENCE FLOOR OUTLETS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS
- THIS SECTION SHALL NOT APPLY TO EXISTING BUILDINGS WHEN THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THESE STANDARDS WOULD CREATE AN UNREASONABLE HARDSHIP NOTE: THE INTENT OF THE MEASUREMENT IS TO ENSURE THAT RECEPTACLES FALL WITHIN THE REACH RANGE OF 15" TO 48"

B. CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, ALARMS OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM. IF THE REACH IS OVER A PHYSICAL BARRIER OR AN OBSTRUCTION (FOR EXAMPLE, A KITCHEN BASE CABINET) BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 44" FOR FORWARD APPROACH, OR 46" FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24" IN DEPTH, PHYSICAL BARRIERS OR OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE CONTROL. CONTROLS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE PROVIDED THAT COMPARABLE CONTROLS OR OUTLETS, THAT PERFORM THE SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE

C. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE NOT LESS THAN 3 FEET NOR MORE THAN 4 FEET ABOVE THE FLOOR OR WORKING PLATFORM

D. THE CENTER OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK, IF EMERGENCY WARNING SYSTEMS ARE REQUIRED THEY SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED

PROJECT DIRECTORY

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DRAWING INDEX

ARCHITECTURE	PROJECT INFO
A-001	
A-101	SITE PLAN
A-201	OVERALL PROPOSED FLOOR PLAN
A-202	OVERALL PROPOSED POWER LOCATION PLAN
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A-211	PROPOSED FLOOR PLAN - OFFICE AREA
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A-213	PROPOSED FINISH FLOOR PLAN - OFFICE AREA
A-214	FIRE AND LIFE SAFETY PLAN

PROJECT DATA

PARCEL:	014-092-120
ZONING:	T5 LINDENVILLE
OCCUPANCY GROUP:	B, S-1, S-2, F-2, M (NON-SEPARATED PER CBC 508.3)
CONSTRUCTION TYPE: YEAR BUILT:	V-B -
FIRE SPRINKLER:	YES
NO. OF STORY:	1
BUILDING FOOTPRINT:	27,268 SF (UNCHANGE)
OFFICE AREA: WAREHOUSE AREA:	4,280 SF (16% < 30% MAX) 22,988 SF
LOT AREA: LOT COVERAGE:	54,600 SF 50%
PARKING REQUIREMENT (CLEAN TECH): OFFICE AREA: WAREHOUSE AREA:	15 (1/300 SF) 15 (1/2000 SF)
	30 TOTAL REQUIRED, 34 PROVIDED ON SITE.

PROJECT SCOPE OF WORK

- TENANT IMPROVEMENT WITH LIMITED SCOPE TO:**
- MERGE STORAGE ROOM 111 WITH CONFERENCE ROOM 110.
 - MERGE OFFICE 121 AND 122 TO TURN INTO CONFERENCE ROOM 120.
 - RELOCATE DOORS AT THE CONFERENCE ROOM 110 AND 120.
 - REMOVE NON-LOAD BEARING WALL AT KITCHEN
 - INSTALL ELECTRICAL OUTLETS AT THE OFFICE AREA.
 - INSTALL EQUIPMENT AT THE OPEN WAREHOUSE AREA.
 - INSTALL OUTLET FOR POWER SUPPLY TO EQUIPMENT.
 - INSTALL EXHAUST FAN FOR EQUIPMENT - REFER TO MECH PLAN.
- SITE - INSTALL NEW 6' HEIGHT FENCING ALONG THE SOUTH PROPERTY LINE.**

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- ~~2022 CALIFORNIA RESIDENTIAL CODE~~
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 EDITION OF THE TITLE 24 STANDARDS
- CITY CODES AND ORDINANCES

SIGNAGE - GENERAL

- SIGNS:** WHEN SIGNS AND/ OR IDENTIFICATION DEVICES ARE PROVIDED THEY SHALL COMPLY WITH CBC SECTION 11B-216 AND SECTION 11B-703
- A. IDENTIFICATION SIGNS SHALL COMPLY WITH ALL REQUIREMENTS, DIRECTION AND INFORMATION SIGNS SHALL COMPLY WITH FINISH, PROPORTIONS, AND CHARACTER HEIGHT. ACCESSIBILITY SIGNS SHALL COMPLY WITH FINISH AND CONTRAST
- B. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES OF ALL SIGNAGE FOR REVIEW BY THE OWNER, ARCHITECT

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SAN JOSE, CA 95112

TENANT & SITE IMPROVEMENT

PARCEL NO: 42-4548-4

111 S. MAPLE AVE.
SOUTH SAN FRANCISCO, CA 94080

DRAWING SUBMITTAL SCHEDULE

2024.05.23 PROGRESS SET

PROJECT INFO.

A-001

TENANT & SITE IMPROVEMENT

PARCEL NO: 42-4548-4

111 S. MAPLE AVE.
SOUTH SAN FRANCISCO, CA 94080

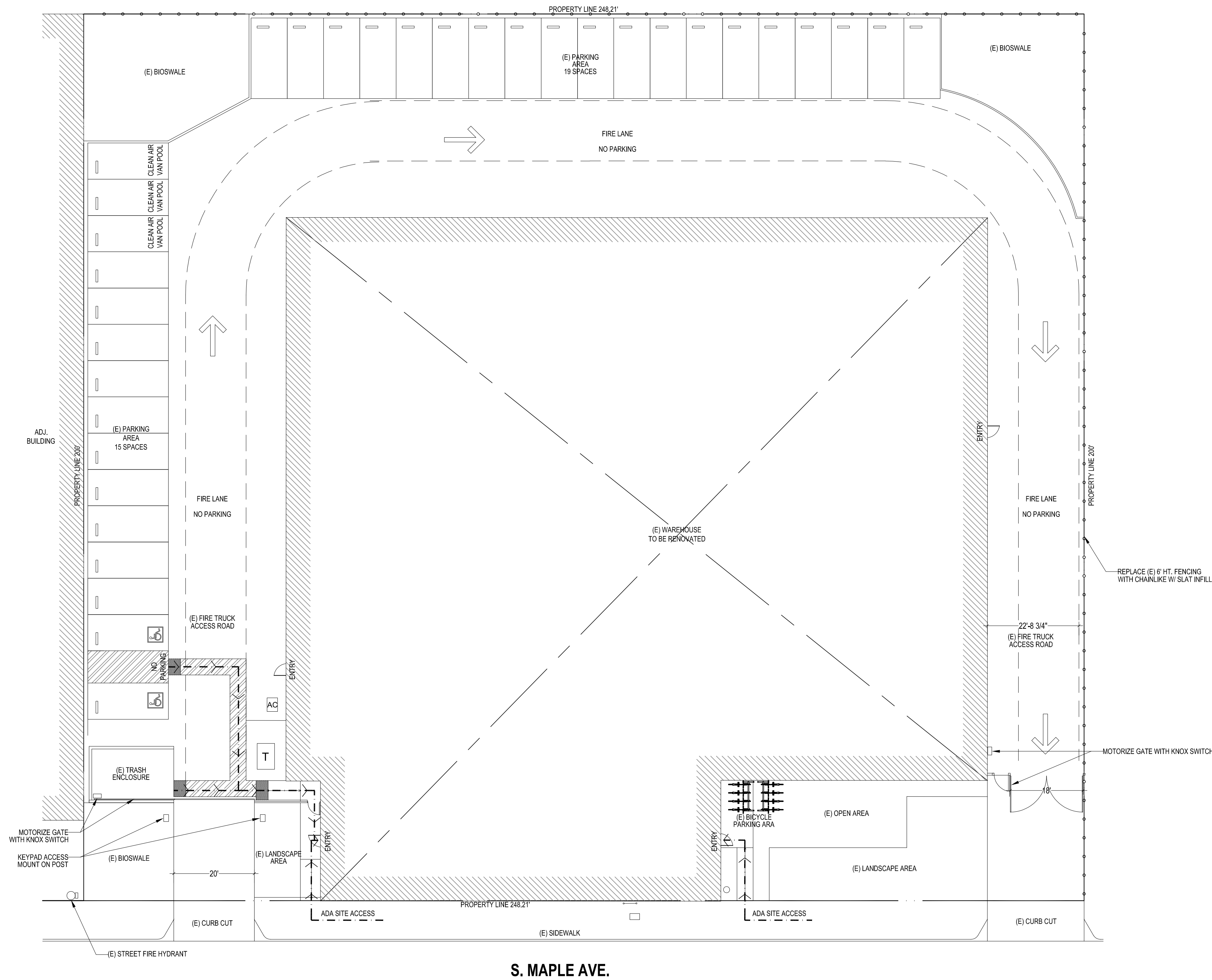
DRAWING SUBMITTAL SCHEDULE

2024.06.14 MINOR USE PERMIT APPLICATION
2024.07.24 PLAN CHECK SUBMITTAL

PROJECT NO: -

SITE PLAN

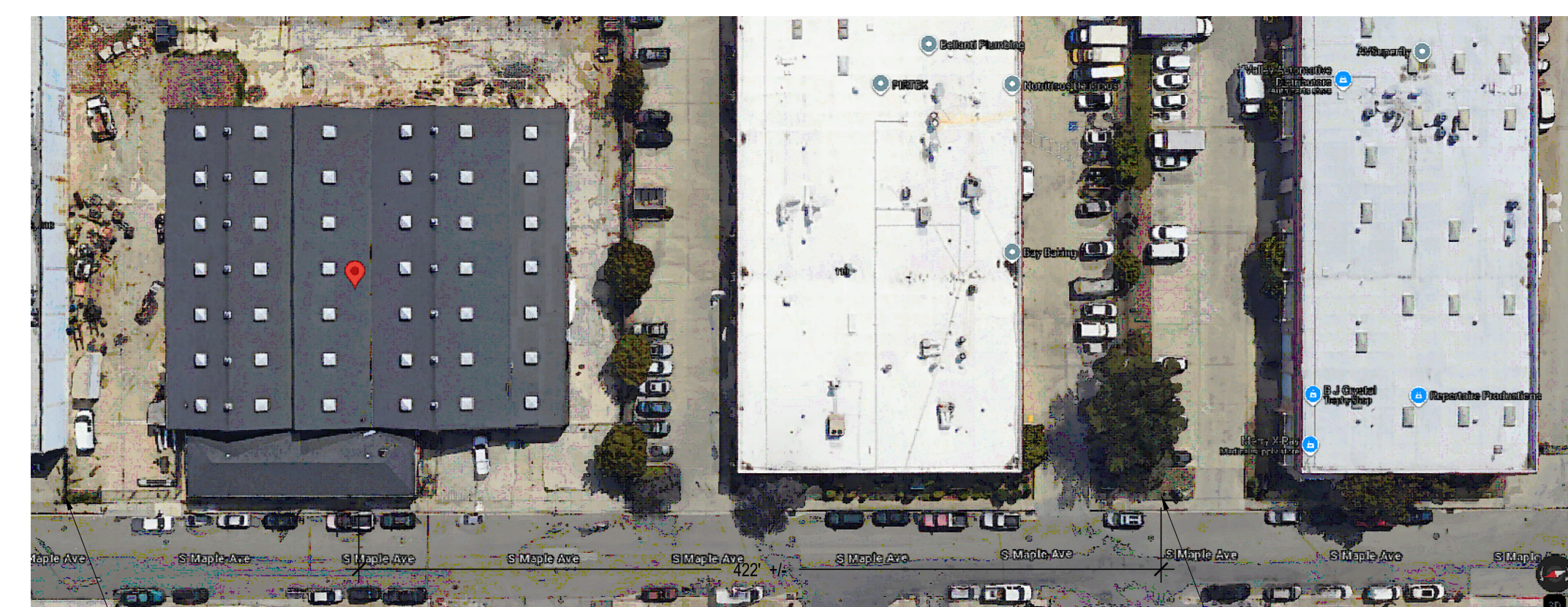
A-101



TOTAL NO. OF PARKING SPACES PROVIDED ON SITE: 34

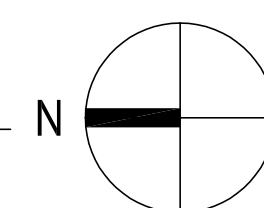
TOTAL NO. OF REQUIRED SPACE FOR CLEAN TECH: 30
OFFICE AREA: 15 REQUIRED
WAREHOUSE AREA: 15 REQUIRED

LOT AREA: 54,600 SF
BUILDING AREA: 27,268 SF
LOT COVERAGE: 50%



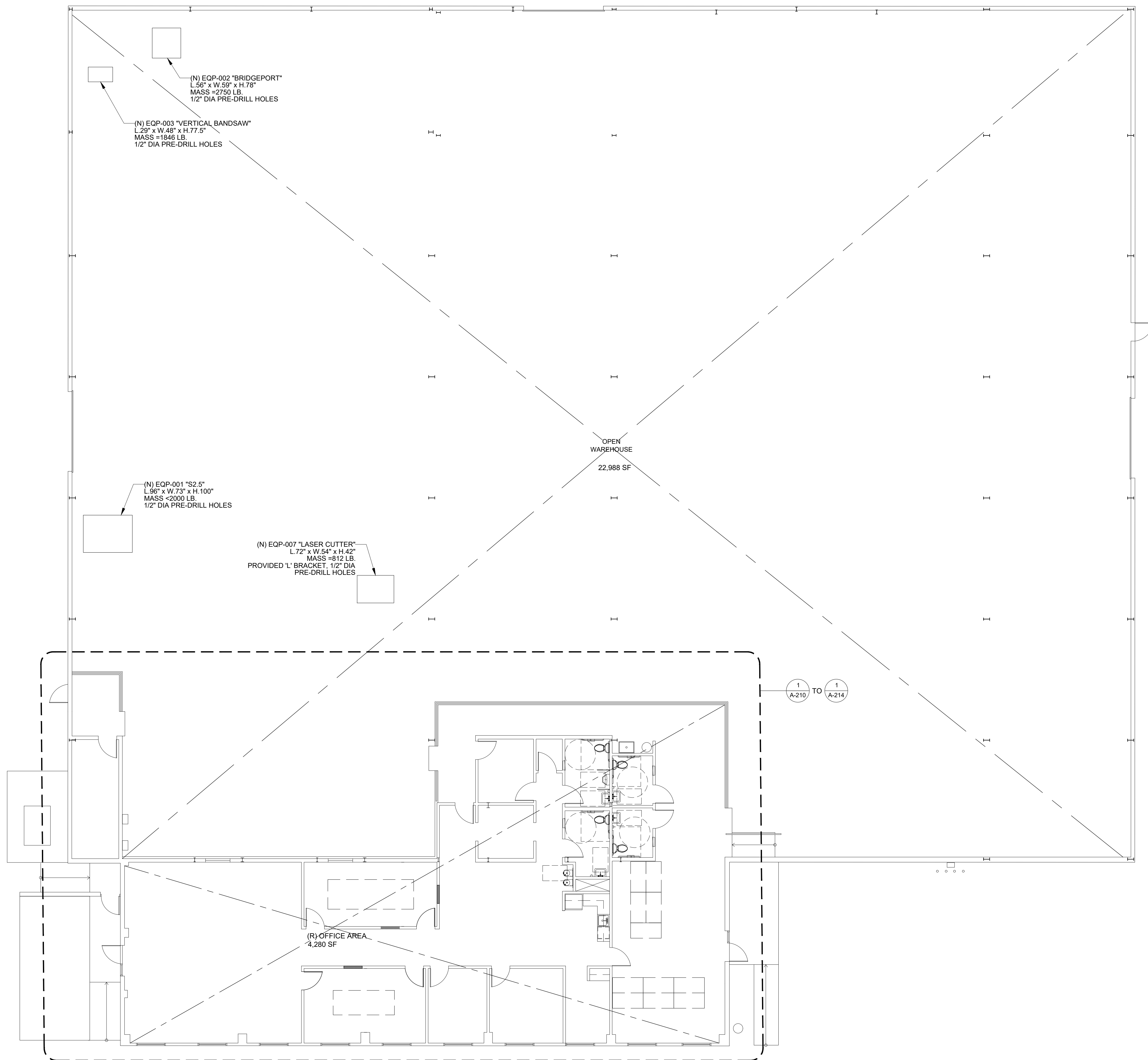
1 SITE PLAN

SCALE: 1/16"=1'-0"

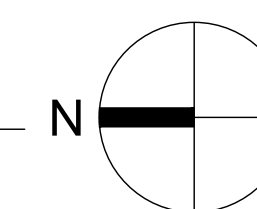


2 VICINITY MAP

NOT TO SCALE



1 OVERALL PROPOSED FLOOR PLAN
SCALE: 1/8"=1'-0"



**TENANT & SITE
IMPROVEMENT**

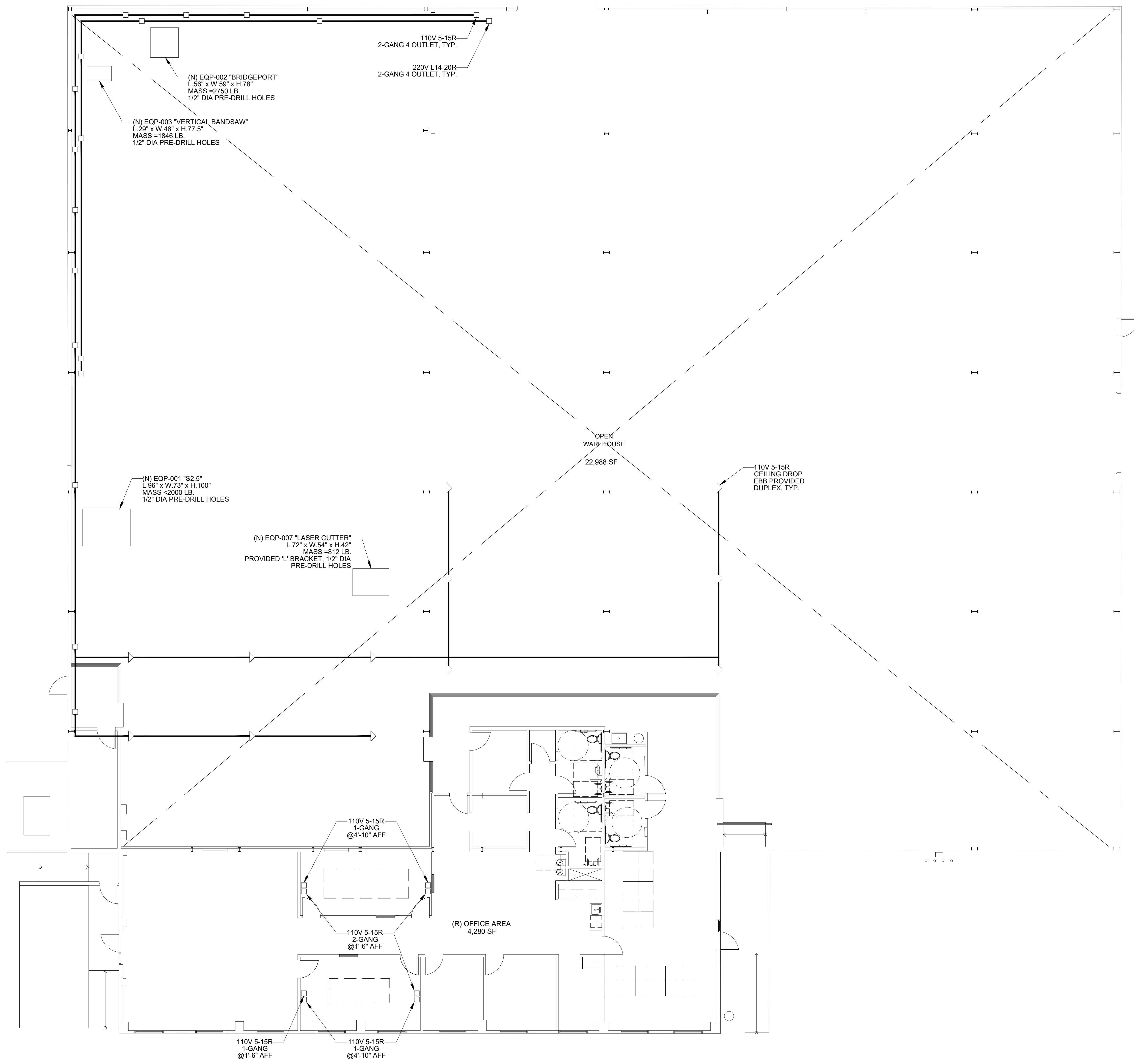
PARCEL NO: 42-4548-4

111 S. MAPLE AVE.
SOUTH SAN FRANCISCO, CA 94080

DRAWING SUBMITTAL SCHEDULE
2024.06.14 MINOR USE PERMIT APPLICATION

PROJECT NO: -

**OVERALL
PROPOSED FLOOR PLAN**



LEGEND:

- WALL MOUNT OUTLET
- ▷ CEILING DROP OUTLET
- ELEC. CONDUIT

TENANT & SITE IMPROVEMENT

PARCEL NO: 42-4548-4

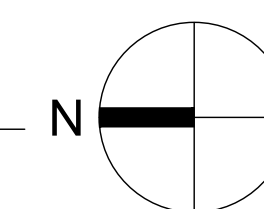
111 S. MAPLE AVE.
SOUTH SAN FRANCISCO, CA 94080

DRAWING SUBMITTAL SCHEDULE
2024.06.14 MINOR USE PERMIT APPLICATION

PROJECT NO: -

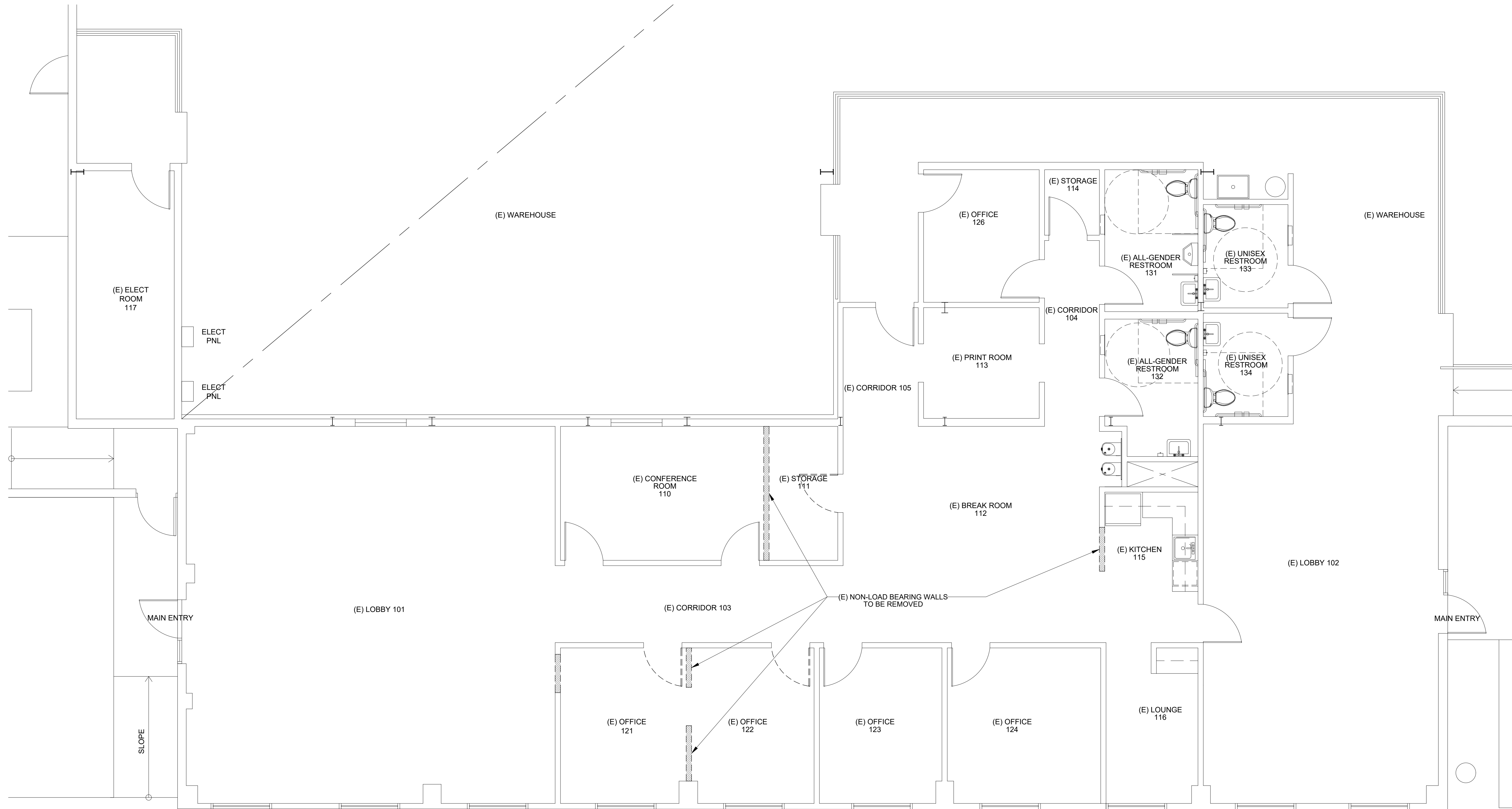
OVERALL PROPOSED POWER LOCATIONS PLAN

1 OVERALL PROPOSED POWER LOCATIONS PLAN
SCALE: 1/8"=1'-0"

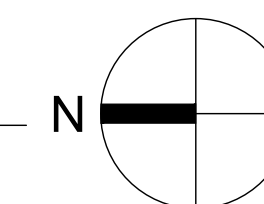


WALL LEGEND

- (E) WALL TO REMAIN
- (E) TO BE DEMOLISHED
- (E) WALL TO BE DEMOLISHED



1 EXISTING / DEMO FLOOR PLAN - OFFICE AREA
SCALE: 1/4"=1'-0"



TENANT & SITE IMPROVEMENT

PARCEL NO: 42-4548-4

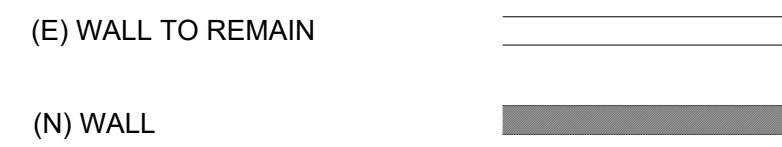
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SOUTH SAN FRANCISCO, CA 94080

DRAWING SUBMITTAL SCHEDULE
2024.06.14 MINOR USE PERMIT APPLICATION

PROJECT NO: -

EXISTING / DEMO
FLOOR PLAN
- OFFICE AREA

WALL LEGEND



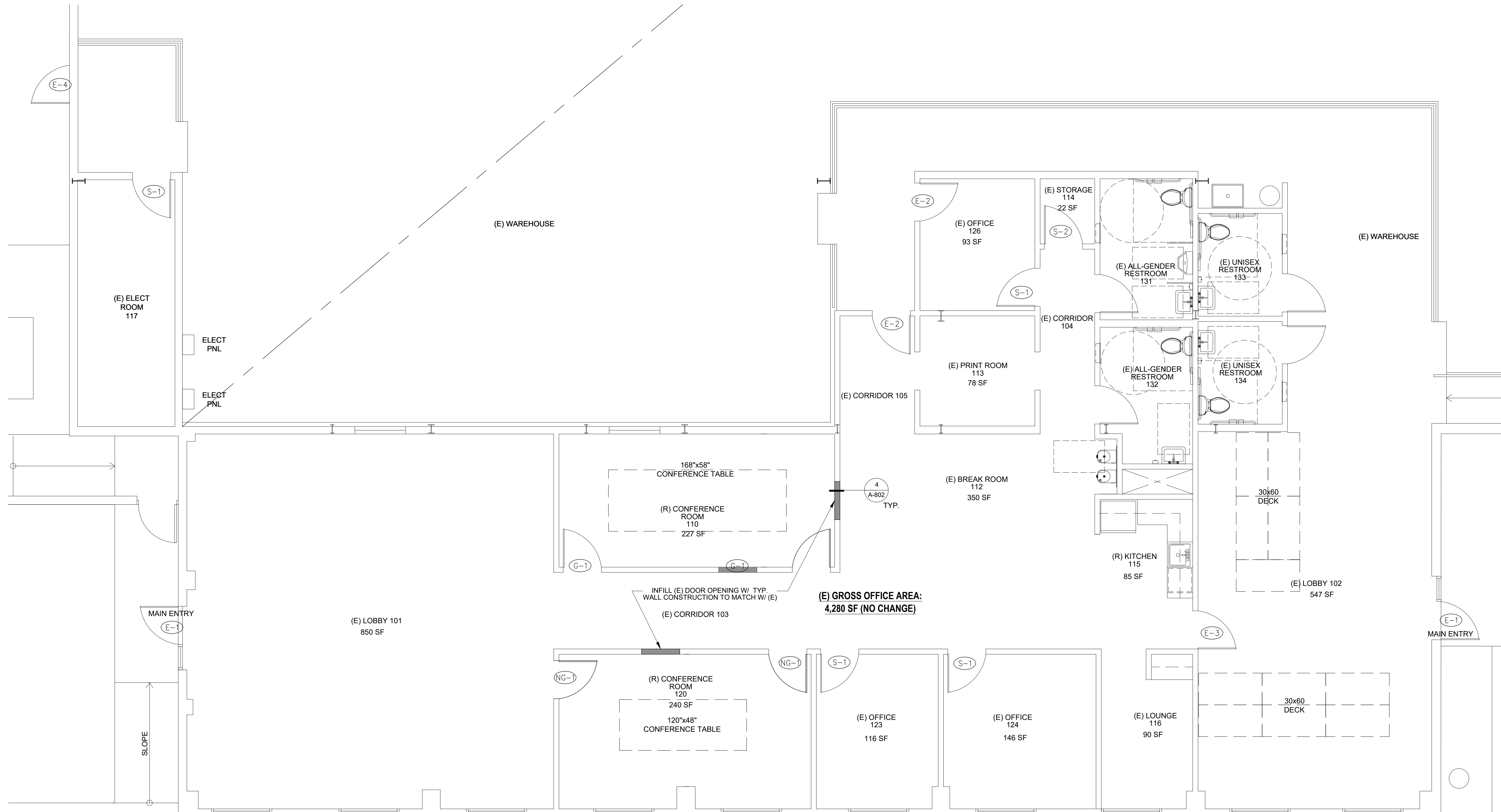
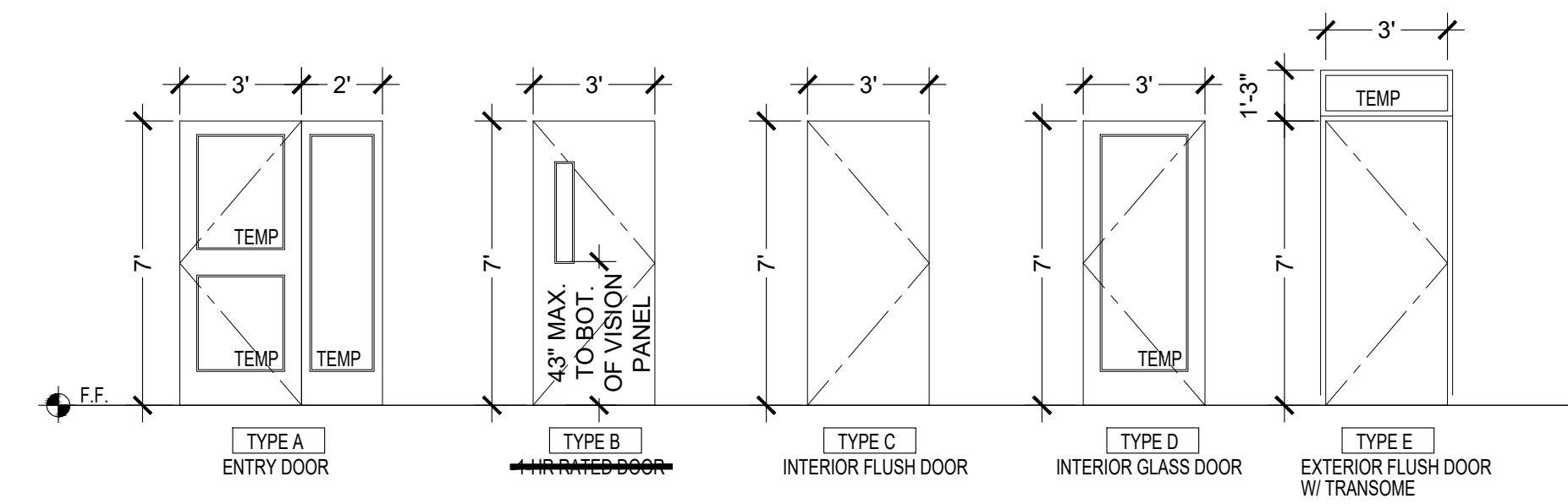
LEGEND



DOOR SCHEDULE

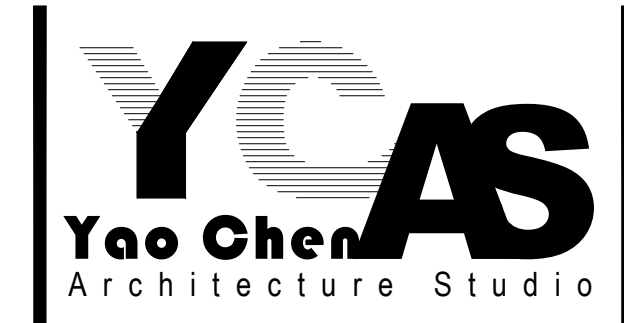
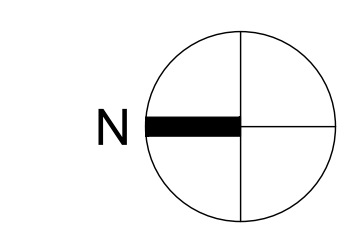
NAME	NEW	EXISTING	SIZE (W x H)	FIRE-RATING	DOOR TYPE	FRAME	DOOR	REMARK
NG-1	X		3'-0" X 7'-0"	-	D	ALUM	ALUM/ GL	DOOR STOP, CYLINDRICAL LOCK
G-1		X	3'-0" X 7'-0"	-	D	ALUM	ALUM/ GL	DOOR STOP, CYLINDRICAL LOCK
S-1		X	3'-0" X 7'-0"	-	C	ALUM	SCWD	DOOR STOP, CYLINDRICAL LOCK
S-2		X	3'-0" X 7'-0"	-	C	ALUM	SCWD	DOOR STOP, CYLINDRICAL LOCK, DOOR SELF-CLOSER
E-1		X	3'-0" X 7'-0"	-	A	ALUM	ALUM/ GL	CYLINDRICAL LOCK, PUSH BAR, DOOR SWEEP, WEATHERSTRIPPING, THRESHOLD, SELF-CLOSER
E-2		X	3'-0" X 7'-0"	-	B	ALUM	SCWD/ GL	CYLINDRICAL LOCK, DOOR SWEEP, THRESHOLD, SELF-CLOSER
E-3		X	3'-0" X 7'-0"	-	B	ALUM	SCWD/ GL	CYLINDRICAL LOCK, PUSH BAR, DOOR SWEEP, THRESHOLD, SELF-CLOSER
E-4		X	3'-0" X 7'-0"	-	E	HM	HM/ GL	CYLINDRICAL LOCK, PUSH BAR, DOOR SWEEP, THRESHOLD, SELF-CLOSER

SCWD - SOLID CORE WOOD DOOR HM - HOLLOW METAL ALUM - ALUMINUM STL - STEEL GL - GLASS
 TEMP - TEMPERED GLASS
 *ALL DOORS HEAD HEIGHT 7'-0", U.O.N
 *TEMP GLASS TO HAVE PERMANENT LABEL



(E) GROSS OFFICE AREA:
4,280 SF (NO CHANGE)

1 PROPOSED FLOOR PLAN - OFFICE AREA
SCALE: 1/4"=1'-0"



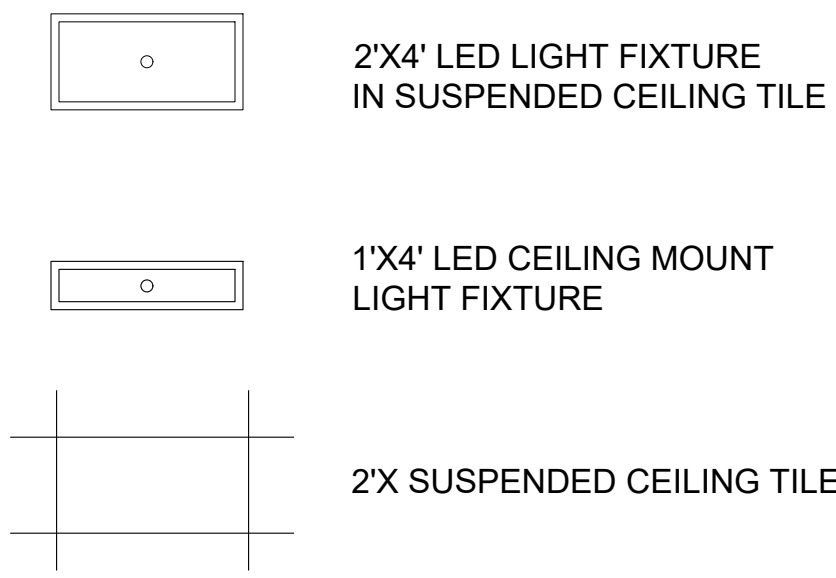
987 CORPORATE WAY,
FREMONT, CA 94539
510.613.3223
Email: ychen@ycarchstudio.com

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 APPLICANT:
 C&J CONTRACTING, INC
 331 COMMERCIAL ST.
 SAN JOSE, CA 95112

TENANT & SITE
IMPROVEMENT
 PARCEL NO: 42-4548-4
 111 S. MAPLE AVE.
 SOUTH SAN FRANCISCO, CA 94080
 DRAWING SUBMITTAL SCHEDULE
 2024.06.14 MINOR USE PERMIT APPLICATION

PROJECT NO: -
 PROPOSED FLOOR
 PLAN - OFFICE AREA

CEILING LEGEND



NOTE:

ALL CEILINGS ARE 9'-0" HEIGHT, U.O.N
REFER TO DETAIL 6/A-803 FOR T-BAR CEILING SUPPORT
AND ATTACHMENT.



**TENANT & SITE
IMPROVEMENT**

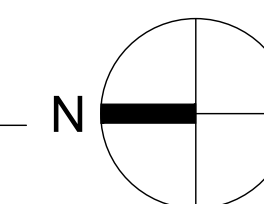
PARCEL NO: 42-4548-4

111 S. MAPLE AVE.
SOUTH SAN FRANCISCO, CA 94080

DRAWING SUBMITTAL SCHEDULE
2024.06.14 MINOR USE PERMIT APPLICATION

PROJECT NO. -

**PROPOSED RCP -
OFFICE AREA**



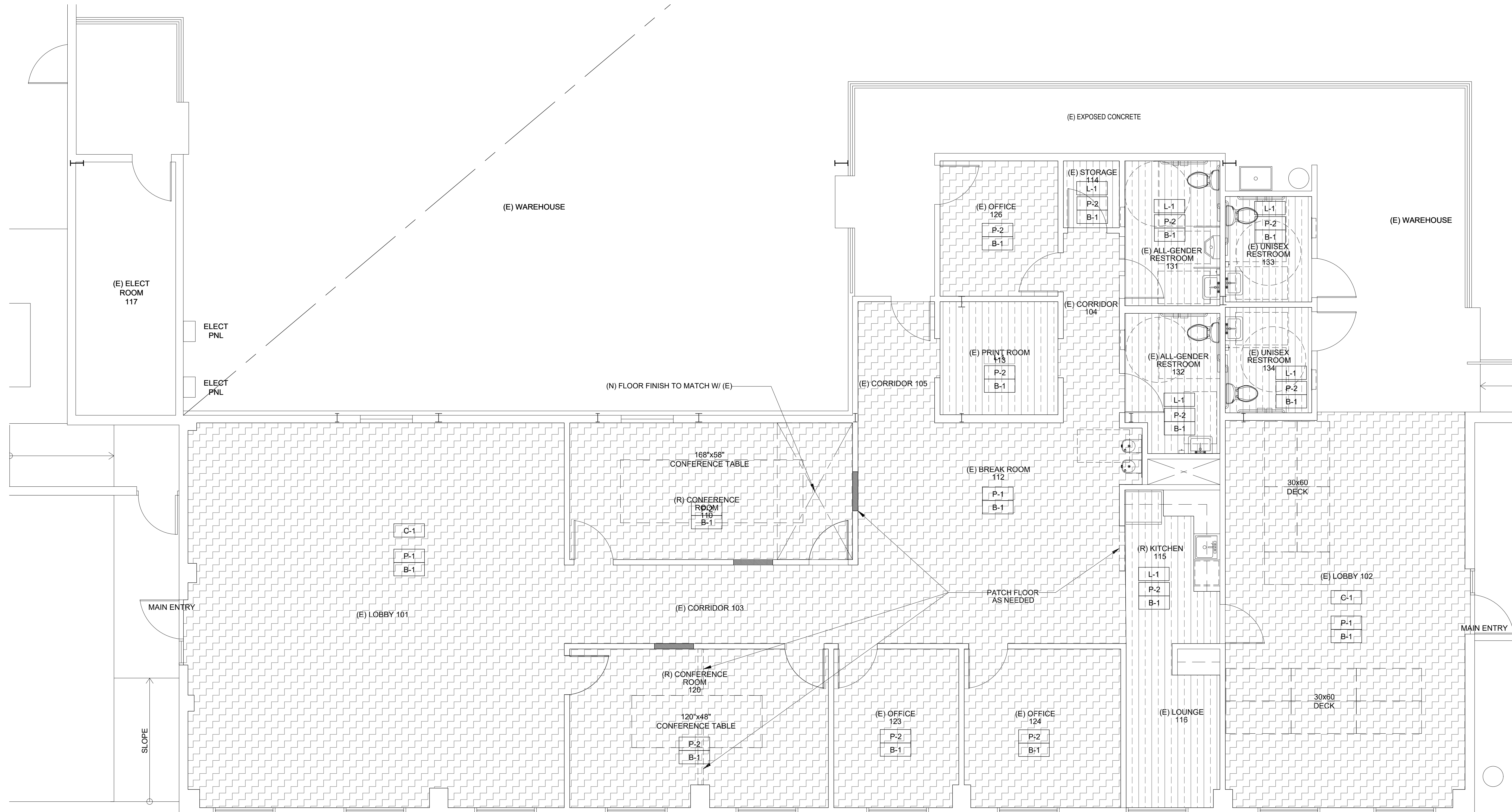
FLOOR FINISH LEGEND

- C-1 24"x24" CARPET TILE
- L-1 SHEET VINYL

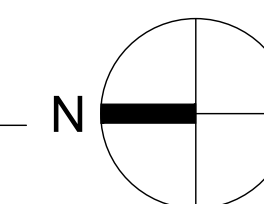
WALL FINISH LEGEND

- P-1 PAINT OVER DRYWALL, COLOR 1
- P-2 PAINT OVER DRYWALL, COLOR 2
- T-1 FRP, 60" AFF.
- B-1 4" RUBBER COVE BASE

ALL SPEC FINISH MATERIAL TO PASS CLASS B SMOKE AND FIRE RATING.



1 PROPOSED FINISH FLOOR PLAN - OFFICE AREA
SCALE: 1/4"=1'-0"



TENANT & SITE
IMPROVEMENT

PARCEL NO: 42-4548-4






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DRAWING SUBMITTAL SCHEDULE
2024.06.14 MINOR USE PERMIT APPLICATION

PROJECT NO: -

PROPOSED
FINISH FLOOR PLAN -
OFFICE AREA

LEGEND:

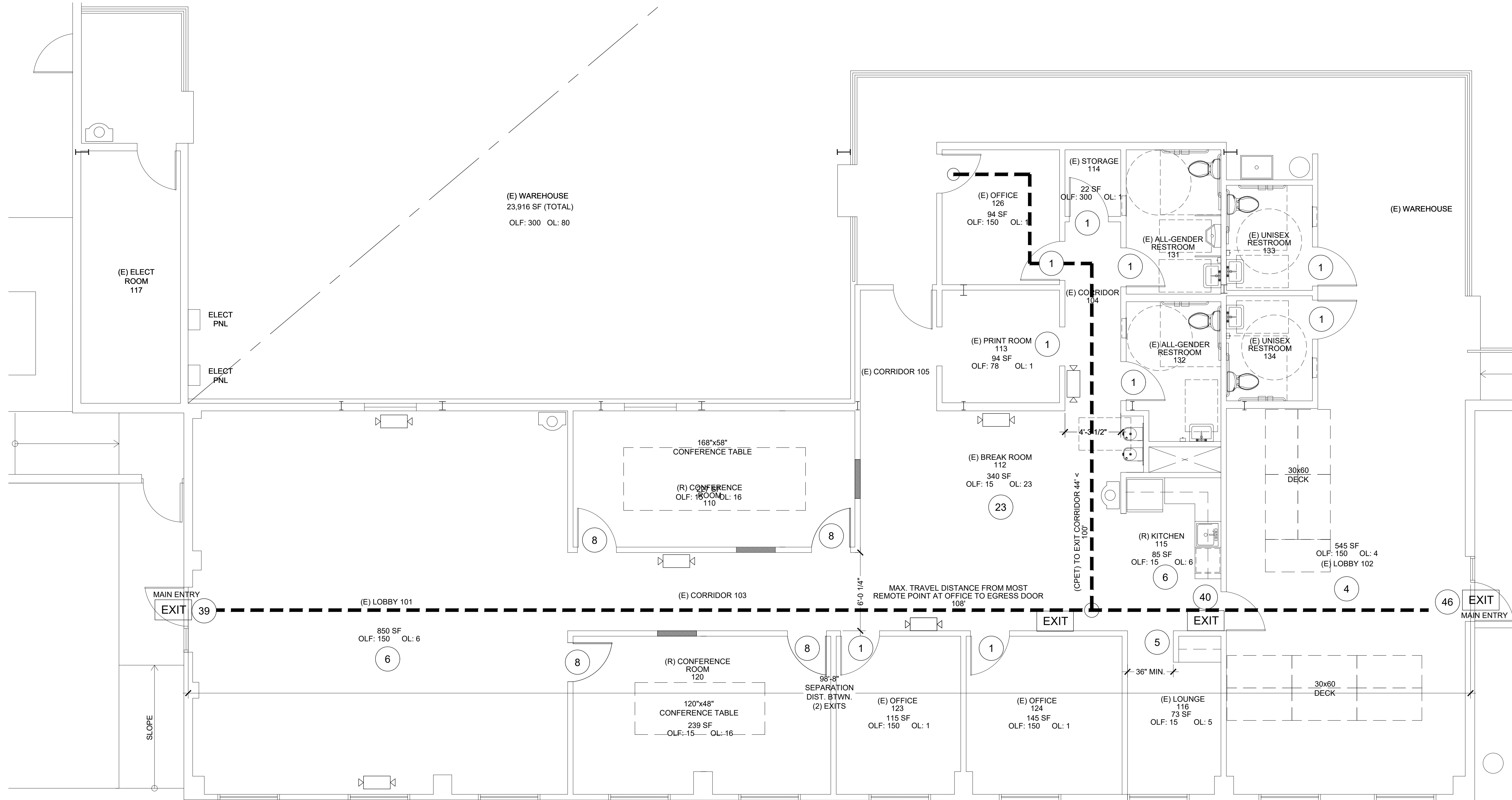
-  EMERGENCY EGRESS PATH OF TRAVEL
-  CEILING MOUNT INTERIOR LED EXIT SIGN AND LIGHT W/ BATTERY & EMERGENCY LIGHT HEADS
-  INTERIOR EMERGENCY EXIT LIGHT WITH BATTERY BACK-UP, BATTERY BACK UP DURATION TO BE NOT LESS THAN 90 MINUTES PER CBC 1008.3.4.
-  OCCUPANCY LOAD
MAX TRAVEL DISTANCE TO EXIT FOR GROUP B, F AND S OCCUPANCY IS 75 FEET.
-  FIRE EXTINGUISHER - WALL MOUNTED HOOK.
INSTALL WITH A MAX. TRAVEL DISTANCE OF 75 FEET, WITHIN 30 FEET OF COMMERCIAL COOKING EQUIPMENT, IN AREAS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED, USE OR DISPENSED, AND ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION. USE 4-A-80B:C EXTINGUISHERS FOR EXTRACTION ROOMS WITH A MAX. TRAVEL DISTANCE OF 50 FEET.

EGRESS CALCULATIONS:

DESIGN OCCUPANT LOAD PER CBC SECTION 1004.1 & TABLE 1004.5
 MEANS OF EGRESS SIZING PER CBC SECTION 1005.1 & 1005.3.2 = OCCUPANT LOAD X 0.2 INCHES

FOR OFFICE:
 TOTAL OCCUPANT LOAD: 85
 85 X 0.2 = 17 INCHES REQUIRED EGRESS
 72 INCHES PROVIDED WITH 2 EXIT DOORS AT 36 INCHES.

FOR WAREHOUSE:
 TOTAL OCCUPANT LOAD: 80
 80 X 0.2 = 16 INCHES REQUIRED EGRESS
 PROVIDED 3 ROLL-UP GATES AND 2 MAN DOORS AT 36 INCHES.



TENANT & SITE IMPROVEMENT

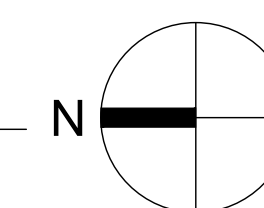
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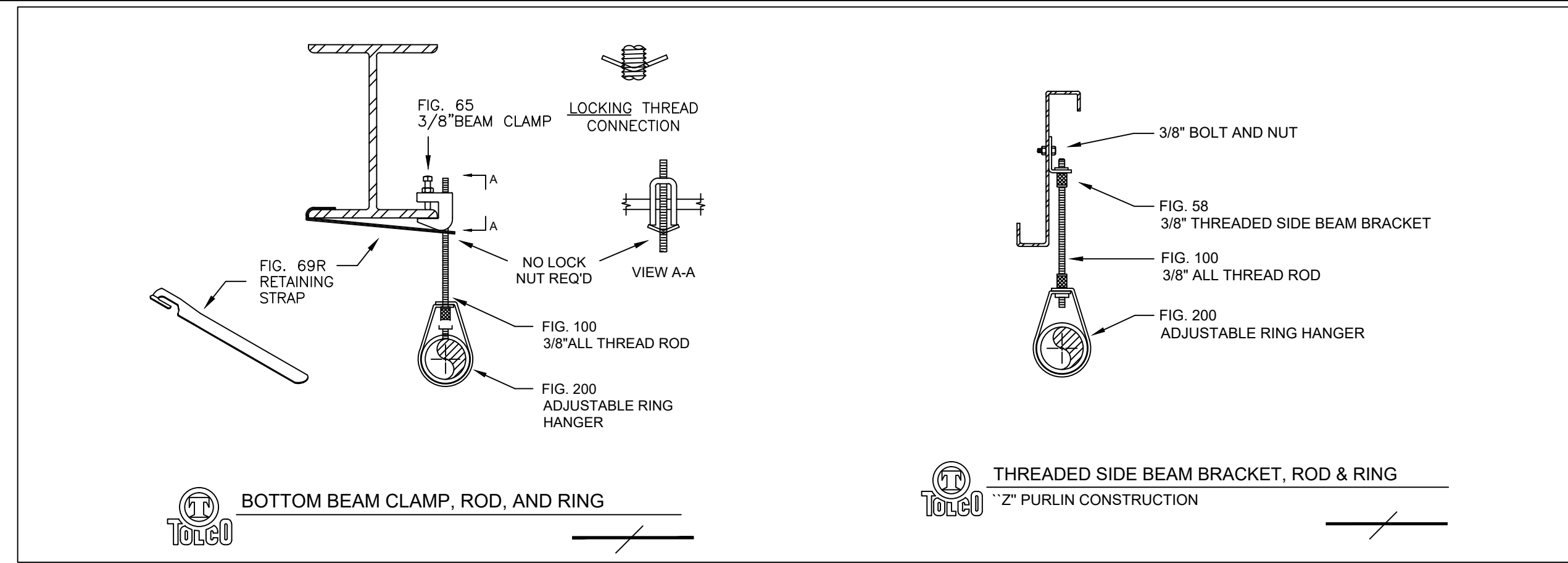
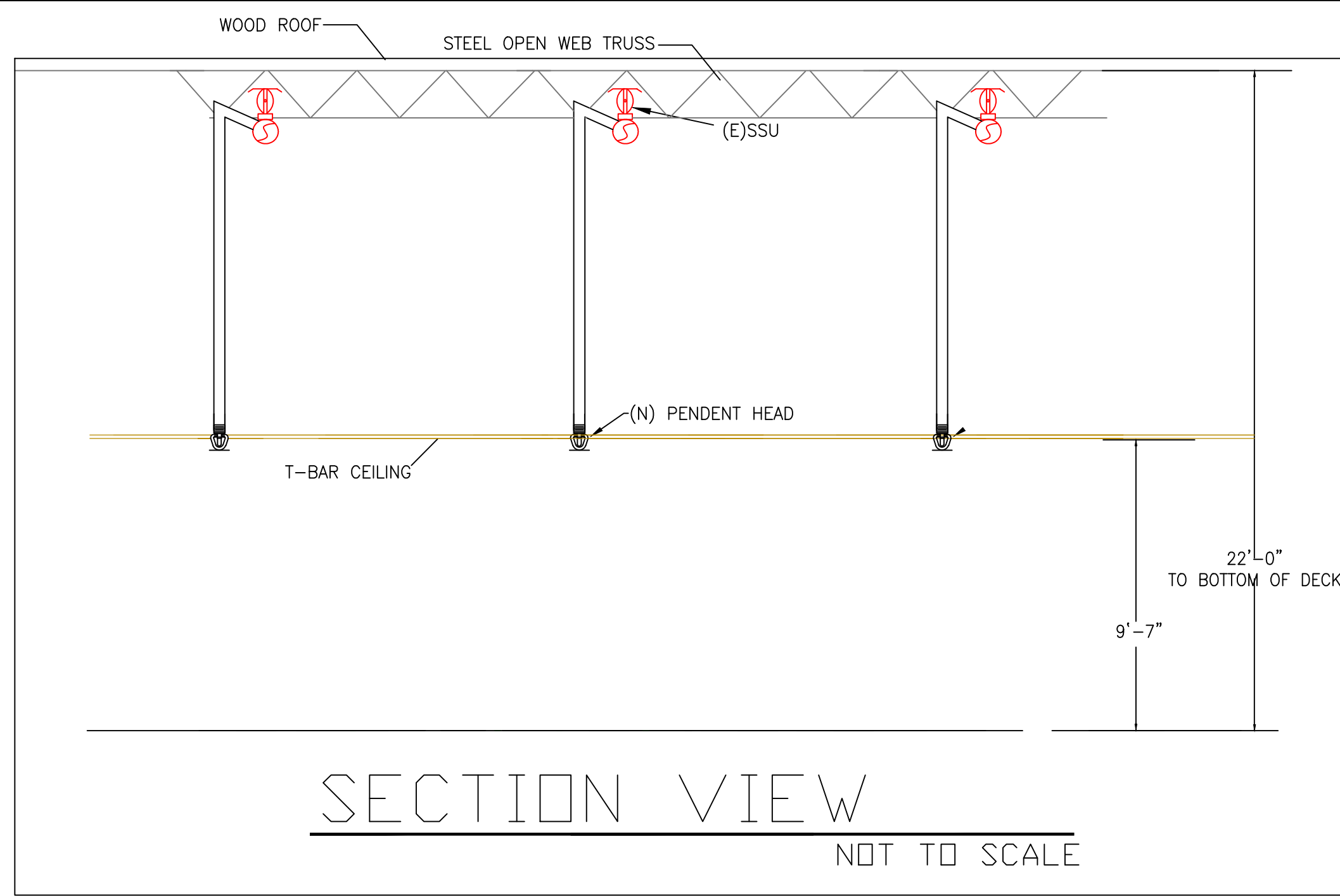
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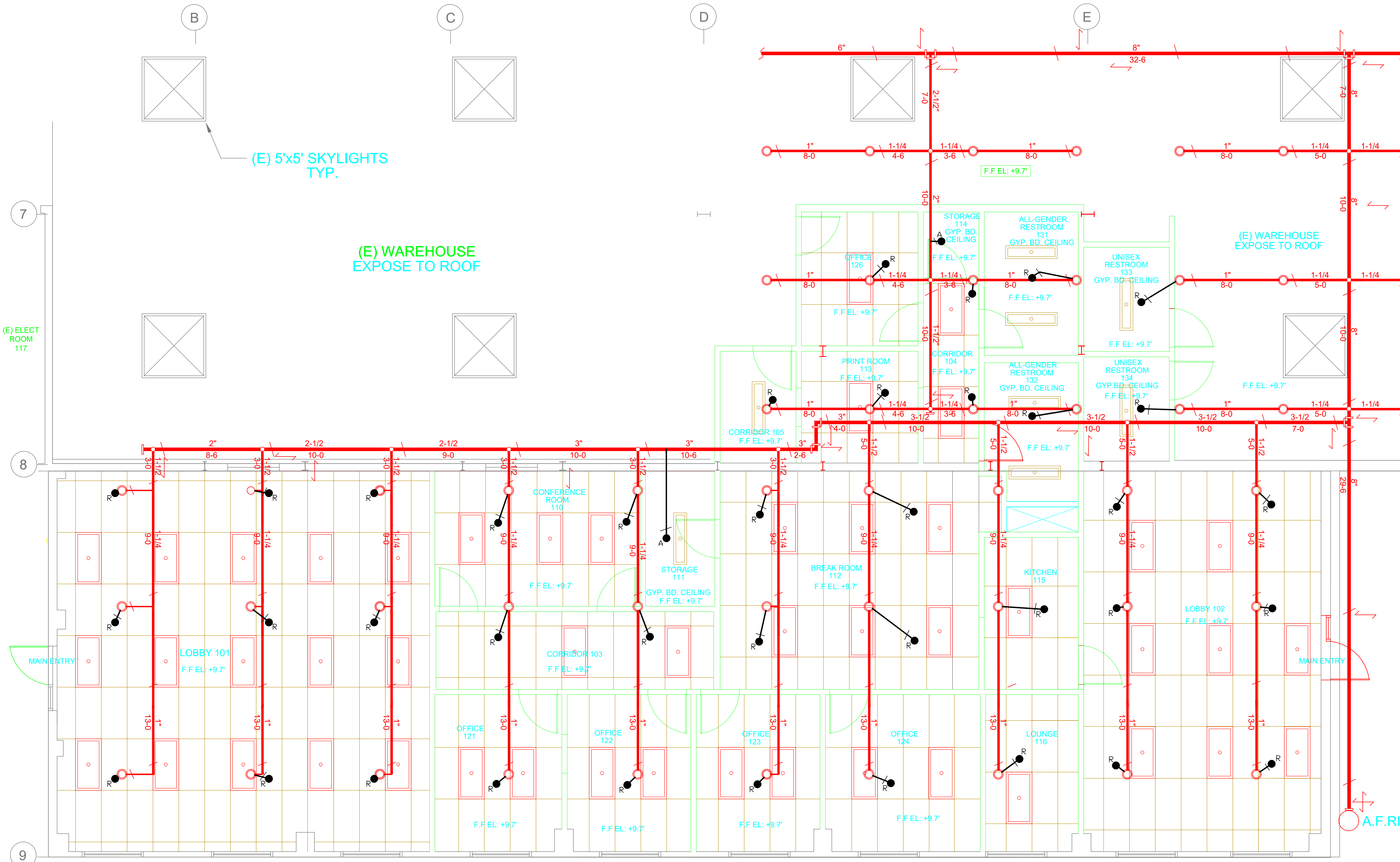
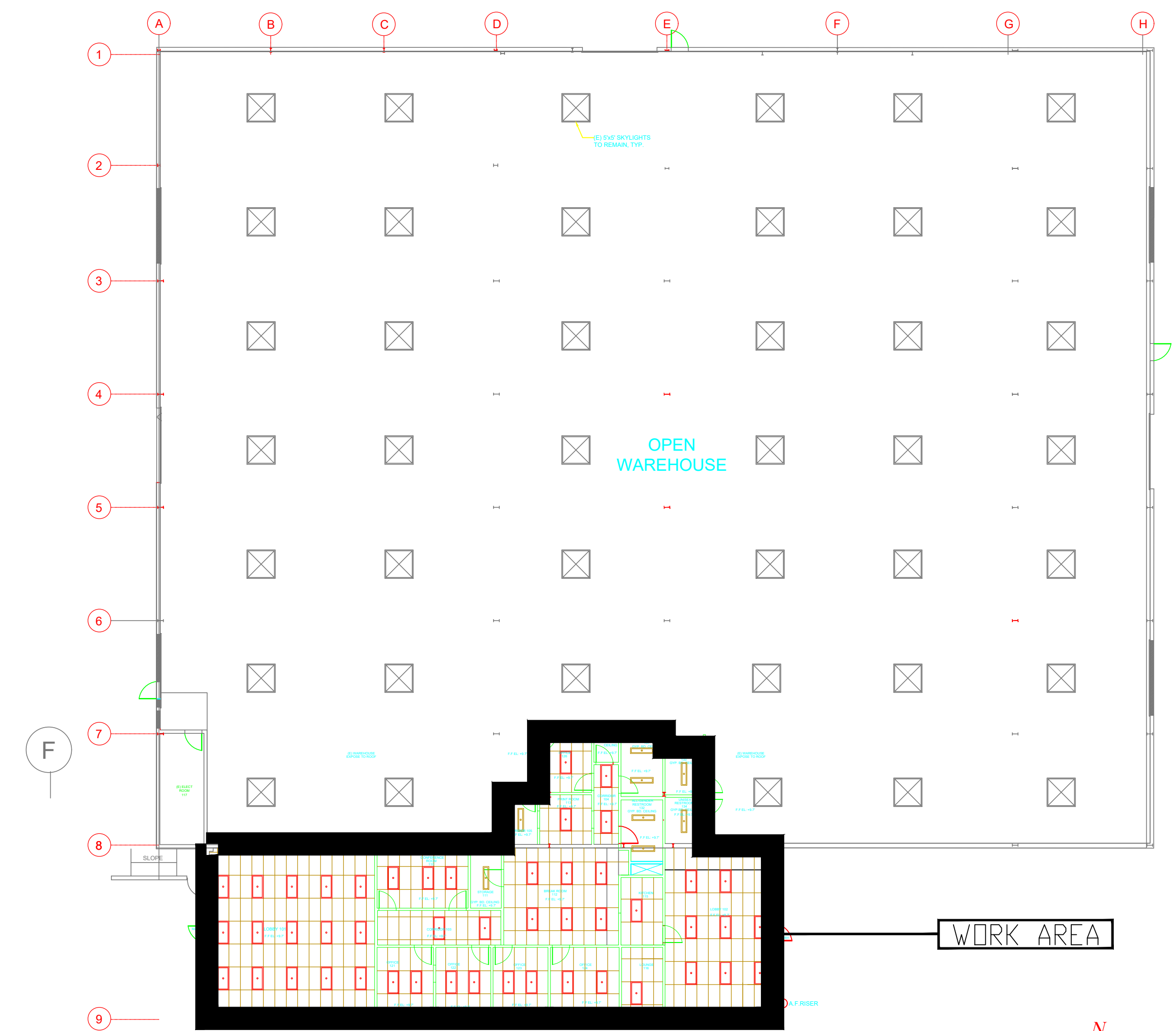
FIRE AND LIFE SAFETY PLAN





MAXIMUM DISTANCE BETWEEN HANGERS										
NOMINAL PIPE SIZE (in.)	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	3-1/2"	4"	6"
MAX. HANGER SPACING	N/A	12-0	12-0	15-0	15-0	15-0	15-0	15-0	15-0	15-0

HANGER ROD SIZES										
NOMINAL PIPE SIZE (in.)	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	3-1/2"	4"	6"
HANGER ROD SIZE	N/A	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	1/2"



KEY BLDG. PLAN
N.T.S.

WALL LEGEND

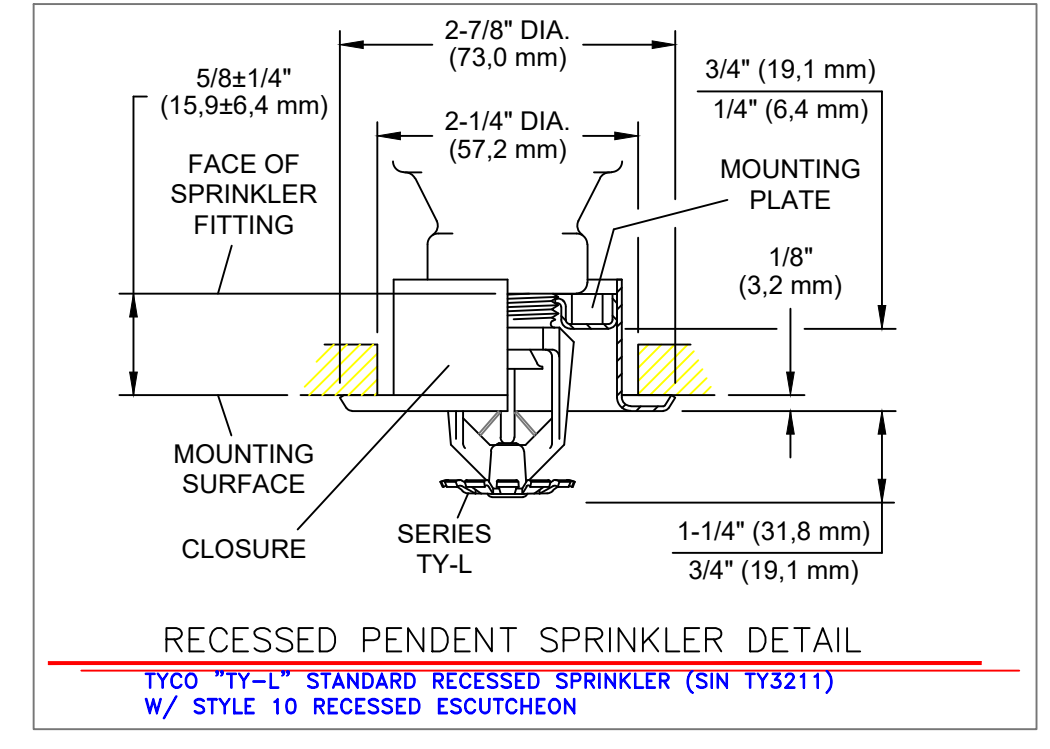
(E) EXTERIOR WALL	=====
(N) NEW CHAMBER WALL	=====

**HYDROSTATIC TEST
REQUIRED
200 PSI FOR 2 HOURS**

**CITY OF SOUTH SAN FRANCISCO
FIRE DEPARTMENT
APPROVED
PERMIT NO. F22-1534**

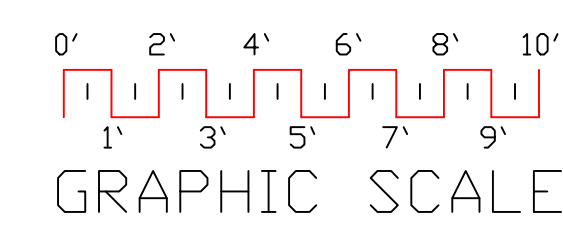
This set of plans and specifications SHALL be kept on the job site at all times for contractor's use during construction and readily available to City Fire Inspectors. It is unlawful to make any changes or alterations on these same plans without permission and approval from the Fire Prevention Division. Approval of these plans and specifications SHALL NOT be held to permit or to be an approval to violate any provisions of any City or State law.

BY: *[Signature]* 11/08/2022



- GENERAL NOTES
- OCCUPANCY
LIGHT HAZARD - LOBBY-OFFICE-RESTROOM-HALLWAY-CONF ROOM
ORDINARY HAZARD - KITCHEN-STORAGE ROOM-BREAKROOM
 - INSTALLATION SHALL CONFORM TO THE 2016 EDITION OF NFPA 13 AND LOCAL AUTHORITIES
 - HANGERS & SWAY-BRACING SHALL ALSO BE CONSIDERED A PART OF THE ABOVE STANDARD.
 - ALL MATERIAL TO BE NEW AND FREE FROM DEFECTS
 - SPRINKLER HEAD LOCATIONS ARE TO BE INSTALLED CENTER OF TILE
 - EXISTING SYSTEM IS SCHEDULED DESIGNED
 - MAXIMUM HEAD SPACING TO BE 225 SQ FT FOR LIGHT HAZARD
MAXIMUM HEAD SPACING TO BE 130 SQ FT FOR ORDINARY HAZARD
 - KEEP AREA OPEN FOR FIRE DEPT INSPECTION.
 - SCOPE- RELOCATE 38 & ADD 2 PENDENT HEADS FOR (N) T.I.

- DENOTES --- 3/8" SIDE B.B. ROD AND RING HANGER
- DENOTES --- 3/8" ROT. B.B. ROD AND RING HANGER
- DENOTES --- OUTLET FACING UP
- DENOTES --- OUTLET FACING DOWN
- DENOTES --- EXISTING PIPING
- DENOTES --- NEW PIPING
- DENOTES --- (E) LATERAL BRACE
- DENOTES --- (E) LONGITUDINAL BRACE



MANUF.	TYPE	TEMP.	QUANTITY
TYCO	155°	38	
TYCO	ADD 1/2" MDL TY-FRP SSP K-5.6 SINN NO. TYS251	155°	2
TYCO	EXISTING MDL L 55L 1/2" K-5.6 SINN NO. TYS311	212°	
TOTAL THIS SHEET: 40			

NO.	DATE	REVISION

DRAWN BY CURT CARLSON CHECKED BY JOE PIMENTEL DATE 10-23-22 SCALE AS-NOTED

GEN CONTRACTOR C-J CONTRACTING CO. ARCH. S.S.FRAN. FIRE DEPT. PHONE: 650-829-6645

ADDRESS SAN JOSE CA. PHONE: 408-210-8343

THIS DRAWING AND THE DESIGN IT REPRESENTS SHALL NOT BE DUPLICATED, COPIED, OR DISCLOSED TO OTHERS, EITHER WHOLE OR IN PART, WITHOUT WRITTEN CONSENT GIVEN BY FIRE-STOP SPRINKLER COMPANY TO THE RECIPIENT.

JOB TITLE: **TENANT IMPROVEMENTS**
111 SOUTH MAPLE AVE.
SOUTH SAN FRANCISCO, CA

DESCRIPTION: **TENANT IMPROVEMENT**

FIRE STOP SPRINKLER COMPANY
37530 ENTERPRISE COURT
NEWARK, CA 94560 LIC# 16 654789
PHONE: 510 744-1500

JOB NO. 022-206 SHEET NO. 1 OF 1