

BAY AREA SPORT HOUSE

147 BEACON ST.

SAN FRANCISCO, CA 94008

PROJECT:

TENANT
IMPROVEMENT

FOR

JJSLJ LLC

XIE ASSOCIATES, INC
Architectural Design & Planning

26 FARVIEW CT
SAN FRANCISCO, CA 94131
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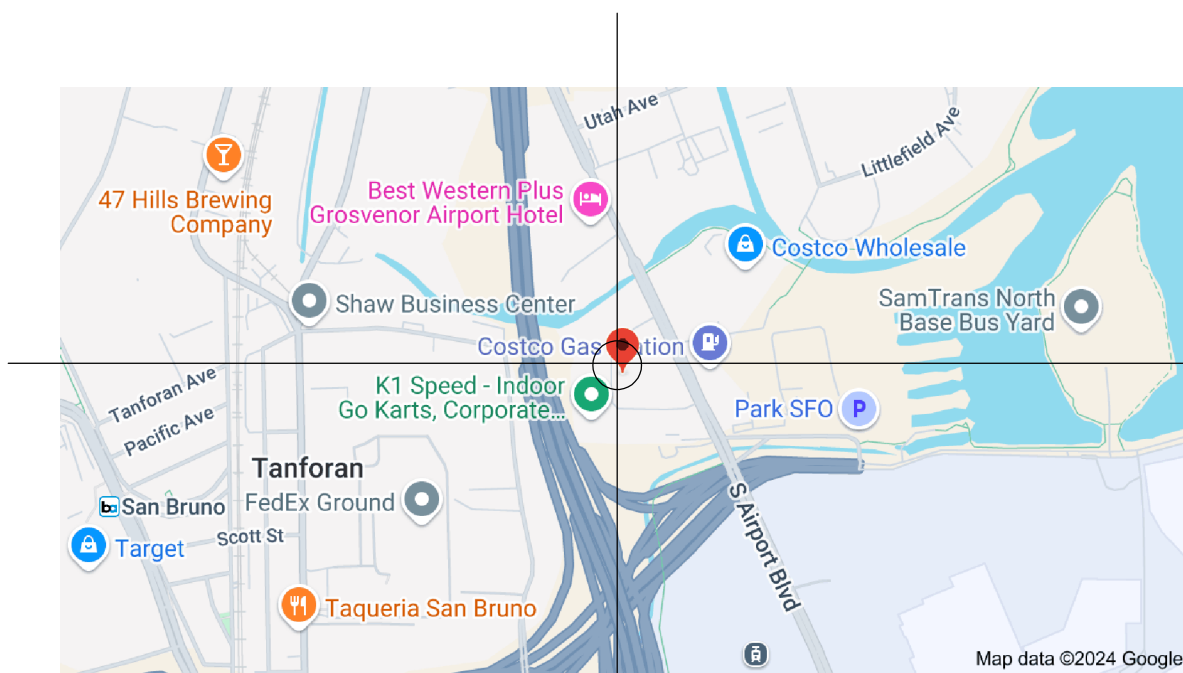
ABBREVIATIONS										PLUMBING FIXTURE COUNT							SCOPE OF WORK		PROJECT INFORMATION	
AFF	ABOVE FINISH FLOOR	EA	EACH	KIT	KITCHEN	RESIL	RESILIENT	USE/AREA		FLR AREA	FACTOR	OCCUPANT	LOAD	WATER	CLO.	LAVATORY	URINAL	DRINKING F	1. TENANT IMPROVEMENT, REMODEL EXISTING WAREHOUSE AND OFFICE TO EXERCISE TRAINING SPACE WITH NEW RESTROOMS, AND VOLLEY/PICKLE BALL COURTS	<p>PROJECT LOCATION: BAY AREA SPORT HOUSE 147 BEACON ST SOUTH SAN FRANCISCO, CA 94008 LOT/BLOCK: 015172090 ZONING: BTP-H BUSINESS TECHNOLOGY PARK-HIGH</p> <p>CODES: CITY AND COUNTY OF SOUTH SAN FRANCISCO, MUNICIPL CODE (CCR) 2022 EDITION, THE CALIFORNIA BUILDING CODE, INCLUDING THE FOLLOWING PARTS:</p> <p>2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BLDG CODE</p> <p>BUILDING CONSTRUCTION TYPE: TYPE V-B, NON-FIRE RATED BASE BUILDING ERRECTED</p> <p>OCCUPANCY CLASSIFICATION: EXISTING BUSINESS SPACE: WAREHOUSE/OFFICE (S/B) PROPOSED BUSINESS USE: OFFICE/EXERCISE TRAINING (B/A)</p> <p>NUMBER OF FLOORS: TOTAL: 1 FLOORS & MEZZANINE REMODEL FLOOR AREA: 28,414 SF</p> <p>FIRE PROTECTION: YES AUTOMATIC SPRINKLERS SYSTEM FOR ENTIRE BUILDING</p> <p>YEAR BUILT: 1914 SEISMIC DESIGN CATEGORY: D</p>
ACOUST	ACOUSTICAL	EW	EACH WAY	KO	KNOCKOUT	RET	RETURN			2561 SF	30	85								
ADJ	ADJUSTABLE	ELEC	ELEVATION			REV	REVISION			611 SF	5000	1								
A/C	AIR CONDITIONING	EMER	EMERGENCY	LAB	LABORATORY	RH	RIGHT HAND													
ALLOW	ALLOWANCE	EQ	EQUAL	LB	LAG BOLT	R	RISER			4,653 SF	200	23								
ALT	ALTERNATE	EQ	EQUIPMENT	LAM	LAMINATE	RD	ROOF DRAIN	EXERCISE TRAINING		10,416 SF	30	347								
ALUM	ALUMINUM	EST	ESTIMATE	LAV	LAVATORY	RM	ROOM													
ANG	ANGLE	EXT	EXHAUST	LT	LIGHT	RO	ROUGH OPENING													
ANOD	ANODIZED	EXP	EXPANSION	LVR	LOUVER	RS	ROUGH SAWN													
APPL	APPLICATION	EXT	EXTERIOR																	
APPROX	APPROXIMATE	FOF	FACE OF FINISH			SS	SANITARY SEWER	TOTAL OCCUPANT LOAD												
ARCH	ARCHITECTURAL	FIN	FINISHED	MB	MACHINE BOLT	SC	SOLID CORD					456								
AC	ASPHALT CONCRETE	FE	FIRE EXTINGUISHER	MH	MANHOLE	SCHD	SCHEDULE					228	3	3	3	1				
		FEC	FIRE EXTINGUISHER CABINET	MFR	MANUFACTURER	SEC	SECTION					228	6	4						
		FLASH	FLASHING	MO	MASONRY OPENING	SHT	SHEET													
BM	BEAM	FL	FLOOR	MAX	MAXIMUM	SM	SHEET METAL	REQUIRED					9	7	3	1				
BET	BETWEEN	FD	FLOOR DRAIN	MECH	MECHANICAL	S&R	SHEET VINYL													
BLK	BLOCK	FS	FLOOR SINK	MTL	METAL	SM	SIMILAR													
BLKG	BLOCKING	FLUOR	FLUORESCENT	MIN	MINIMUM	SC	SOLID CORE													
BD	BOARD	FT	FOOT	MISC	MISCELLANEOUS	SPEC	SPECIFICATION													
BTM	BOTTOM	FTG	FOOTING	MTD	MOUNTED	SQ	SQUARE	PROVIDED					9	7	4	1				
BLDG	BUILDING	FURR	FURRING	MUL	MULLION	STD	STANDARD													
CAB	CABINET					STL	STEEL													
CI	CAST IRON	GA	GAGE, GAUGE			STOR	STORAGE													
CB	CATCH BASIN	GALV	GALVANIZED	(N)	NEW	SD	STORM DRAIN													
CLG	CEILING	GI	GALVANIZED IRON	NOM	NOMINAL	STRUC	STRUCTURAL	FIRE NOTES												
CEM	CEMENT	CSM	GALVANIZED SHEET METAL	NTS	NOT IN CONTRACT	SUSP	SUSPENDED													
CL	CENTERLINE	GL	GLASS, GLAZING	NTS	NOT TO SCALE	SYM	SYMMETRICAL													
CLER	CLEAR, CLEARANCE	GRD	GRADE, GRADING	NO, #	NUMBER															
CL	CLOSET	GYP	GYP SUM			TE	TENANT EXPENSE													
COL	COLUMN	GYP BD	GYP SUM BOARD			TI	TENANT IMPROVEMENT													
CONC	CONCRETE	HDCP	HANDICAPPED	OBS	OBSCURE	THK	THICKNESS	1. ALL BUILDING SHALL PROVIDE PREMISE IDENTIFICATION IN ACCORDANCE WITH SAN FRANCISCO CITY AND COUNTY MUNICIPAL CODE 2. PROVIDE KNOX KEY BOX FOR EACH BUILDING/AREA WITH ACCESS KEYS TO ENTRY DOORS, ELECTRICAL/MECHANICAL ROOMS, ELEVATORS, GATES AND OTHER TO BE DETERMINED.												
CMU	CONC. MASONRY UNIT	HDR	HARDWARE	OC	ON CENTER	TOI	TOILET													
CONT	CONTINUOUS	HND	HARDWOOD	OPNG	OPENING	TPD	TOILET PAPER DISPENSER													
CORR	CORRIDOR	HOR	HEADER	OPP	OPPOSITE	T&G	TONGUE & GROOVE													
		HVAC	HEAT/VENT/AIR COND.	OH	OPPOSITE HAND, OVERHANG	TJ	TOOLED JOINT													
DEMO	DEMOLISH	HT	HEIGHT	OD	OUTSIDE DIAMETER	TOW	TOP OF SLAB	WATER CONSERVATION REQUIREMENT												
DPT	DEPARTMENT	H	HIGH	PR	PAIR	TOS	TOP OF WALL													
DEP	DEPRESSED	HC	HOLLOW CORE	PNL	PANEL	TOW	TOWEL BAR													
DTL	DETAIL	HM	HOLLOW METAL	PTD	PAPER TOWEL DISPENSER	TB	TOWEL BAR													
DIA	DIAGONAL	HORIZ	HORIZONTAL	PRT	PARTITION	TYP	TYPICAL													
DM	DIMENSION	HR	HOUR	PLF	PER LINEAL FOOT	UNF	UNFINISHED	1. PROVIDE MAXIMUM 1.20 GALLONS PER MINTUE FOR LAVATORY FAUCETS 2. PROVIDE MAXIMUM 1.28 GALLONS PER FLUSH FOR NEW TOILETS 4. PROVIDE MAXIMUM 2.2 GALLONS PER MINTUE FOR KITCHEN FAUCETS 5. NEW DISH WASHERS SHALL USE LESS THAN 6.5 GALLONS PER CYCLE, OR BE ENERGY STAR QUALIFIED												
DISP	DISPENSER, DISPOSAL	INCL	INCLUDED	PSF	PER SQUARE FOOT	UON	UNLESS OTHERWISE NOTED													
DIV	DIVISION	ID	INSIDE DIAMETER	PERF	PERFORATED	VB	VAPOR BARRIER													
DBL	DOUBLE																			
DF	DOUGLAS FIR																			
DN	DOWN																			
DS	DOWN SPOUT																			

GENERAL NOTES

- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF THE PLANS FOR BID PURPOSES PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- THE ARCHITECT'S APPROVAL OF SUCH SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM DRAWINGS OR SPECIFICATIONS UNLESS HE HAS (IN WRITING) CALLED THE ARCHITECT'S ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSIONS, NOR SHALL IT RELIEVE HIM OF RESPONSIBILITY FOR ERRORS IN THE SHOP DRAWINGS.
- THE INTENT OF THESE DRAWINGS & SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, PRESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF ALL LOCAL GOVERNING BUILDING CODES AS ADOPTED & AMENDED AND C.A.C. TITLE 24 HANDICAP REQUIREMENTS.
- UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE.
- DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- UNLESS OTHERWISE NOTED OR INDICATED ALL DIMENSIONS ON THE PLANS SHALL BE FROM CENTERLINE OF COLUMN, FACE OF CONCRETE, FACE OF WALL (AT SHAFTS), FACE OF STUD OR FACE OF MULLION.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTOR'S SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS CONTAINED IN THE PUBLIC HEALTH REGULATIONS, STATE DEPARTMENT OF HEALTH ON WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS.
- THE CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING, BARRICADES AND PROTECTIVE MEASURES, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK, AND SHALL BE FULLY RESPONSIBLE FOR SAME.
- CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE ENGINEER OF THE LOCATION OF DISPOSAL SITES. THE DISPOSAL SITE MUST ALSO FULFILL THE REQUIREMENTS OF THE GRADING ORDINANCES.
- ALL UNDERGROUND UTILITIES ARE REQUIRED ON THIS SITE AND SHALL BE UNDERGROUND FROM PROPERTY LINE TO BUILDING.
- BUILDING NUMBER OR ADDRESS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE DEPARTMENT BEFORE THE BUILDING IS OCCUPIED.
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK.
- PROVIDE ALL NECESSARY BLOCKING, BACKING FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT, DRAPERY OR CEILING TRACKS AND ALL OTHER ITEMS REQUIRING SAME.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE.
- FOR BACK BOARDS REQUIRED IN TELEPHONE AND ELECTRICAL EQUIPMENT ROOMS, SEE ELECTRICAL DRAWINGS.
- ROOF COVERING: BUILT-UP ROOFING SHALL CONFORM TO REQUIREMENT OF UNDERWRITERS LABORATORIES, INC., CBC STANDARD FOR A CLASS "A" FIRE RETARDANT ROOFING.
- UNLESS NOTED OTHERWISE, ALL SURFACES TO BE PAINTED SHALL RECEIVE A MINIMUM OF (3) COATS.
- ALL FIXED GLASS PANELS ADJACENT TO DOORS AND GLAZING ADJACENT TO A WALKING SURFACE SHALL BE OF SAFETY GLASS MATERIAL.
- GLASS AND GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE FLAT GLASS MANUFACTURER'S ASSOCIATION HANDBOOK
- INSTALLATION OF GLASS SHALL CONFORM TO FEDERAL SPECIFICATION 16-CFR-1202 AND THE CBC AND ALL LOCAL CODES AND ORDINANCES. GLASS 24" ON EITHER SIDE OF ENTRY DOORS AND WITHIN 18" OF FINISH FLOOR SHALL BE FULLY TEMPERED.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE

- EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING MORE THAN 50 PERSONS.
- ALL LEGAL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR PROVIDE A SIGN ADJACENT TO THE DOOR WITH ONE INCH LETTERS STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS". EXIT SIGN SHALL BE 6" HIGH.
- ALL EXTERIOR EXIT DOORS SHALL BE PROVIDED WITH PANIC HARDWARE WHEN REQUIRED BY CODE. FINISH HARDWARE FOR ALL LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN THE PATH OF TRAVEL SHALL COMPLY TO CBC
- EXIT LIGHTING AND SIGNS: MINIMUM 6" HIGH LETTERS ON CONTRASTING BACKGROUND.
- EMERGENCY LIGHTING SHALL BE PROVIDED, GIVING A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL.
- DOORS AND DOORWAYS: THE FLOOR ADJACENT TO A DOORWAY SHALL BE LEVEL, A DISTANCE OF 5' FROM THE DOOR IN THE DIRECTION THE DOOR SWINGS AND SHALL EXTEND NOT LESS THAN 12" PAST THE HINGE EDGE AND 24" PAST THE STRIKE EDGE OF DOOR.
- ALL NOISE BARRIER BATTS (SOUND INSULATION) SHALL BE INCOMBUSTIBLE.
- ALL DOORWAYS LEADING TO MEN'S AND WOMEN'S SANITARY FACILITIES, PROVIDE A HANDICAPPED GEOMETRIC SYMBOL CENTERED ON THE DOOR AT A HEIGHT OF 60" AND THEIR COLOR SHALL CONTRAST DISTINCTLY WITH THAT OF THE DOOR. GEOMETRIC SYMBOLS CONFIGURATION SHALL BE AS FOLLOWS: A) MEN - EQUILATERAL TRIANGLE 1/4" THICK WITH EDGES 12 INCHES LONG AND A VERTEX POINTING UP. B) WOMEN - A CIRCLE 1/4" THICK AND 12" IN DIAMETER.
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USEABLE BY PHYSICALLY HANDICAP PERSONS.

PROJECT LOCATION



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COVER SHEET

A0.0

Executive Summary: Bay Area Sportshouse (BASH) aims to become a premier multi-sports complex located in South San Francisco, catering to the growing interest in recreational sports such as volleyball and pickleball. The facility will provide state-of-the-art courts, professional coaching, organized leagues, and community events, promoting an active lifestyle in a family-friendly environment.

Business Objectives:

- To establish Bay Area Sportshouse as a leading destination for volleyball and pickleball enthusiasts.
- To foster community involvement through programs, events, and partnerships with local schools and organizations.

Market Analysis:

- Target Market:
 - Recreational athletes (ages 8-65)
 - Local schools and colleges
 - Community recreational leagues
 - Sports clubs and organizations
- Market Demand:
 - Increasing popularity of volleyball and pickleball across all age groups.
 - Limited availability of dedicated facilities within the South San Francisco area.
 - High demand for recreational and fitness activities post-pandemic.
- Competitors:
 - Local gyms with limited court availability.
 - Community centers with multi-purpose facilities but lacking specialized courts.

Facility Overview:

- Location: A strategic site in South San Francisco with easy access to major roads, airport, and public transportation.
- Facility Size: 18,000 square feet, adaptable for multiple courts and spectator areas.
- Strength and Conditioning area
- Parking:
 - (16) designated parking spaces with
 - (2) handicap and,
 - (35) additional parking spaces next door with a parking agreement in place with the landlord who owns the property. (16-20) Street parking spaces.
 - (1) Loading Dock
- (8) Short Term Bicycle Parking to be created.
- Public Transportation:
 - SamTrans 292 & 397 - 0.2 miles (4 min walk) to the nearest bus stop.
 - Other means of transportation: Uber, Lyft
- Loading Zone for passenger pick up and drop off to be created.
- Hours of Operation: 8 AM to 10 PM.
 - (2) working shifts:
 - 7:00 AM - 3:30 PM. (1 Person)
Note: 7:00 am to 8:00 am set up time
 - 3:00 PM - 11:00 PM. (1 Person)
Note: 10:00 pm to 11:00 pm cleanup / shut down
 - Monday to Friday Peak Hours: 4 pm to 10:00 pm.
 - Saturday and Sunday Peak Hours: 10:00 am to 10:00 pm.
- Estimated Numbers of Customers per Day.
 - Monday to Friday at 75 +/- people per day.
 - Saturday and Sunday at 90 +/- people per day.
- Design:
 - (2) professional-grade indoor volleyball courts.
 - (2) indoor pickleball courts.

- ADA Restrooms
- A pro shop for sports equipment and merchandise.

Services Offered:

- Court Rentals: Hourly rentals for volleyball and pickleball courts.
- Coaching & Clinics: Training programs for youth and adults focusing on skill development, fitness, and teamwork.

Marketing Strategy:

- Brand Development: Create a strong brand identity emphasizing community, health, and sportsmanship.
- Digital Marketing: Leverage social media, a dedicated website, and local advertising to attract visitors.
- Partnerships: Collaborate with schools, universities, and local businesses to promote programs and events.
- Community Engagement: Host free introductory classes and open house events to showcase the facilities.

Conclusion: Bay Area Sportshouse will fill a significant gap in South San Francisco's recreational landscape, providing residents with a dedicated venue for volleyball and pickleball. With a focus on quality facilities, community engagement, and a robust marketing strategy, Bay Area Sportshouse is poised to become a leader in promoting health, fitness, and sports camaraderie in the Bay Area.

Police Department Plan Check Comments Continued...

Unacceptable:



- 3) The landing at the lowest level of service staircases, such as those in the garage area or fire escapes, shall have some mechanism, such as fencing and/or a gate, to prevent access to those areas where a person could conceal themselves and/or loiter in said area. The fencing and/or gate shall be at least six feet tall and constructed in a manner that makes it difficult to climb. The fencing and/or gate shall be roughly flush with the lowest step to provide maximum access restriction to the area to the side or underneath the stairs. Please see below examples.



- 4) Any exterior bicycle racks installed shall be of an inverted "U" design, or other design that allows two different locking points on each bicycle.
- 5) Any publicly accessible benches shall be of a design that prevents persons from lying on them, such as a center railing.
- 6) Any publicly accessible power outlets shall be of a design that prevents their access or use during those hours the business is normally closed. If physical locking covers are used, they must be made of metal, not plastic, and locks must be installed prior to inspection.
- 7) Any publicly accessible raised edge surfaces, such as retaining walls, concrete benches, handrails, or railings, shall be of a design that prevents or discourages skateboard use on those surfaces.

Police Department Plan Check Comments Continued...

- 8) The mature height of all shrubbery shall be no higher than three feet, if so, it shall be maintained at a maximum height of three feet, and tree canopies shall be no lower than six feet above grade.
- 9) The applicant shall install and maintain a camera surveillance system that conforms to the minimum technical specifications of South San Francisco Municipal Code Chapter 8.66.050 Minimum technological standards, (Ord. 1515, 2016). The video surveillance cameras will be used as a crime deterrent and assist with the identification and apprehension of criminals if a crime is committed on the property. Enough cameras shall be installed to provide adequate coverage for the intended space. Cameras shall be placed minimally in the following locations:

- All exterior entrances/exits
- Front lobby
- Common areas
- Loading docks

The Police Department requires acknowledgment of these comments to include specific locations in the plans where the applicable change requests have been made.

The Police Department reserves the right to review and comment upon the submission of revised and updated plans.

For questions concerning this project, please contact the Planning Sergeant at (650) 877-8927 or at planningsergeant@ssf.net.

Sean Curmi
Planning and Crime Prevention Sergeant

I- OPERATION HOUR AND NUMBER OF CUSTOMER

9/12/2024

To Whom It May Concern,

Please let this letter acknowledge an additional parking allowance provided to JJSLJ LLC., the new tenants of 147 Beacon St., South San Francisco, CA. JJSLJ LLC. or its affiliates are required to submit a TMP to the city of South San Francisco as part of their change-of-use permit.

Please be advised that JJSLJ will have the exclusive right to use approximately 15-17 parking spaces surrounding the property they are leasing at 147 Beacon St. Additionally, JJSLJ LLC, its affiliates, and clients have permission to use any additional parking spaces located on our adjoining parcel surrounding 131 Beacon St., provided they meet the following conditions:

- JJSLJ LLC, its affiliates, and clients will not park in additional parking spaces during regular business hours for any future tenants of 131 Beacon St.
- JJSLJ LLC, its affiliates, and clients will not park in additional parking spaces for an extended period or leave any vehicles overnight.
- JJSLJ LLC, its affiliates, and clients will not park in additional parking spaces in a way that creates a nuisance to, disrupts the business operations of, or otherwise disturbs any future tenants of 131 Beacon St.
- JJSLJ LLC, its affiliates, and clients will immediately comply to correct any nuisance, disruption to business operations, etc., which may be caused by occupying parking spaces reserved for 131 Beacon St.

Please be advised that the landlord maintains the right to revoke this agreement at any time should JJSLJ LLC, its affiliates, and clients not comply with the above terms and conditions.

Regards,

Sean Curmi
147 Beacon St. Inc.



CITY OF SOUTH SAN FRANCISCO POLICE DEPARTMENT

Scott Campbell – Chief of Police



POLICE DEPARTMENT PLAN CHECK COMMENTS

Thursday, June 12, 2025

To: Planning Division

From: Sergeant Sean Curmi, Police Department

Re: Planning Commission Agenda Items

Case No.: P24-0133

Location: 147 Beacon Street, SSF

All construction must conform to South San Francisco Municipal Code Chapter 15.48.070 Minimum security standards for non-residential buildings, (Ord. 1477 § 1C, 2013; Ord. 1166 § 1, 1995)

15.48.085 Additional Security Measures May Be Required

Per South San Francisco Municipal Code 15.48.085 -Additional Security Measures, the following conditions will also be required:

- Any exterior double door entrances shall only have one exterior handle, which should be on the right door (from a person's perspective from the outside). This is to prevent the malicious locking/chaining of the doors from the outside. This requirement shall also apply to interior double doors to shared common areas.
- The hardware design of any double doorways shall prevent any doors from being secured in a closed position to either another door or a fixed object within four feet of any door by means of a rope, cable, chain, or similar item. This is to prevent malicious prevention of egress and/or ingress by building occupants or first responders. Pay particular attention to all glass doorways. See possible samples below.



ADDRESS ALL COMMUNICATIONS TO THE CHIEF OF POLICE
1 CHESTNUT AVENUE SOUTH SAN FRANCISCO, CALIFORNIA 94080

PROJECT:

TENANT IMPROVEMENT

FOR

JJSLJ LLC

XIE ASSOCIATES, INC
Architectural Design & Planning

26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bill@xiearchdesign.com

147
BEACON ST
S. SAN FRANCISCO,
CALIFORNIA

PROJECT NO:
MODEL FILE:
DRAWN BY: JHONG
CHECK BY:
DATE: 02/24/25



SHEET TITLE

ADDITION
INFORMATION

A0.1

2-PARKING AGREEMENT

Memorandum

Date: January 30, 2025

To: Victoria Kim, Associate Planner, City of South San Francisco

From: JJSLL, LLC., DBA: BASH

Subject: Parking Management and Monitoring Study for 147 Beacon Street.

The purpose of the Parking Management and Monitoring Study for 147 Beacon Street is to determine adequate available parking inventories for the use of an indoor sports facility to be located at 141 Beacon Street, South San Francisco.

Project Descriptions

The 147 Beacon Street project site is bounded by various industrial, warehouse, office, pet grooming business, catering company, and K1 Speed Indoor Go Karts. Access to the property is on Beacon Street off S. Airport Blvd.

The proposed project would convert the existing 22,000 sq ft industrial warehouse building to an indoor sports facility with a focus on volleyball and pickleball training. 2 Full size volleyball courts and 2 full size pickleball courts for players of all ages and skill level. The proposed project would operate on a reservation-only basis from 8:00 am to 9:00 pm Monday to Sunday. The proposed project would be staffed by a manager to maintain typical operations of the facility and check-in of reservations.

The proposed project would include 16 surface parking spaces (15 customers and 1 employee spaces), 2 handicapped surface parking spaces, 8 bicycle parking space, 1 loading dock, and loading / dropping area at the front of the building for 147 Beacon Street. In addition, the proposed project would be able to utilize an additional 35 parking spaces (if needed) from its neighbor outside of typical business hours (after 5:00 pm on weekdays and all days on weekends) based on a share parking agreement with the joint landlord.

Hours of operation are 8 am to 10:00 pm, 7 days a week.
Monday to Friday peak hours is 4 pm to 9:00 pm
Saturday and Sunday peak hours is 8:00 am to 9:00 pm

147 Beacon Street (Subject Property) is a 22,000 sq ft industrial warehouse with 2 parking spaces dedicated for handicapped parking plus an additional 16 parking space. A loading dock located at the front of the building. The property will be used an indoor sports training facility, with focuses on volleyball and pickleball.

131 Beacon Street (Next Door Property) is a 16,800 sq ft industrial warehouse, currently vacant. Owner of the building is currently listing the building for lease. The property has newly paved asphalt with 35 parking spaces. Owner of 137 Beacon is also the owner of 147 Beacon Street. 131 Beacon Street has given a shared parking agreement to JJSLL, LLC, DBA BASH.

Parking Analysis

On-site Parking / Shared Parking

The proposed project has a surface parking lot of 16 spaces and the shared parking has 35 parking spaces after 5:00 pm on weekdays and all days on weekends. Therefore, the proposed project is not expected to negatively impact parking on or off site.

Parking Management Strategies

The proposed project is anticipated to adequately accommodate its parking demand on site. In additions, the proposed project would be able to utilize the parking space of its neighbor outside of typical business hours based on a shared parking agreement. Therefore, the proposed project is not expected to adversely affect parking on or off site. As such, alternative parking methods are not required.

If the parking demand of the proposed project is anticipated to exceed its 16-space on-site parking supply and the additional 35 spaces per the shared parking agreement in the future (i.e., facility expansion, additional pickleball courts, and /or additional customers / employees), the project applicant and / or facility operator could consider one or more of the following parking management strategies.

- Carpooling: By encouraging customers and employees to carpool, the number of vehicles arriving at the facility could be reduced, therefore reducing parking demand.
- Alternative modes of transportation: Encouraging customers and employees to use alternative modes of transportation, such as public transit, walking, and cycling, could reduce parking demand.
- Off-site parking agreement: The project applicant or facility operator could negotiate agreement with other nearby businesses or parking facilities to allow overflow parking during peak hours of the proposed project.
- Parking management plan: A parking management plan could be implemented to optimize the use of available parking spaces on site, including the use of timed parking or reserved parking for specific customers or events.

- Valet parking: Implementing a valet parking services could maximize the use of available parking spaces, particularly during peak hours.
- Flexible scheduling: Adjusting the facility's operation hours to take advantage of lower parking demand along the adjacent street during certain times of the day or week.

Conclusions

Based on the operational characteristics of the proposed project, the parking demand of a similar existing indoor sports facility, and the ability to utilize additional parking spaces from the neighboring use, adequate parking would be afforded the proposed project during its peak periods.

The proposed project would have sufficient on-sit parking to accommodate its anticipated peak parking demand during weekday evenings and weekends, which coincides with the time when most of the workers of the adjacent use have left for the day and there is ample parking. Therefore, the proposed project would not result in a significant impact to parking on or off site. Therefore, parking management strategies are not required.

I- PARKING MANAGEMENT AND MONITORING STUDY

Scenario 1
131 Beacon Street Currently Vacant

Monday		Parking Space Inventories	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
147 Beacon Street (Subject)		16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16
131 Beacon Street		35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35
Total AutoParking Space Inventories		51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51
147 Bike Parking Space (Subject)		8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8
	Projected BASH Customer / Staff		1	9		9		9		9		5	5	33	33	33	33	1
Tuesday		Parking Space Inventories	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
147 Beacon Street (Subject)		16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16
131 Beacon Street		35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35
Total AutoParking Space Inventories		51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51
147 Bike Parking Space (Subject)		8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8
	Projected BASH Customer / Staff		1	9		9		9		9		5	5	33	33	33	33	1
Wednesday		Parking Space Inventories	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
147 Beacon Street (Subject)		16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16
131 Beacon Street		35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35
Total AutoParking Space Inventories		51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51
147 Bike Parking Space (Subject)		8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8
	Projected BASH Customer / Staff		1	9		9		9		9		5	5	33	33	33	33	1
Thursday		Parking Space Inventories	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
147 Beacon Street (Subject)		16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16
131 Beacon Street		35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35
Total AutoParking Space Inventories		51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51
147 Bike Parking Space (Subject)		8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8
	Projected BASH Customer / Staff		1	9		9		9		9		5	5	33	33	33	33	1
Friday		Parking Space Inventories	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
147 Beacon Street (Subject)		16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16
131 Beacon Street		35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35
Total AutoParking Space Inventories		51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51
147 Bike Parking Space (Subject)		8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8
	Projected BASH Customer / Staff		1	9		9		9		9		5	5	33	33	33	33	1
Saturday		Parking Space Inventories	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
147 Beacon Street (Subject)		16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16
131 Beacon Street		35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35
Total AutoParking Space Inventories		51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51
147 Bike Parking Space (Subject)		8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8
	Projected BASH Customer / Staff		1	20	33	33	33	33	33	33	33	33	33	33	33	33	33	1
Sunday		Parking Space Inventories	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
147 Beacon Street (Subject)		16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16	16
131 Beacon Street		35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35
Total AutoParking Space Inventories		51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51	51
147 Bike Parking Space (Subject)		8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8
	Projected BASH Customer / Staff		1	20	33	33	33	33	33	33	33	33	33	33	33	33	33	1

2- PARKING AVAILABLE AND PARKING NEEDED DURING THE WEEK

PROJECT:

TENANT
IMPROVEMENT

FOR

JJSLLJ LLC

XIE ASSOCIATES, INC
Architectural Design & Planning

26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bill@xiearchdesign.com

147
BEACON ST
S. SAN FRANCISCO,
CALIFORNIA

PROJECT NO:
MODEL FILE:
DRAWN BY: LJI HONG
CHECK BY:
DATE: 02/24/25



DESIGN ASSOCIATES BY:
XIE ASSOCIATES, INC. (A DESIGNER)
REGISTERED ARCHITECT AND LANDSCAPE ARCHITECT
OF THE STATE OF CALIFORNIA

SHEET TITLE

ADDITION
INFORMATION

A0.2

TENANT IMPROVEMENT

JJSLJ LLC

26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bill@xiearchdesign.com

**147
BEACON ST
S. SAN FRANCISCO,
CALIFORNIA**

LICENSED ARCHITECT
 XIE XING
 GUAN
 No. C-32963
 07/31/2025
 RENEWAL DATE
 STATE OF CALIFORNIA

SITE PLAN

A1.0

1. THE ACCESSIBLE PATH OF TRAVEL TO HAVE MIN. CLEAR WIDTH OF 5 FEET THROUGHOUT, MAX. SLOPE 5% IN THE DIRECTION OF TRAVEL, AND MAXIMUM CROSS SLOPE 2%.

LEGEND

PARKING REQUIREMENT

EXERCISE TRAINING : 14,536 SF/TO BE DETERMINE
BY PLANNING

STEEL TUBE
BIKE RACK W/
POST
FABRICATION
HOT DIPPED
GALV. FINISH

CORE CONC. FILL
W/ NON-SHRINK
GROUT. SEAL JOINT
(TYP.)

PROVIDE 12"
THICK MIN. CONC.
SECTION @
MOUNTING

3 BICYCLE U RACK, TYPE 2
SCALE: NTS

SCALE: NTS

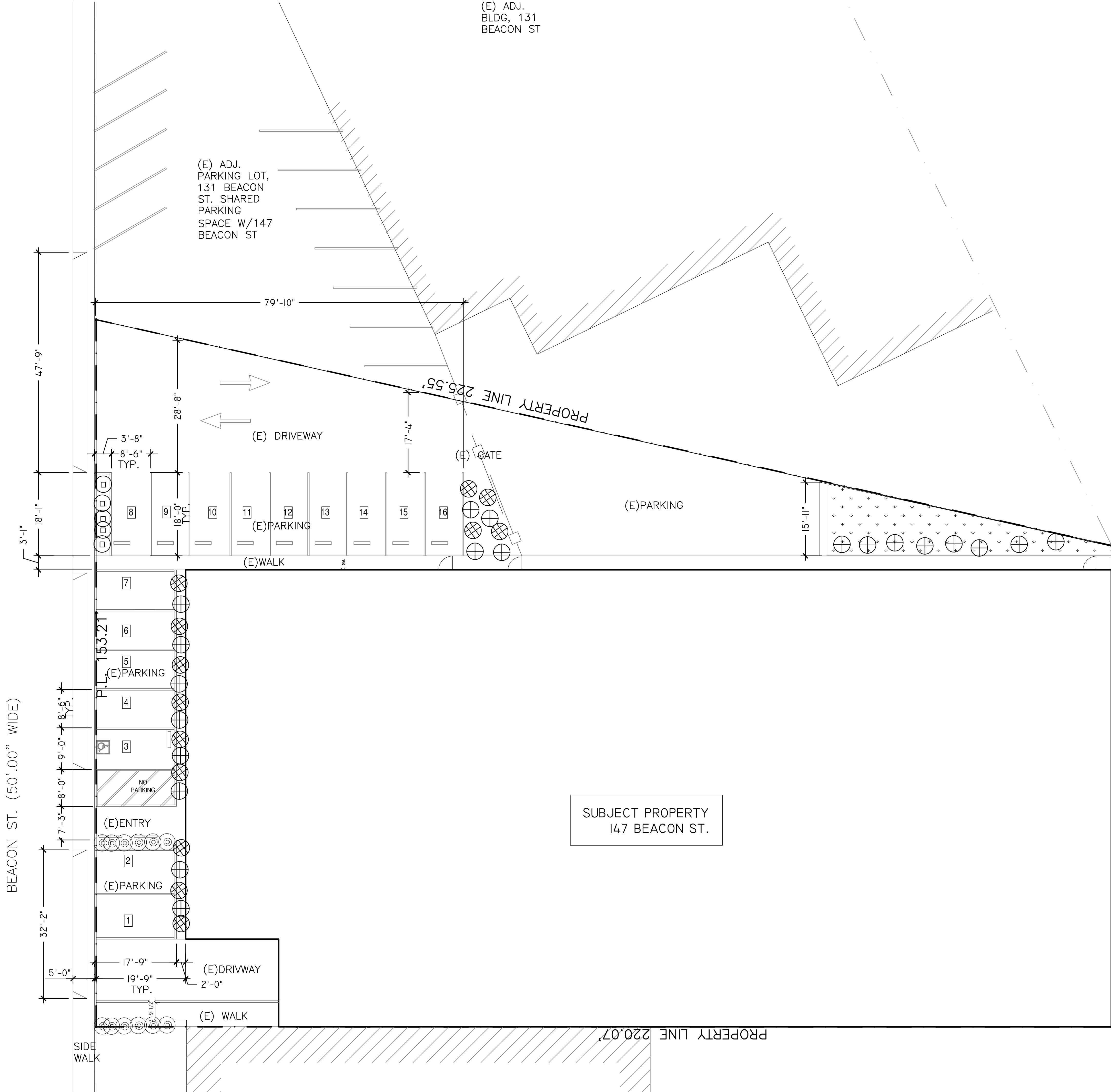
(E) ADJ.
PARKING LOT,
131 BEACON
ST. SHARED
PARKING
SPACE W/147
BEACON ST

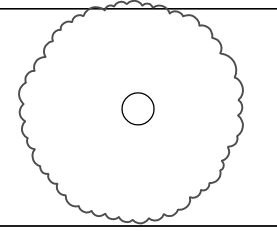

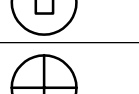
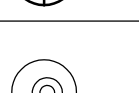

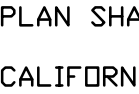
BLDG ENTRY-

SUBJECT PROPERTY
147 BEACON ST.

I- SITE PLAN & PATH OF TRAVEL AND ROOF PLAN

SCALE: 3/32"=1'-0"



PLANT LIST						
TREES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
	<E> TREE	<E> TREE				
SHRUB						
	ARCTOSTAPHYLOS	MANZAITA	1 GAL	2'-0" D.C.	14	L
	CEANDTHUS	CALIFORNIA LILAC	1 GAL	2'-0" D.C.	8	L
	GARRYA ELLIPTICA	COAST SILK TASSEL	1 GAL	2'-0" D.C.	12	L
	LAVANDULA ANGUSTIFOLIA HIDCOTE BLUE	ENGLISH LAVENDER	1 GAL	2'-0" D.C.	12	L
GRASSES						

NOTES:
 1. THE LANDSCAPE PLAN SHALL BE SUBJECT TO REVIEW AND APPROVAL BY CITY OF SSF
 4. MANZANITA AND CALIFORNIA LAVENDER PLANTS SHALL BE LOCALLY SOURCED OR STERILE CULTIVARS

LOT SIZE: 28,314 SF×15=4,247 SF REQUIRED LANDSCAPE AREA
 PROPOSED LANDSCAPE AREA: 879 SF 3% OF LOT AREA

PROJECT:

TENANT IMPROVEMENT

FOR

JJSLJ LLC

XIE ASSOCIATES, INC
 Architectural Design & Planning
 26 FARVIEW CT
 SAN FRANCISCO, CA 94131
 Tel: (415) 652-3047
 Web: www.xiearchdesign.com
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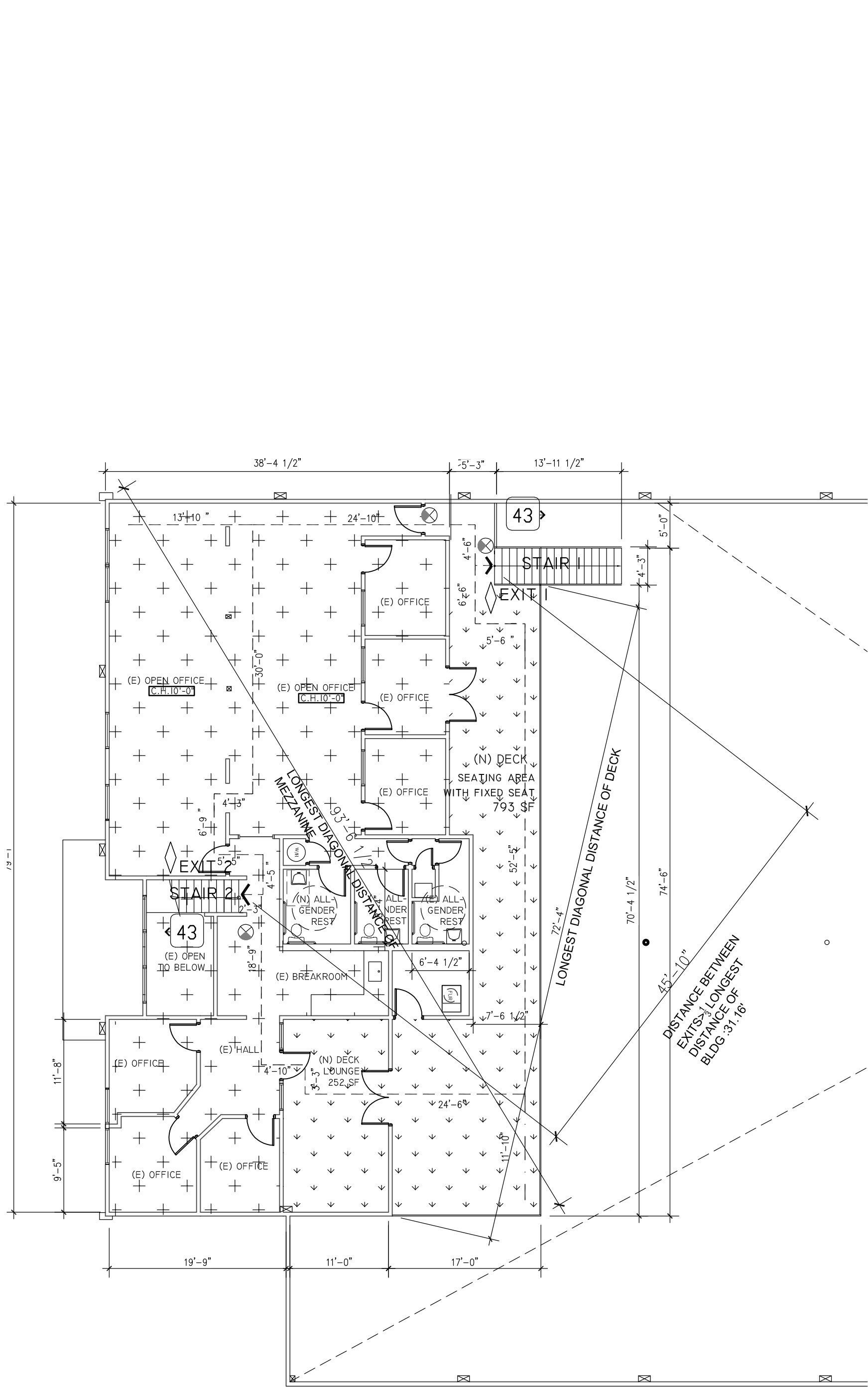
147 BEACON ST
S. SAN FRANCISCO,
CALIFORNIA

PROJECT NO:
 MODEL FILE:
 DRAWN BY: JI HONG
 CHECK BY:
 DATE: 02/24/25

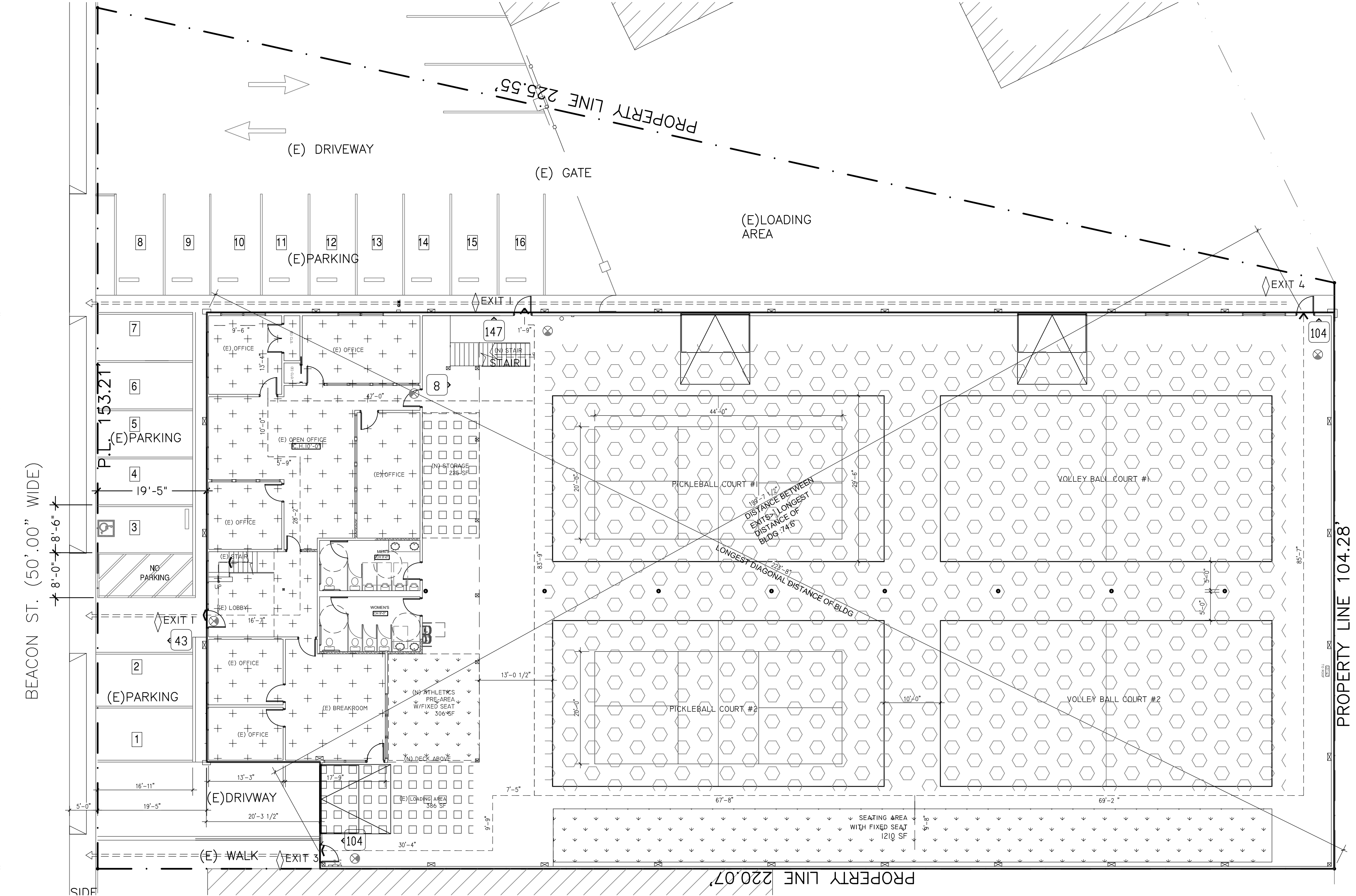


SHEET TITLE

LANDSCAPE PLAN



1-MEZZANINE EGRESS ANALYSIS PLAN



2-FIRST FLOOR EGRESS ANALYSIS PLAN

EGRESS ANALYSIS:

TOTAL OFFICE AREA: 2386 SF
DECK AREA: 793 SF
DECK LOUNGE: 252 SF

OCCUPANCY LOAD

AREA 1: ROOF DECK AREA: 793 SF / 15 = 53 O.L.
AREA 2: OFFICE: 2386 SF/150=16 O.L.
AREA 3: DECK LOUNGE 252 SF/15=17 P.L.

OCCUPANTS: 86 O.L.
REQUIRED EXIT: 2
EXITS PROVIDED: 2

DISTANCE OF TWO EXITS: 45'-10" > 1/4 (31.16') OF
LONGEST DIAGONAL BLDG DISTANCE: 93'-6.5"

LONGEST EXIT ACCESS PATH OF TRAVEL: 74'-250"
LONGEST COMMON PATH OF TRAVEL: 13'-10" < 75"

DOOR-1 WIDTH
(43 O.L.) X (2"/O.L.) = 8.6"
36" PROVIDED

DOOR-1 WIDTH
(43 O.L.) X (2"/O.L.) = 8.6"
36" PROVIDED

STAIR-1 WIDTH
(43 O.L.) X (3"/Occ.) = 12.9"
48" PROVIDED

STAIR-2 WIDTH
(43 O.L.) X (3" / OCC.) = 12.9"
44" PROVIDED

XX OCCUPANT LOAD
AND DIRECTION

ASSEMBLY USE AREA(A4)

OFFICE AREA(A3)

EVACUATION SIGN

EGRESS ANALYSIS:

OFFICE AREA: 2,267 SF
ASSEMBLY AREA: 1,516 SF
EXERCISE TRAINING AREA: 10,416 SF
STORAGE AREA: 611 SF

OCCUPANCY LOAD

AREA 1: OFFICE AREA: 2,267 SF / 150 = 15 O.L.
AREA 2: ASSEMBLY AREA: 1,516 SF/15=101 O.L.
AREA 3: EXERCISE TRAINING AREA: 10,416 SF/50=208 P.L.
AREA 4: STORAGE AREA: 611 SF/300 O.L.=3

OCCUPANT LOAD: 327 O.L.(TABLE 1006.3.3)
REQUIRED EXIT: 2
EXITS PROVIDED: 4

DISTANCE OF TWO EXITS: 199'-7" > 1/4 (74.60') OF
LONGEST DIAGONAL BLDG DISTANCE: 223'-8"

LONGEST EXIT ACCESS PATH OF TRAVEL: 169'-250"
LONGEST COMMON PATH OF TRAVEL: 22'-10" < 75"

DOOR-1 WIDTH
(43 O.L.+104 O.L.) X (2"/O.L.) = 29.4"
36" PROVIDED

DOOR-2 WIDTH
(43 O.L.+6 O.L.) X (2"/O.L.) = 9.8"
36" PROVIDED

DOOR-3 WIDTH
(104 O.L.) X (2"/O.L.) = 20.8"
36" PROVIDED

DOOR-4 WIDTH
(104 O.L.) X (2"/O.L.) = 20.8"
36" PROVIDED

XX OCCUPANT LOAD
AND DIRECTION

ASSEMBLY USE AREA(A4)

OFFICE AREA(B)

STORAGE(S1)

EXERCISE TRAINING AREA(A4)

EVACUATION SIGN

LEGEND

- WALL OR CEILING MTD. EMERGENCY LIGHTING UNIT W/90 MINUTES BATTERY BACK UP PER 2022 CBC 1006.4& 1008 MEANS OF EGRESS ILLUMINATION
- WALL/CEILING MOUNTED COMBINATION EXIT SIGN AND EMERGENCY LIGHTING, SINGLE FACE, PER 2022 CBC 1006.4 & 1008 MEANS OF EGRESS ILLUMINATION
- PATH TO PUBLIC OF WAY
- COMMON PATH OF TRAVEL, 100' MAX.
- PATH OF EGRESS, 250'-0" MAX.
- FIRE EXTINGUISHER MOUNTED ON WALL 4'-0" MAX. FROM TOP TO FINISH FLOOR

PROJECT:

TENANT
IMPROVEMENT

FOR

JJSLJ LLC

XIE ASSOCIATES, INC
Architectural Design & Planning

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147
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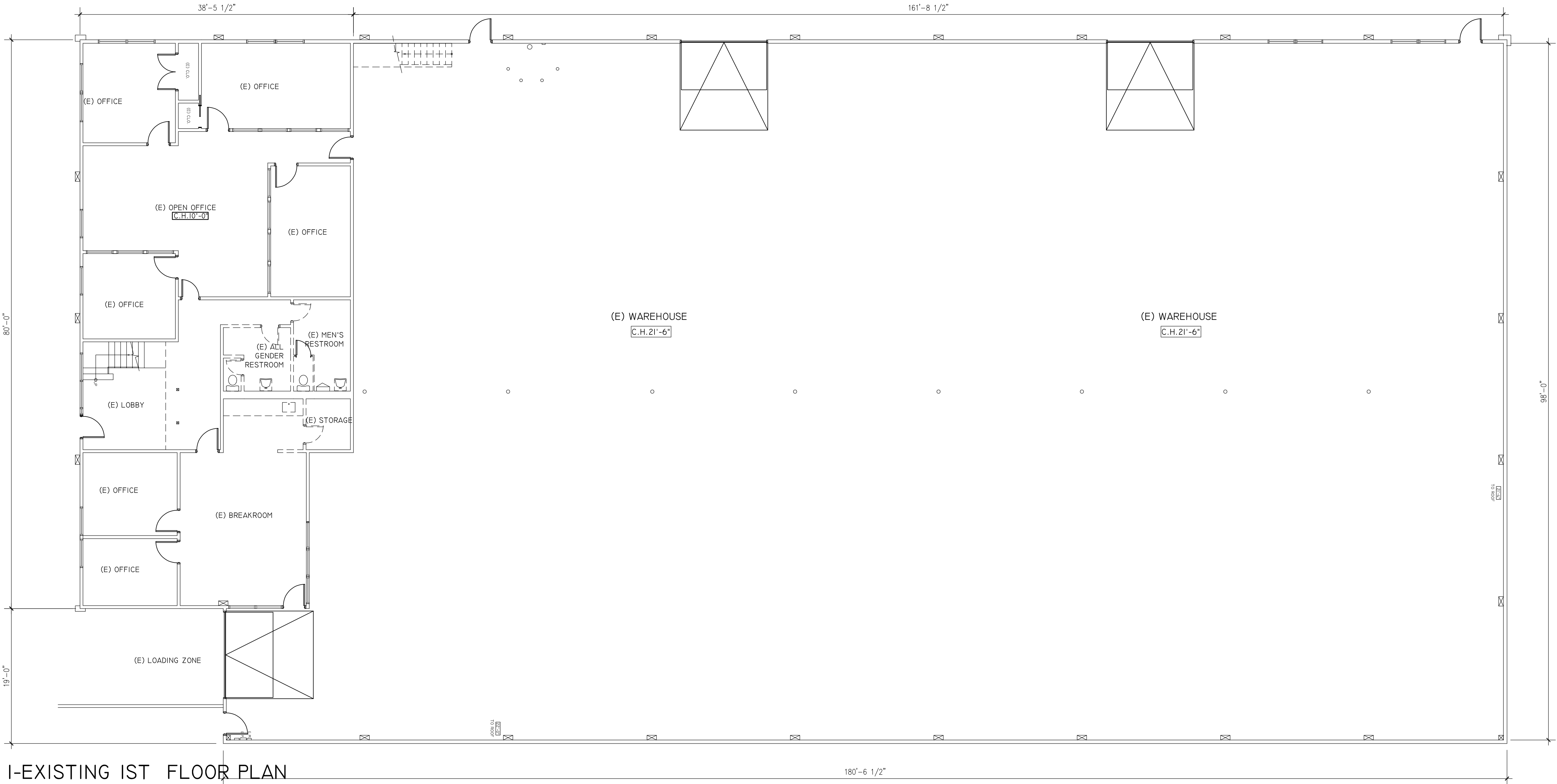
PROJECT NO:
MODEL FILE:
DRAWN BY: JI HONG
CHECK BY:
DATE: 02/24/25



SHEET TITLE

EGRESS PLAN

A1.2



I-EXISTING 1ST FLOOR PLAN

SCALE: 1/8"=1'-0"

DEMO FLR PLAN KEYED NOTES

- DEMO AND REMOVE EXISTING EQUIPMENTS, PLUMBING AND LIGHT FIXTURES PER PLAN, AND CAPP OFF ASSOCIATED UTILITY LINES AS NEEDED
- (E) STOREFRONT TO REMAIN, NO WORK
- MAINTAIN EXISTING DEMISING WALL FIRE RATING, PATCH ALL OPENING WITH 1-HR RATED , TYP.
- MODIFY WALL, FLOOR, AND CEILING FINISHES TO RECEIVE NEW WORK, REFER TO PROPOSED WORK FOR EXTEND OF WORK
- SWITCH DOOR SWING, REVERSE, SEE PLANS

DEMOLITION PLAN SHEET NOTES

- DEMOLITION IS NOT LIMITED TO ONLY WHAT IS SHOWN ON THIS OR OTHER DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT WITH THE CONSTRUCTION DRAWINGS.
- CONDUCT A PRE-DEMOLITION JOBSITE MEETING PRIOR TO DEMOLITION TO SCHEDULE THE WORK WITH THE OWNER SO AS NOT TO INTERFERE W/ OWNER'S NORMAL BUSINESS OPERATIONS.
- ERECT AND MAINTAIN TEMPORARY BRACING, BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.
- REMOVE DEBRIS FROM THE PREMISES DAILY. KEEP OCCUPIED AREAS ADJACENT TO DEMOLITION ZONES BROOM CLEAN AND FREE OF DEBRIS.
- UPON COMPLETION OF THE DEMOLITION WORK, THE GENERAL CONTRACTOR SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN.
- THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.
- PROTECT FROM DAMAGE MATERIALS NOT REQUIRED TO BE REMOVED OR DEMOLISHED. RESTORE TO ORIGINAL CONDITION SURFACES WHICH HAVE BEEN DISTURBED BY DEMOLITION AND ARE INDICATED TO REMAIN. PATCH, TO MATCH SIMILAR ADJACENT FINISHES, DAMAGED SURFACES WHICH WILL BE VISIBLE IN THE FINISHED WORK. DOORS INDICATED FOR REMOVAL SHALL HAVE FRAMES, ADJ. JAMBS, HARDWARE, ETC. REMOVED, FINISHES PATCHED AND REPAIRED.
- ALL EXISTING MECHANICAL, ELECTRICAL, LIGHTING AND SPECIAL EQUIPMENT WHICH IS TO BE REMOVED SHALL BE RETURNED TO THE BUILDING OWNER.
- CAREFULLY REMOVE EXISTING DOORS, DOOR FRAMES, HARDWARE, SIDELIGHT GLAZING AND SIDELIGHT FRAMES INDICATED TO BE REMOVED.
- SAVE FIRE EXTINGUISHER CABS, FIRE STROBES & OTHER DEVICES FOR POSSIBLE RELOCATION.
- AT ALL AREAS WHICH DISPLAY DISCREPANCIES IN FLOOR LEVEL AFTER REMOVAL OF PARTITIONS OR FINISHES, CONTRACTOR SHALL PATCH TO LEVEL THE FLOORING TO RECEIVE NEW FLOOR FINISHES SUCH AS VCT, OR CARPET PER INDUSTRY AND MANUFACTURER STANDARDS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- EXISTING THERMOSTATS IN PARTITIONS TO BE DEMOLISHED SHALL BE REMOVED, PROTECTED AND STORED FOR REUSE BY THE MECHANICAL CONTRACTOR. THE PNEUMATIC TUBING SHALL BE COILED UP AND TEMPORARLY HUNG FROM THE DECK. THE END OF THE TUBING SHALL BE TAPED OFF TO PREVENT DIRT FROM ENTERING THE TUBING.
- EXISTING SUPPLY DIFFUSERS AND RETURN/EXHAUST GRILLES IN CEILINGS TO BE DEMOLISHED SHALL BE REMOVED, PROTECTED AND STORED
- ALL OTHER MECHANICAL WORK SHALL BE REUSED. AVOID DAMAGE TO ALL EXISTING BASE BUILDING EQUIPMENT/DUCTWORK/GRILLES/PIPING/ETC.
- DISCONNECT AND REMOVE ALL EXISTING TELE/DATA CABLES AND JACKS IN PARTITIONS TO BE REMOVED. ALL CABLING TO BE REMOVED BACK TO THE PHONE/COMPUTER ROOM PUNCH DOWN BLOCK.
- DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL DEVICES AND ASSOCIATED CONDUIT AND WIRES IN WALLS/PARTITIONS TO BE REMOVED. WHERE CONDUIT/WIRES FEED OTHER AREAS, RE-ROUTE CONDUIT AND WIRE AS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY.

PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- KEYED NOTES

REFLECTED CEILING PLAN LEGEND

- (E) 2'X4' FLUORESCENT LIGHT FIXTURE, CEILING RECESSED, 2 LAMP, TO BE REMOVED
- (E) MECHANICAL VENT, CONNECT TO (E) HVAC SYSTEM, REROUTE AS NEEDED
- RECESSED CEILING MOUNTED COMPACT LIGHT FLUORESCENT LIGHT FIXTURE
- (E) SKYLIGHT TO REMAIN

PROJECT:

TENANT
IMPROVEMENT

FOR

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PROJECT NO:

MODEL FILE:

DRAWN BY: JJ HONG

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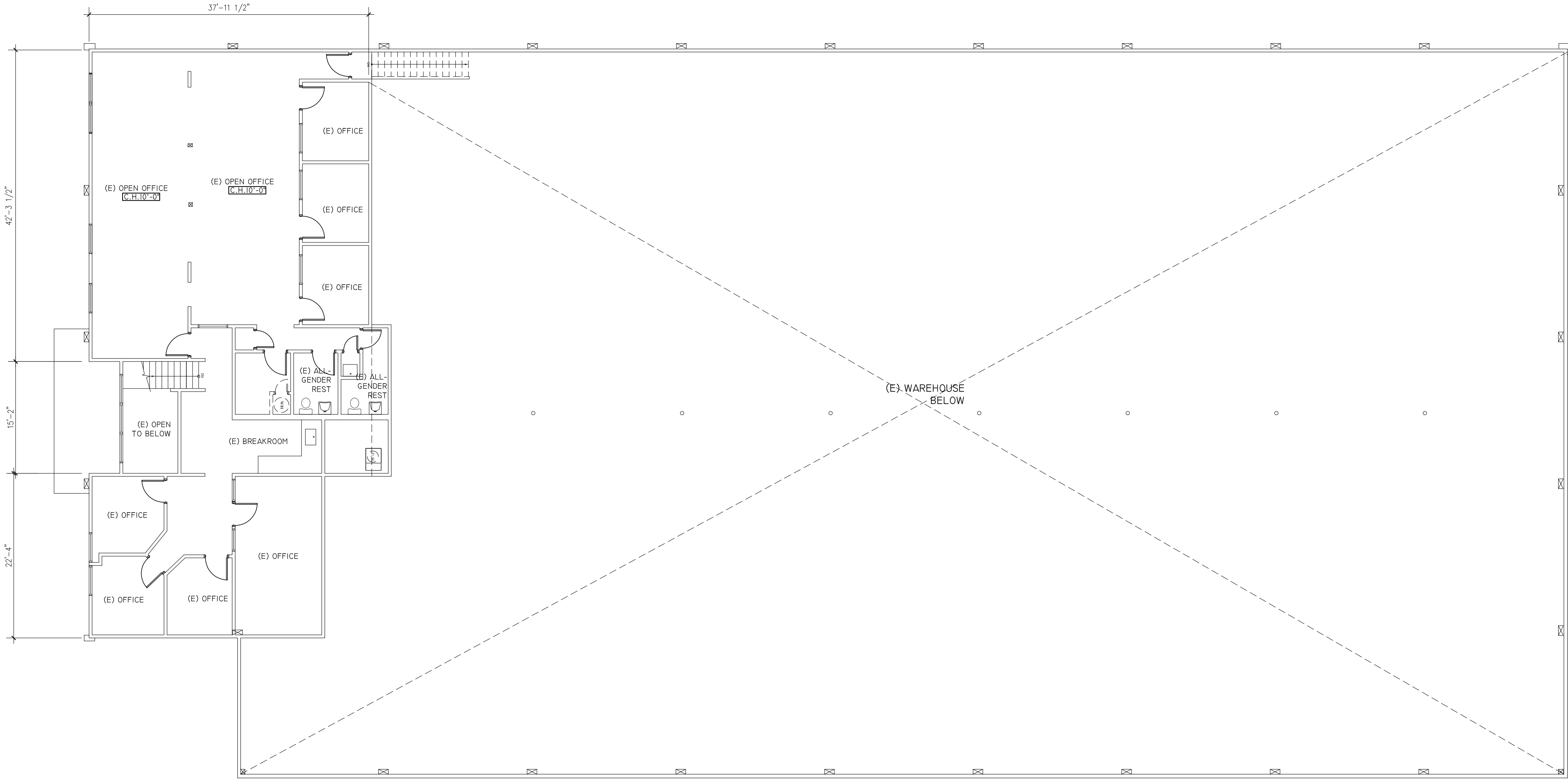
RENEWAL DATE

STATE OF CALIFORNIA

SHEET TITLE

EXISTING FLR
PLAN

A2.0



I-EXISTING MEZZAINE PLAN

SCALE: 1/8"=1'-0"

DEMO FLR PLAN KEYED NOTES		DEMOLITION PLAN SHEET NOTES		PLAN LEGEND	REFLECTED CEILING PLAN LEGEND
<div>1</div> <div>2</div> <div>3</div> <div>5</div> <div>6</div>	DEMO AND REMOVE EXISTING EQUIPMENTS, PLUMBING LIGHT FIXTURES PER PLAN, AND CAPP OFF ASSOCIATED UTILITY LINES AS NEEDED	<div>1. DEMOLITION IS NOT LIMITED TO ONLY WHAT IS SHOWN ON THIS OR OTHER DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT WITH THE CONSTRUCTION DRAWINGS. CONDUCT A PRE-DEMOLITION JOBSITE MEETING PRIOR TO DEMOLITION TO SCHEDULE THE WORK WITH THE OWNER SO AS NOT TO INTERFERE W/ OWNER'S NORMAL BUSINESS OPERATIONS.</div> <div>3. ERECT AND MAINTAIN TEMPORARY BRACING, BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.</div> <div>4. REMOVE DEBRIS FROM THE PREMISES DAILY. KEEP OCCUPIED AREAS ADJACENT TO DEMOLITION ZONES BROOM CLEAN AND FREE OF DEBRIS.</div> <div>5. UPON COMPLETION OF THE DEMOLITION WORK, THE GENERAL CONTRACTOR SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN.</div> <div>6. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.</div> <div>7. PROTECT FROM DAMAGE MATERIALS NOT REQUIRED TO BE REMOVED OR DEMOLISHED. RESTORE TO ORIGINAL CONDITION SURFACES WHICH HAVE BEEN DISTURBED BY DEMOLITION AND ARE INDICATED TO REMAIN. PATCH, TO MATCH SIMILAR ADJACENT FINISHES, DAMAGED SURFACES WHICH WILL BE VISIBLE IN THE FINISHED WORK. DOORS INDICATED FOR REMOVAL SHALL HAVE FRAMES, ADJ. JAMBS, HARDWARE, ETC. REMOVED, FINISHES PATCHED AND REPAIRED.</div> <div>8. ALL EXISTING MECHANICAL, ELECTRICAL, LIGHTING AND SPECIAL EQUIPMENT WHICH IS TO BE REMOVED SHALL BE RETURNED TO THE BUILDING OWNER.</div> <div>9. CAREFULLY REMOVE EXISTING DOORS, DOOR FRAMES, HARDWARE, SIDELIGHT GLAZING AND SIDELIGHT FRAMES INDICATED TO BE REMOVED.</div> <div>10. SAVE FIRE EXTINGUISHER CABS, FIRE STROBES & OTHER DEVICES FOR POSSIBLE RELOCATION.</div> <div>11. AT ALL AREAS WHICH DISPLAY DISCREPANCIES IN FLOOR LEVEL AFTER REMOVAL OF PARTITIONS OR FINISHES, CONTRACTOR SHALL PATCH TO LEVEL THE FLOORING TO RECEIVE NEW FLOOR FINISHES SUCH AS VCT, OR CARPET PER INDUSTRY AND MANUFACTURER STANDARDS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.</div>	<div>12. EXISTING THERMOSTATS IN PARTITIONS TO BE DEMOLISHED SHALL BE REMOVED, PROTECTED AND STORED FOR REUSE BY THE MECHANICAL CONTRACTOR. THE PNEUMATIC TUBING SHALL BE COILED UP AND TEMPORARILY HUNG FROM THE DECK. THE END OF THE TUBING SHALL BE TAPED OFF TO PREVENT DIRT FROM ENTERING THE TUBING.</div> <div>13. EXISTING SUPPLY DIFFUSERS AND RETURN/EXHAUST GRILLES IN CEILINGS TO BE DEMOLISHED SHALL BE REMOVED, PROTECTED AND STORED</div> <div>14. ALL OTHER MECHANICAL WORK SHALL BE REUSED. AVOID DAMAGE TO ALL EXISTING BASE BUILDING EQUIPMENT/DUCTWORK/GRILLES/PIPING/ETC.</div> <div>15. DISCONNECT AND REMOVE ALL EXISTING TELE/DATA CABLES AND JACKS IN PARTITIONS TO BE REMOVED. ALL CABLING TO BE REMOVED BACK TO THE PHONE/COMPUTER ROOM PUNCH DOWN BLOCK.</div> <div>16. DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL DEVICES AND ASSOCIATED CONDUIT AND WIRES IN WALLS/PARTITIONS TO BE REMOVED. WHERE CONDUIT/WIRES FEED OTHER AREAS, RE-ROUTE CONDUIT AND WIRE AS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY.</div>	<div>===== EXISTING CONSTRUCTION TO REMAIN</div> <div>- - - - - EXISTING WALL TO BE REMOVED</div> <div>⌋⌋⌋ EXISTING DOOR TO BE REMOVED</div> <div>① — KEYED NOTES</div>	<div><div></div>(E) 2'x4' FLUORESCENT LIGHT FIXTURE, CEILING RECESSED, 2 LAMP, TO BE REMOVED</div> <div><div></div>(E) MECHANICAL VENT, CONNECT TO (E) HVAC SYSTEM, REROUTE AS NEEDED</div> <div><div></div>RECESSED CEILING MOUNTED COMPACT LIGHT FLUORESCENT LIGHT FIXTURE</div> <div><div></div>(E) SKYLIGHT TO REMAIN</div>
	(E) STOREFRONT TO REMAIN, NO WORK				
	MAINTAIN EXISTING PROPERTY WALLS FIRE RATING, PATCH ALL OPENING WITH 1-HR RATED, TYP.				
	MODIFY WALL, FLOOR, AND CEILING FINISHES TO RECEIVE NEW WORK, REFER TO PROPOSED WORK FOR EXTEND OF WORK				
	REMOVE EXISTING STEEL CANOPY				

PROJECT:

TENANT
IMPROVEMENT

FOR

JJSLJ LLC

XIE ASSOCIATES, INC

Architectural Design & Planning

26 FARVIEW CT

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147
BEACON ST
S. SAN FRANCISCO,
CALIFORNIA

PROJECT NO:

MODEL FILE:

DRAWN BY: LI HONG

CHECK BY:

DATE: 02/24/25

RENEWAL DATE

07/31/2025

STATE OF CALIFORNIA

NO. C-32963

RENEWAL DATE

07/31/2025

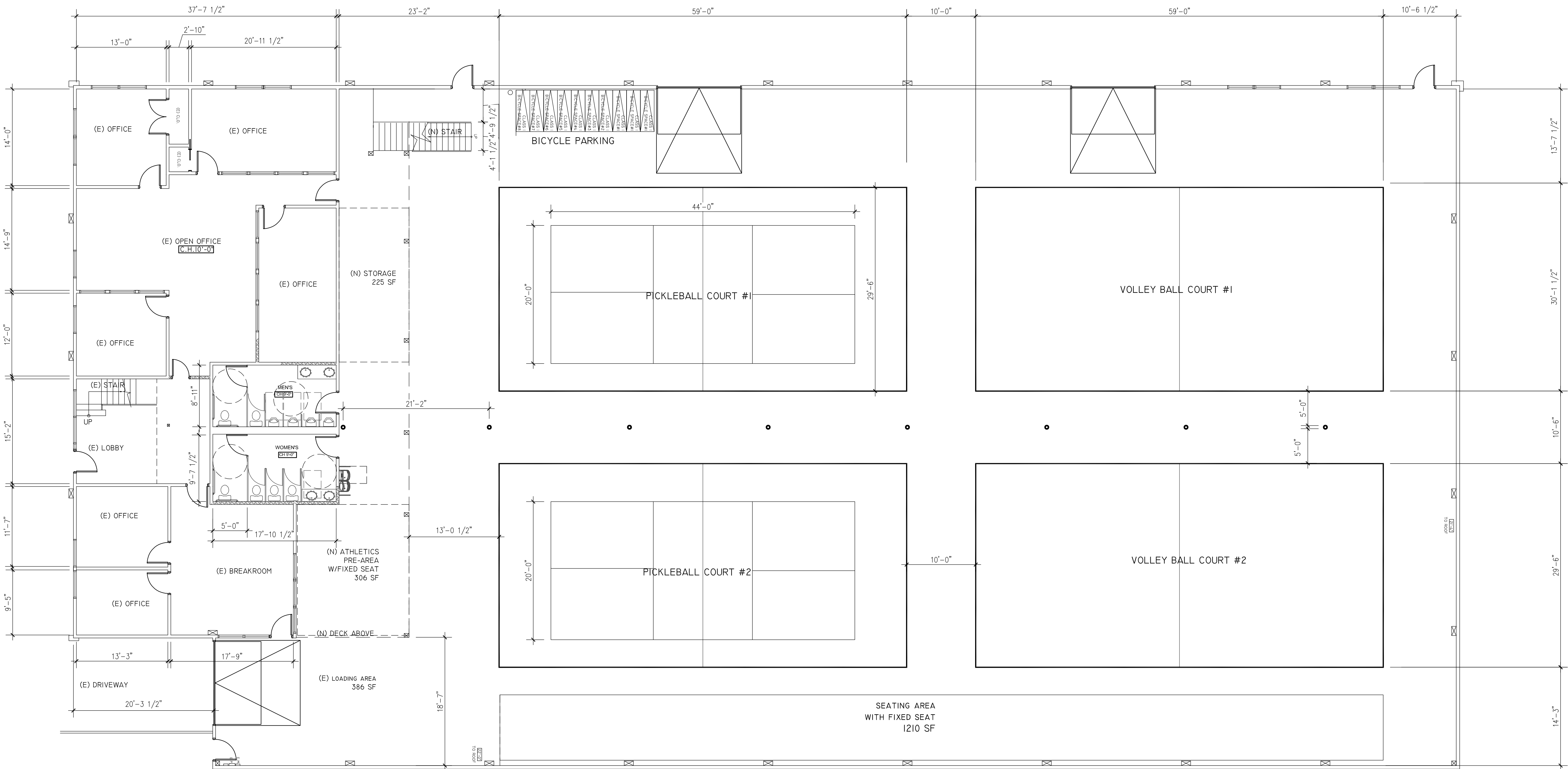
STATE OF CALIFORNIA

SHEET TITLE

EXISTING FLR

PLAN

A2.1



I-PROPOSED 1ST FLOOR PLAN
SCALE: 1/8"=1'-0"

PARTITION LEGEND		
SYMBOL	DESCRIPTION	DETAIL
	(E) WALL TO REMAIN, MAINTAIN (E) FIRE RATE	
	NEW NON-RATED FULL HIGH PARTITION	
	(E) GLASS PARTITION TO REMAIN	
	NEW NON-RATED FULL HIGH PARTITION	
NUMBER OF WHEEL CHAIR SPACE IN DINING AREA		
NUMBER OF EQUIPEMENTS	LOCKER REQUIRED (S2)	LOCKER PROVIDED
LOCKER	17	1
	1	1
GRAPHIC LEGEND		
SYMBOL	DESCRIPTION	
	FIRE EXTINGUISHER 2-A-10-BC MIN. MOUNTED ON WALL 5'-0" FROM TOP TO FINISH FLOOR	
	FIRE DEPARTMENT LOCK BOX	
	FLOOR SINK	

PROJECT:

TENANT IMPROVEMENT

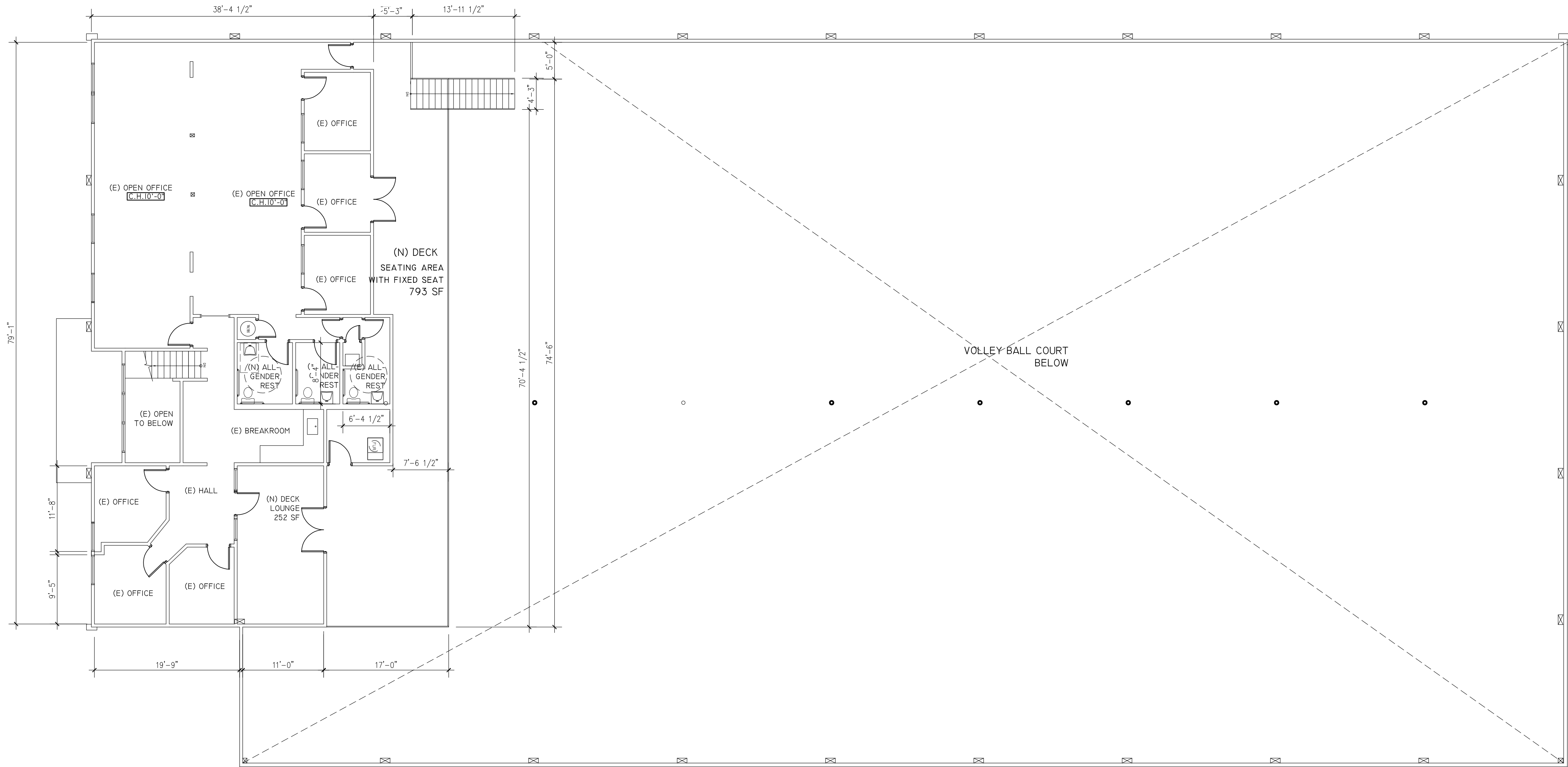
FOR

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DATE: 02/24/25



I-PROPOSED MEZZANINE PLAN

SCALE: 1/8"=1'-0"

PROJECT:

TENANT
IMPROVEMENT

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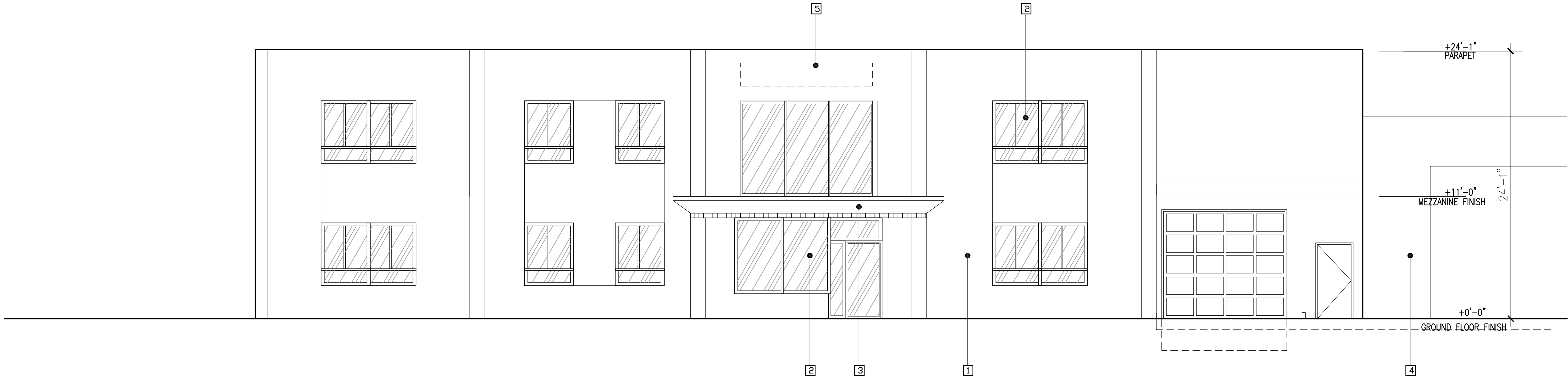
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DRAWN BY: LI HONG
CHECK BY:
DATE: 02/24/25



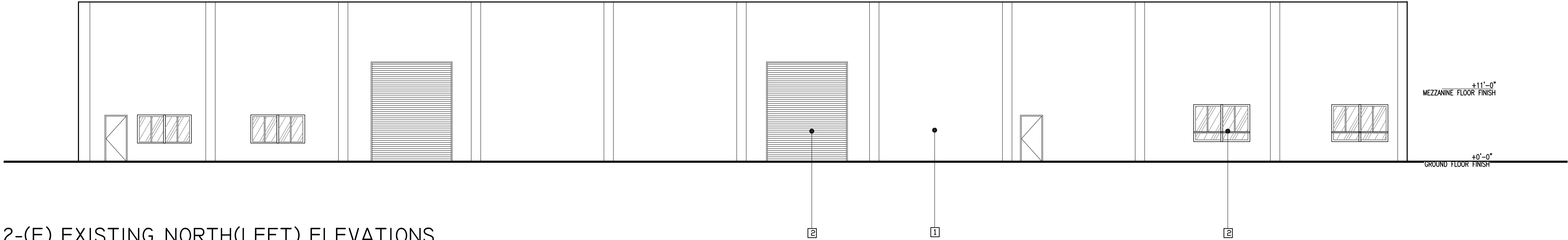
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MEZZANINE
PLAN

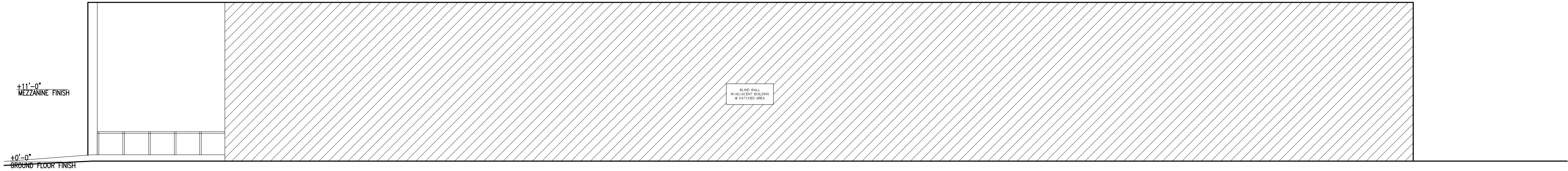
A2.3



I-EXISTING EAST(ELEVATION) ELEVATION
SCALE: 3/16"=1'-0"



2-(E) EXISTING NORTH(LEFT) ELEVATIONS
SCALE: 1/8"=1'-0"



3-(E) EXISTING SOUTH(RIGHT) ELEVATIONS
SCALE: 1/8"=1'-0"

WORK NOTES:

1. (E) STOREFRONT/STUCCO WALL FINISH TO REMAIN
2. (E) WINDOW/DOOR TO REMAIN
3. (E) CANOPY TO REMAIN
4. ADJ. TENANTS/BLDG
5. FUTURE SIGNAGE UNDER SEPARATE PERMIT
6. INTERNATIONAL SYMBOL OF ACCESSIBILITY @ EXTERIOR SIDE, SEE A1.2/A3 DETAIL

PROJECT:

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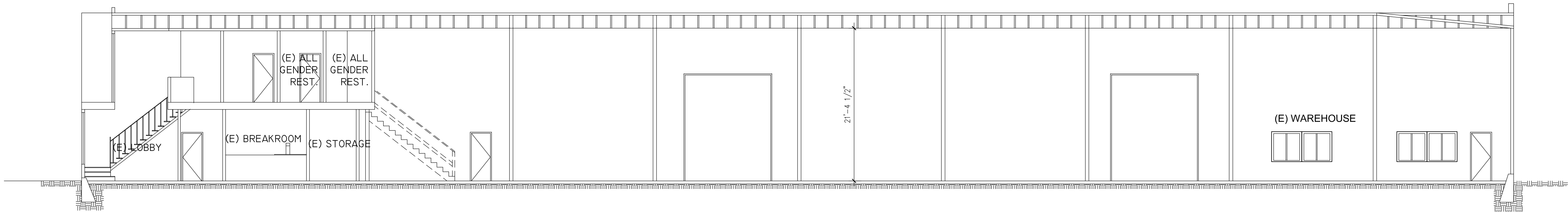
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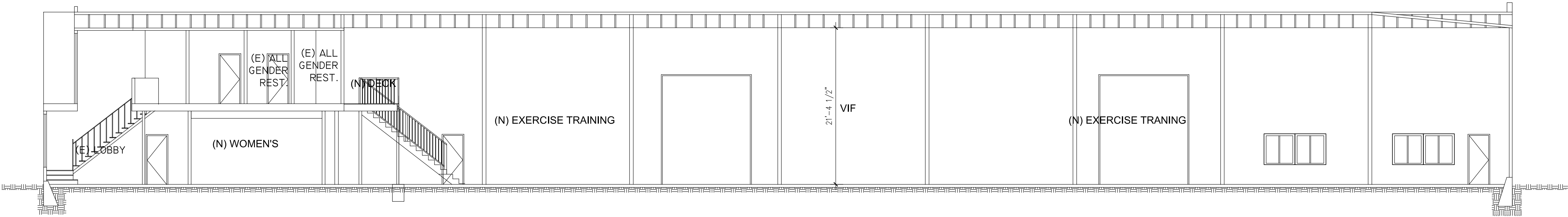
ELEVATIONS

A3.0



2-(E) EXISTING LONGITUDINAL SECTION

SCALE: 1/8"=1'-0"



3-PROPOSED LONGITUDINAL SECTION

SCALE: 1/4"=1'-0"

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PROJECT NO:
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REVISIONS:
1. REVISIONS TO THE
DRAWING SHALL BE MADE
BY THE ARCHITECT OR
XIE ASSOCIATES, INC.



SHEET TITLE

SECTIONS

A3.1