

BAY AREA SPORT HOUSE

147 BEACON ST.

SAN FRANCISCO, CA 94008

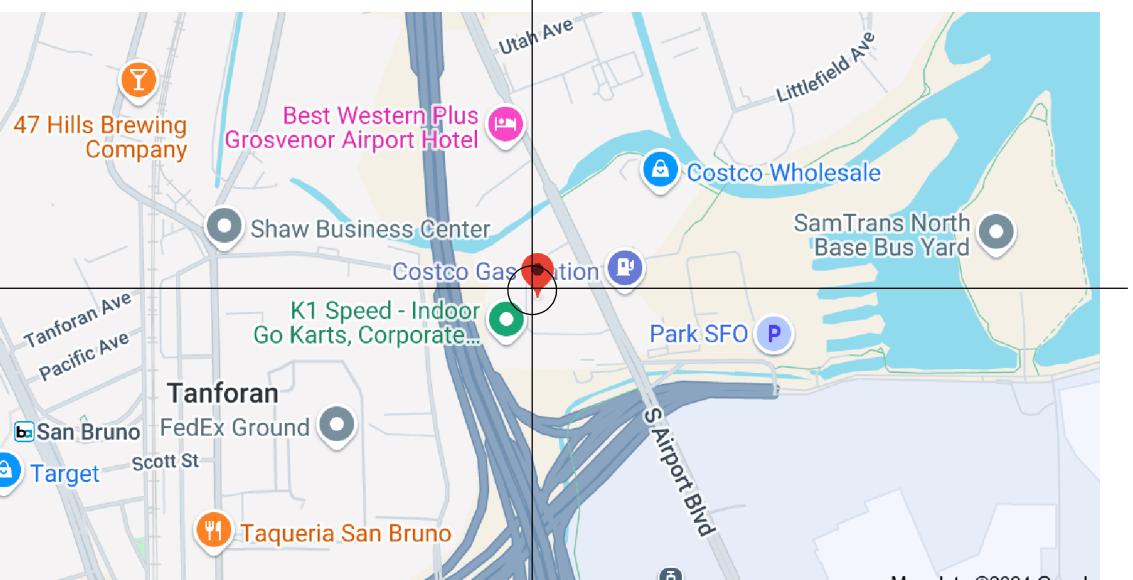
ABBREVIATIONS		PLUMBING FIXTURE COUNT										SCOPE OF WORK		PROJECT INFORMATION	
AFF	ABOVE FINISH FLOOR	EA	EACH	KIT	KITCHEN	KNOCKOUT	RESIL	RESILIENT	RET	RETURN	REV	REVISION			
ACOUST	ACOUSTICAL	EW	EACH WAY	KO			LAB		R	RISER					
ADJ	ADJUSTABLE	ELEC	ELECTRICAL						RD	ROOF DRAIN					
A/C	AIR CONDITIONING	ELEV	ELEVATION,ELEVATOR		EMER	EMERGENCY	LAB	LABORATORY	RM	ROOM					
ALLOW	ALLOWANCE	EQ	EQUAL	EQUIP	EQUIPMENT		LB	LAG BOLT	RO	ROUGH OPENING	RS	ROUGH SAWN			
ALT	ALTERNATE	EST	ESTIMATE	ESTH	EXHAUST		LAM	LAMINATE							
ALUM	ALUMINUM	EXH	EXHAUST	EXIST	EXISTING		LAV	LAVATORY	LT	LIGHT					
ANOD	ANODIZED	EXP	EXPANSION	EXP	EXPANSION		LF	LINEAR FEET	LS	LOUVER					
APP	APPLICATION	EXT	EXTERIOR	LVR	LVR		SS	SANITARY SEWER	SCD	SOLID CORD					
APPROX	APPROXIMATE	FOF	FACE OF FINISH	FIN	FINISHED		MB	MACHINE BOLT	SCD	SCHEDULE					
ARCH	ARCHITECTURAL	FT	FOOT	FTG	FOOTING		MH	MANHOLE	SEC	SECTION					
AC	ASPHALT CONCRETE	FRT	FRONT	FRC	FLASHING		MFR	MANUFACTURER	SHT	SHET					
BM	BEAM	FL	FLASH	FLASH	FLASHING		MO	MASONRY OPENING	SM	SHEET METAL					
BET	BETWEEN	FLD	BOARD	FLD	FLOOR		MAX	MAXIMUM	SV	SHEET VINYL					
BLK	BLACK	FDM	BOTTOM	FD	FLOOR DRAIN		MECH	MECHANICAL	S&R	SHELF & ROD					
BLDG	BUILDING	FS	BUILDING	FS	FLOOR SINK		MED	MEDIUM	SIM	SIMILAR					
CAB	CABINET	FLUOR	FLUORESCENT	FLUOR	FLUORESCENT		MTL	METAL	SC	SOLID CORE					
CI	CAST IRON	FT	FOOT	FTG	FOOTING		MIN	MINIMUM	SPEC	SPECIFICATION					
CB	CATCH BASIN	FND	FOUNDATION	FND	FOUNDATION		MISC	MISCELLANEOUS	SD	STORM DRAIN					
CLG	CEILING	FURR	FURRING	FURR	FURRING		MTD	MOUNTED	STRUCT	STRUCTURAL					
CEM	CEMENT	GA	GAGE, GAUGE	GA	GALVANIZED		NOM	NOMINAL	SUSP	SUSPENDED					
CL	CENTERLINE	GL	GLASS, GLAZING	GL	GLASS, GLAZING		NTS	NOT IN CONTRACT	SYM	SYMMETRICAL					
CER	CERAMIC	GYP	GYPSUM	GYP	GYPSUM BOARD		NO, #	NOT TO SCALE	TE	TENANT EXPENSE					
CO	CLEAN OUT	BD	GYPSUM BOARD	BD	GYPSUM BOARD			NUMBER	TI	TENANT IMPROVEMENT					
CLR	CLEAR, CLEARANCE	CALV	GALVANIZED	CALV	GALVANIZED IRON		(N)	NEW	THK	THICKNESS					
COL	COLUMN	CALV	IRON	CALV	IRON		NOM	NOMINAL	TOI	TOILET					
CONC	CONCRETE	CLO	COLUMN	CLO	COLUMN		NIC	NOT IN CONTRACT	TOI	TOILET					
CMU	CONC. MASONRY UNIT	CONC	CONC. MASONRY UNIT	CONC	CONC. MASONRY UNIT		NTS	NOT TO SCALE	TPD	TOILET PAPER					
CONT	CONTINUOUS	CONT	CONTINUOUS	CONT	CONTINUOUS		NO, #	NUMBER	DISPENSER	DISPENSER					
CORR	CORRIDOR	DACP	HANDICAPPED	DACP	HANDICAPPED		OBS	OBSCURE	OPP	OPPOSITE					
DEMO	DEMOLISH	DHDW	HARDWARE	DHDW	HARDWOOD		OC	ON CENTER	OPENING	OPPOSITE					
DEPT	DEPARTMENT	HWD	HARDWOOD	HWD	HARDWOOD		OPNG	OPENING	OPP	OPPOSITE					
DEP	DEPRESSED	HDR	HEADER	HDR	HEADER				OPP	OPPOSITE					
DTL	DETAIL	HVAC	HEAT/VENT/AIR COND.	HVAC	HEAT/VENT/AIR COND.		OH	OPPOSITE HAND, OVERHANG	T&G	TOE COVE GROOVE					
DIAG	DIAGONAL	HT	HEIGHT	HT	HEIGHT		OD	OUTSIDE DIAMETER	TJ	TOOLBOX JOINT					
DIA	DIAMETER	H	HOLLOW CORE	H	HOLLOW CORE		PR	PAIR	TOC	TOP OF CURB					
DIM	DIMENSION	HC	HOLLOW CORE	HC	HOLLOW CORE		PNL	PANEL	TOS	TOP OF SLAB					
DISP	DISPENSER, DISPOSAL	HM	HOLLOW METAL	HM	HOLLOW METAL		PTD	PAPER TOWEL DISPENSER	TOW	TOP OF WALL					
DIV	DIVISION	HORIZ	HORIZONTAL	HORIZ	HORIZONTAL		PART	PARTITION	TB	TOWER BAR					
DOB	DOUBLE	HR	HOUR	HR	HOUR		PLF	PER LINEAL FOOT	T	TREAD					
DOUG	DOUGLAS FIR	INCL	INCLUDED	INCL	INCLUDED		PSF	PER SQUARE FOOT	TYP	TYPICAL					
DN	DOWN	ID	INSIDE DIAMETER	ID	INSIDE DIAMETER		PSI	PER SQUARE INCH	UNF	UNFINISHED					
DS	DOWN SPOUT	PERF	PERFORATED	PERF	PERFORATED		VB	PERFORATED	UON	UNLESS OTHERWISE NOTED					
									VB	VAPOR BARRIER					

GENERAL NOTES

- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF THE PLANS FOR BID PURPOSES PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- THE ARCHITECT'S APPROVAL OF SUCH SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM DRAWINGS OR SPECIFICATIONS UNLESS HE HAS (IN WRITING) CALLED THE ARCHITECT'S ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSIONS, NOR SHALL IT RELIEVE HIM OF RESPONSIBILITY FOR ERRORS IN THE SHOP DRAWINGS.
- THE INTENT OF THESE DRAWINGS & SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, PRESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF ALL LOCAL GOVERNING BUILDING CODES AS ADOPTED & AMENDED AND C.A.C. TITLE 24, HANDICAP REQUIREMENTS.
- UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE.
- DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALDED FROM DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- UNLESS OTHERWISE NOTED OR INDICATED ALL DIMENSIONS ON THE PLANS SHALL BE FROM CENTERLINE OF COLUMN, FACE OF CONCRETE, FACE OF WALL (AT SHAFTS), FACE OF STUD OR FACE OF MULLION.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS CONTAINED IN THE PUBLIC HEALTH REGULATIONS, STATE DEPARTMENT OF HEALTH ON WATER POLLUTION CONTROL AND WATER QUALITY STANDARDS.
- THE CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING, BARRICADES AND PROTECTIVE MEASURES, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK, AND SHALL BE FULLY RESPONSIBLE FOR SAME.

- CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE, THE CONTRACTOR SHALL INFORM THE ENGINEER OF THE LOCATION OF DISPOSAL SITES. THE DISPOSAL SITE MUST ALSO FULFILL THE REQUIREMENTS OF THE GRADING ORDINANCES.
- ALL UNDERGROUND UTILITIES ARE REQUIRED ON THIS SITE AND SHALL BE UNDERGROUND FROM PROPERTY LINE TO BUILDING.
- BUILDING NUMBER OR ADDRESS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE DEPARTMENT BEFORE THE BUILDING IS OCCUPIED.
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK.
- PROVIDE ALL NECESSARY BLOCKING, BACKING FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT, DRAPERY OR CEILING TRACKS AND ALL OTHER ITEMS REQUIRING SAME.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE.
- FOR BACK BOARDS REQUIRED IN TELEPHONE AND ELECTRICAL EQUIPMENT ROOMS, SEE ELECTRICAL DRAWINGS.
- ROOF COVERINGS BUILT-UP ROOFING SHALL CONFORM TO REQUIREMENT OF UNDERWRITERS LABORATORIES, INC., CBC STANDARD FOR CLASS "A" FIRE RETARDANT ROOFING.
- UNLESS NOTED OTHERWISE ALL SURFACES TO BE PAINTED SHALL RECEIVE A MINIMUM OF 30 COATS.
- ALL FIXED GLASS PANELS ADJACENT TO DOORS AND GLAZING ADJACENT TO A WALKING SURFACE SHALL BE OF SAFETY GLASS MATERIAL.
- GLASS AND GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE FLAT GLASS MANUFACTURER'S ASSOCIATION HANDBOOK.
- INSTALLATION OF GLASS SHALL CONFORM TO FEDERAL SPECIFICATION 16-CFR-1202 AND THE CBC AND ALL LOCAL CODES AND ORDINANCES, GLASS 24" ON EITHER SIDE OF ENTRY DOORS AND WITHIN 18" OF FINISH FLOOR SHALL BE FULLY TEMPERED.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.

PROJECT LOCATION



SHEET INDEX

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COVER SHEET

A0.0

Executive Summary: Bay Area Sporthouse (BASH) aims to become a premier multi-sports complex located in South San Francisco, catering to the growing interest in recreational sports such as volleyball and pickleball. The facility will provide state-of-the-art courts, professional coaching, organized leagues, and community events, promoting an active lifestyle in a family-friendly environment.

Business Objectives:

1. To establish Bay Area Sporthouse as a leading destination for volleyball and pickleball enthusiasts.
2. To foster community involvement through programs, events, and partnerships with local schools and organizations.

Market Analysis:

- **Target Market:**
 - Recreational athletes (ages 8-65)
 - Local schools and colleges
 - Community recreational leagues
 - Sports clubs and organizations
- **Market Demand:**
 - Increasing popularity of volleyball and pickleball across all age groups.
 - Limited availability of dedicated facilities within the South San Francisco area.
 - High demand for recreational and fitness activities post-pandemic.
- **Competitors:**
 - Local gyms with limited court availability.
 - Community centers with multi-purpose facilities but lacking specialized courts.

Facility Overview:

- **Location:** A strategic site in South San Francisco with easy access to major roads, airport, and public transportation.
- **Facility Size:** 18,000 square feet, adaptable for multiple courts and spectator areas.
- **Strength and Conditioning area**
- **Parking:**
 - (16) designated parking spaces with
 - (2) handicap and,
 - (35) additional parking spaces next door with a parking agreement in place with the landlord who owns the property.
 - (16-20) Street parking spaces.
 - (1) Loading Dock
- **(8) Short Term Bicycle Parking** to be created.
- **Public Transportation:**
 - SamTrans 292 & 397 - 0.2 miles (4 min walk) to the nearest bus stop.
 - Other means of transportation: Uber, Lyft
- **Loading Zone for passenger pick up and drop off** to be created.
- **Hours of Operation:** 8 AM to 10 PM.
 - (2) working shifts:
 - 7:00 AM - 3:30 PM. (1 Person)
 - Note: 7:00 am to 8:00 am set up time
 - 3:00 PM - 11:00 PM. (1 Person)
 - Note: 10:00 pm to 11:00 pm cleanup / shut down
 - Monday to Friday Peak Hours: 4 pm to 10:00 pm.
 - Saturday and Sunday Peak Hours: 10:00 am to 10:00 pm.
- **Estimated Numbers of Customers per Day:**
 - Monday to Friday at 75 +/- people per day.
 - Saturday and Sunday at 90 +/- people per day.
- **Design:**
 - (2) professional-grade indoor volleyball courts.
 - (2) indoor pickleball courts.

I- OPERATION HOUR AND NUMBER OF CUSTOMER

9/12/2024

To Whom It May Concern,

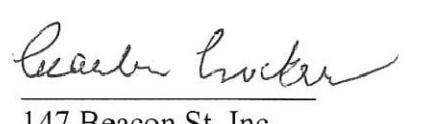
Please let this letter acknowledge an additional parking allowance provided to JJSJL LLC., the new tenants of 147 Beacon St., South San Francisco, CA. JJSJL LLC. or its affiliates are required to submit a TMP to the city of South San Francisco as part of their change-of-use permit.

Please be advised that JJSJL will have the exclusive right to use approximately 15-17 parking spaces surrounding the property they are leasing at 147 Beacon St. Additionally, JJSJL LLC. its affiliates, and clients have permission to use any additional parking spaces located on our adjoining parcel surrounding 131 Beacon St., provided they meet the following conditions:

- 1) JJSJL LLC, its affiliates, and clients will not park in additional parking spaces during regular business hours for any future tenants of 131 Beacon St.
- 2) JJSJL LLC, its affiliates, and clients will not park in additional parking spaces for an extended period or leave any vehicles overnight.
- 3) JJSJL LLC, its affiliates, and clients will not park in additional parking spaces in a way that creates a nuisance to, disrupts the business operations of, or otherwise disturbs any future tenants of 131 Beacon St.
- 4) JJSJL LLC, its affiliates, and clients will immediately comply to correct any nuisance, disruption to business operations, etc., which may be caused by occupying parking spaces reserved for 131 Beacon St.

Please be advised that the landlord maintains the right to revoke this agreement at any time should JJSJL LLC, its affiliates, and clients not comply with the above terms and conditions.

Regards,



147 Beacon St. Inc.



CITY OF SOUTH SAN FRANCISCO POLICE DEPARTMENT

Scott Campbell – Chief of Police



POLICE DEPARTMENT PLAN CHECK COMMENTS

Thursday, June 12, 2025

To: Planning Division
From: Sergeant Sean Curni, Police Department
Re: Planning Commission Agenda Items
Case No.: P24-0133
Location: 147 Beacon Street, SSF

All construction must conform to South San Francisco Municipal Code Chapter 15.48.070 Minimum security standards for non-residential buildings. (Ord. 1477 § 1C, 2013; Ord. 1166 § 1, 1995)

15.48.085 Additional Security Measures May Be Required

Per South San Francisco Municipal Code 15.48.085 -Additional Security Measures, the following conditions will also be required:

- 1) Any exterior double door entrances shall only have one exterior handle, which should be on the right door (from a person's perspective from the outside). This is to prevent the malicious locking/chaining of the doors from the outside. This requirement shall also apply to interior double doors to shared common areas.
- 2) The hardware design of any double doorways shall prevent any doors from being secured in a closed position to either another door or a fixed object within four feet of any door by means of a rope, cable, chair, or similar item. This is to prevent malicious prevention of egress and/or ingress by building occupants or first responders. Pay particular attention to all glass doorways. See possible samples below.

Acceptable:



ADDRESS ALL COMMUNICATIONS TO THE CHIEF OF POLICE
1 CHESTNUT AVENUE - SOUTH SAN FRANCISCO, CALIFORNIA 94080

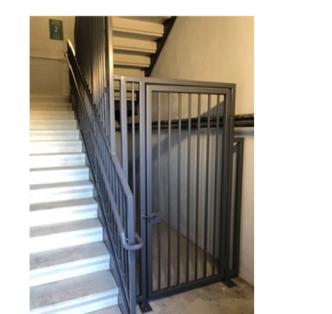
2-PARKING AGREEMENT

Police Department Plan Check Comments Continued...

Unacceptable:



3) The landing at the lowest level of service staircases, such as those in the garage area or fire escapes, shall have some mechanism, such as fencing and/or a gate, to prevent access to those areas where a person could conceal themselves and/or loiter in said area. The fencing and/or gate shall be at least six feet tall and constructed in a manner that makes it difficult to climb. The fencing and/or gate shall be roughly flush with the lowest step to provide maximum access restriction to the area to the side or underneath the stairs. Please see below examples.



4) Any exterior bicycle racks installed shall be of an inverted "U" design, or other design that allows two different locking points on each bicycle.

5) Any publicly accessible benches shall be of a design that prevents persons from lying on them, such as a center railing.

6) Any publicly accessible power outlets shall be of a design that prevents their access or use during those hours the business is normally closed. If physical locking covers are used, they must be made of metal, not plastic, and locks must be installed prior to inspection.

7) Any publicly accessible raised edge surfaces, such as retaining walls, concrete benches, handrails, or railings, shall be of a design that prevents or discourages skateboard use on those surfaces.

Police Department Plan Check Comments Continued...

8) The mature height of all shrubbery shall be no higher than three feet, if so, it shall be maintained at a maximum height of three feet, and tree canopies shall be no lower than six feet above grade.

9) The applicant shall install and maintain a camera surveillance system that conforms to the minimum technical specifications of South San Francisco Municipal Code Chapter 8.66.050 Minimum technological standards, (Ord. 1515, 2016). The video surveillance cameras will be used as a crime deterrent and assist with the identification and apprehension of criminals if a crime is committed on the property. Enough cameras shall be placed minimally in the following locations:

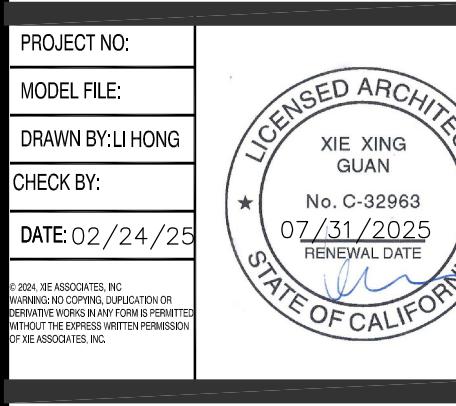
- All exterior entrances/exits
- Front lobby
- Common areas
- Loading docks

The Police Department requires acknowledgment of these comments to include specific locations in the plans where the applicable change requests have been made.

The Police Department reserves the right to review and comment upon the submission of revised and updated plans.

For questions concerning this project, please contact the Planning Sergeant at (650) 877-8927 or at planningsergeant@ssf.net.

Sean Curni
Planning and Crime Prevention Sergeant



SHEET TITLE

ADDITION
INFORMATION

A0.1

(E) OVERFLOW
PARKING SPACE UNDER _____
CONTRACT, 35 PARKING SPACES
AVAILABLE

(E) ADJ.
PARKING LOT,
131 BEACON
ST. SHARED
PARKING
SPACE W/147
BEACON ST

GENERAL NOTED:

1. THE ACCESSIBLE PATH OF TRAVEL TO HAVE MIN. CLEAR WIDTH OF 5 FEET THROUGHOUT, MAX. SLOPE 5% IN THE DIRECTION OF TRAVEL, AND MAXIMUM CROSS SLOPE 2%.
2. OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS PRIOR TO STARTING ANY WORK
CLEAN-OUT AND, IF REQUIRED, THE UPGRADE OF WATER SERVICE AND SANITARY SEWER LATERAL AND MODIFY CURB CUT INCLUDING THE REPAIR OF THE SIDEWALK,

LEGEND

— PATH OF TRAVEL

PARKING REQUIREMENT

(E) OFFICE AREA: 4,418 SF/300=15 PARKING
REQUIRED
EXERCISE TRAINING : 14,536 SF/TO BE DETERM
BY PLANNING

**147
BEACON ST
S. SAN FRANCISCO,
CALIFORNIA**

PROPERTY LINE 220.07, PROPERTY LINE 104.28

SUBJECT PROPERTY
147 BEACON ST.

PATH OF TRAVEL

ADA PARKING

BEACON ST. (50' .00" WIDE)

TYPE 2 BIKE RACK
SEE -/D3

BLDG ENTRY

5'-0"

32'-2"

17'-9"

19'-9" TYP.

2'-0"

3'-9 1/2"

(E) PARKING

(E) PARKING

(E) ENTRY

(E) DRIVWAY

(E) WALK

SIDE WALK

NO PARKING

P.L.

1 2 3 4 5

8'-6" TYP.

8'-0"

9'-0"

8'-0"

7'-3"

8'-0"

9'-0"

8'-0"

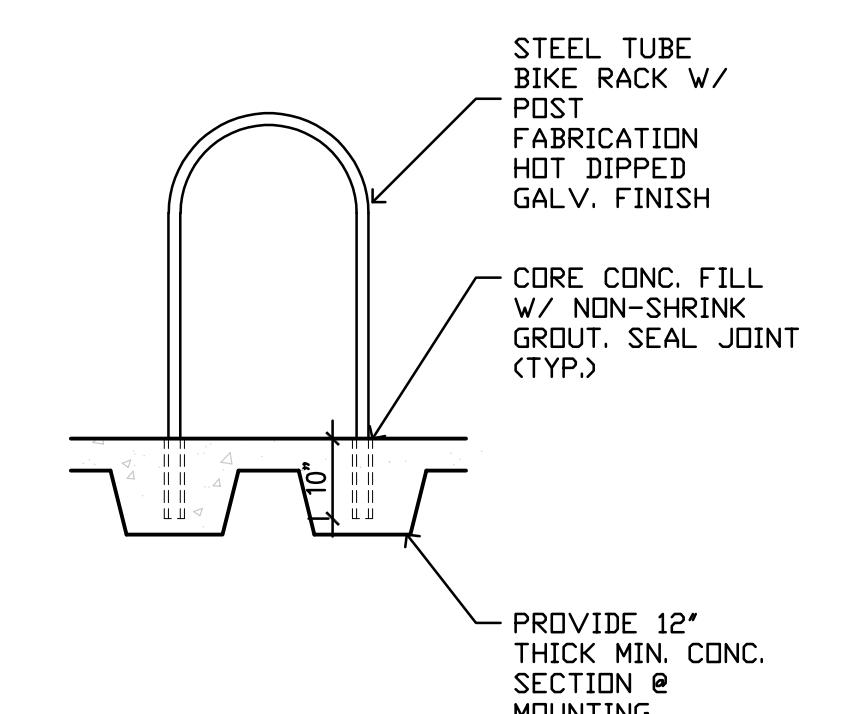
5'-0"

17'-9"

19'-9" TYP.

2'-0"

3'-9 1/2"



3 BICYCLE U RACK, TYPE 2
SCALE: NTS

I- SITE PLAN & PATH OF TRAVEL AND ROOF PLAN

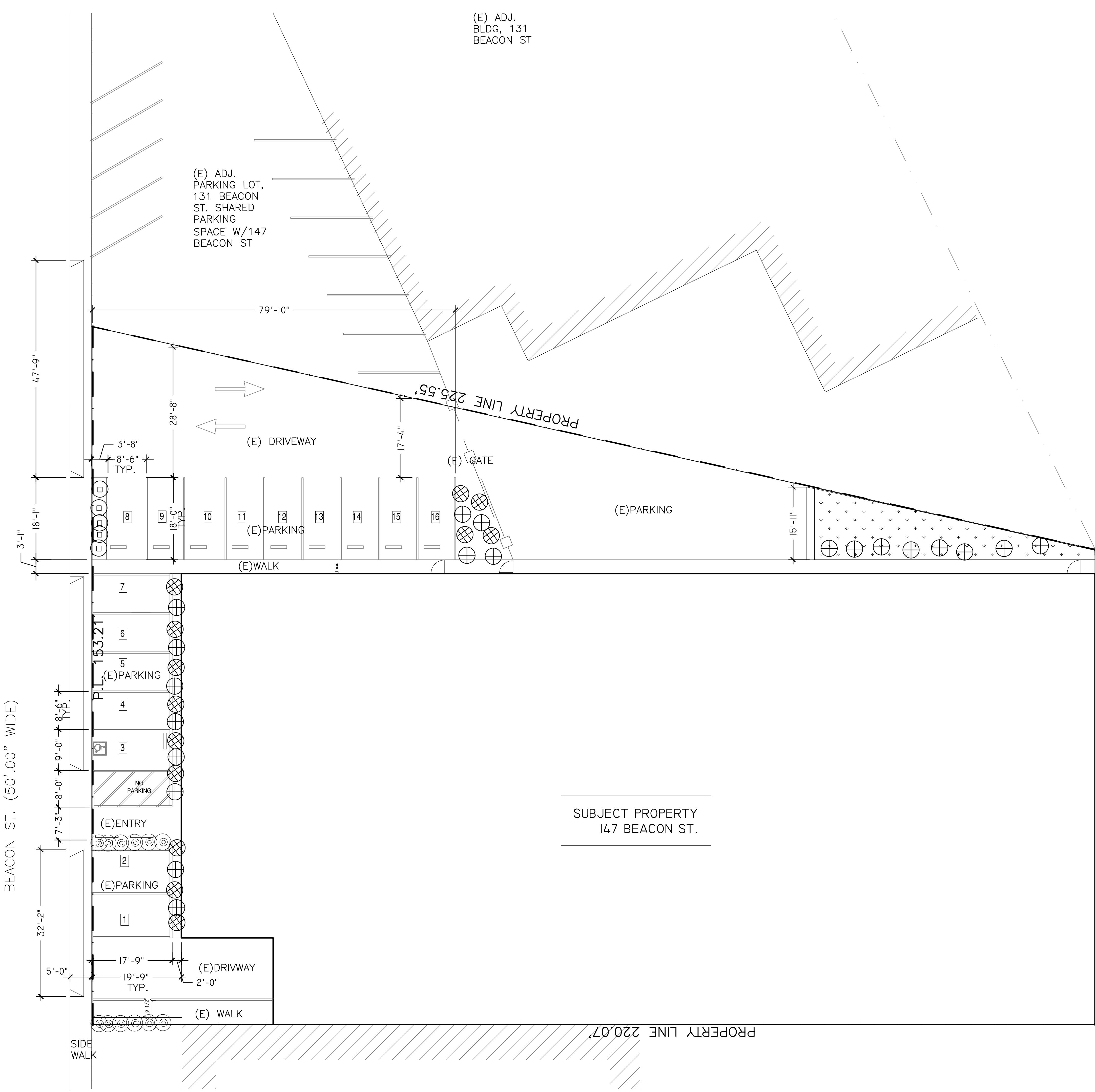
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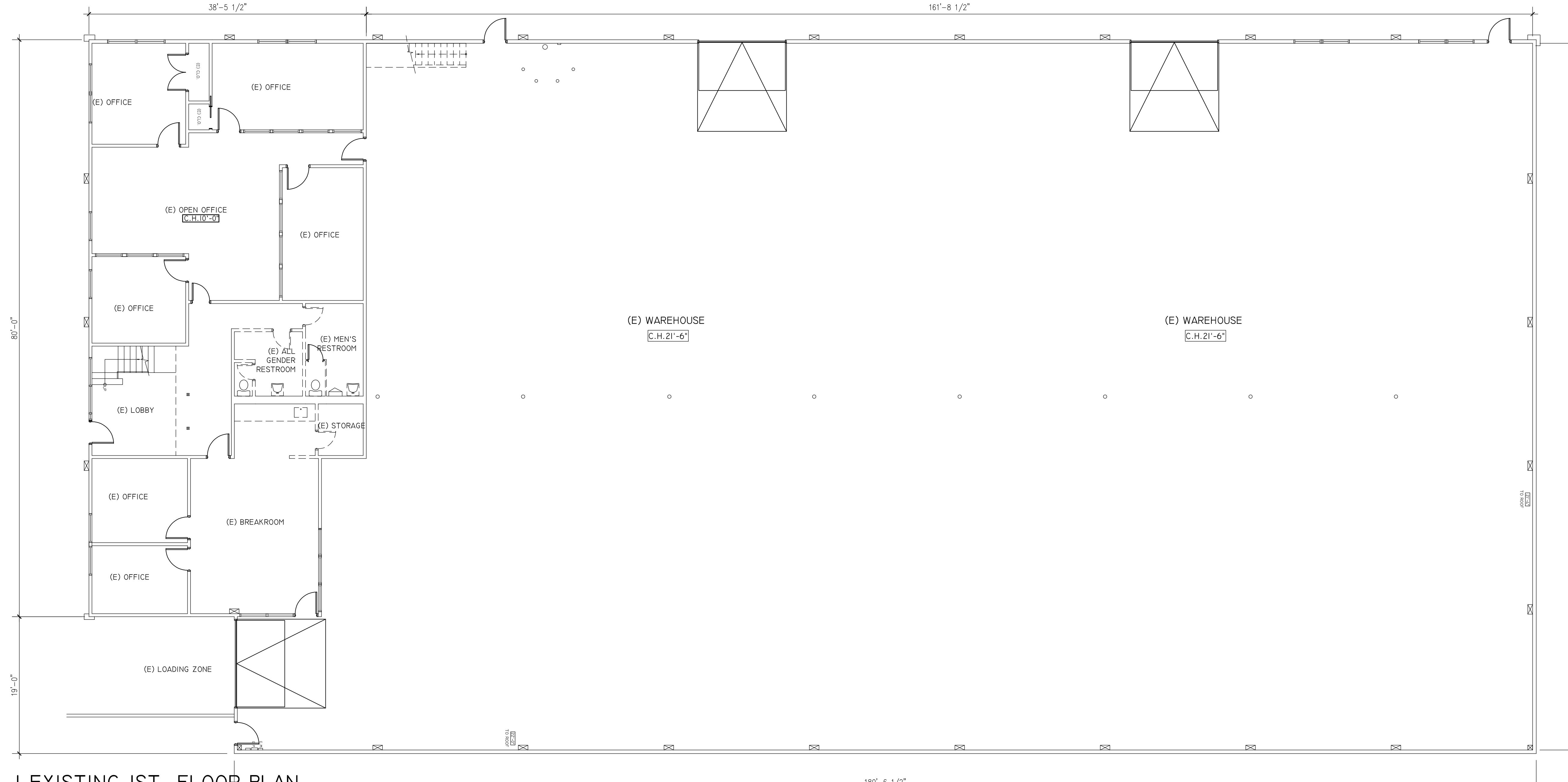
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SITE PLAN



Digitized by srujanika@gmail.com





PROJECT:
**TENANT
IMPROVEMENT**
FOR
JJS LJ LLC

XIE ASSOCIATES, INC.
Architectural Design & Planning
26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bill@xiearchdesign.com

147
BEACON ST
S. SAN FRANCISCO,
CALIFORNIA

DEMO FLR PLAN KEYED NOTES	DEMOLITION PLAN SHEET NOTES	PLAN LEGEND	REFLECTED CEILING PLAN LEGEND
<p>1 DEMO AND REMOVE EXISTING EQUIPMENTS, PLUMBING AND LIGHT FIXTURES PER PLAN, AND CAPP OFF ASSOCIATED UTILITY LINES AS NEEDED</p> <p>2 (E) STOREFRONT TO REMAIN, NO WORK</p> <p>3 MAINTAIN EXISTING DEMISING WALL FIRE RATING, PATCH ALL OPENING WITH 1-HR RATED, TYP.</p> <p>5 MODIFY WALL, FLOOR, AND CEILING FINISHES TO RECEIVE NEW WORK, REFER TO PROPOSED WORK FOR EXTEND OF WORK</p> <p>6 SWITCH DOOR SWING, REVERSE, SEE PLANS</p>	<p>1. DEMOLITION IS NOT LIMITED TO ONLY WHAT IS SHOWN ON THIS OR OTHER DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT WITH THE CONSTRUCTION DRAWINGS.</p> <p>2. CONDUCT A PRE-DEMOLITION JOBSITE MEETING PRIOR TO DEMOLITION TO SCHEDULE THE WORK WITH THE OWNER AS SO NOT TO INTERFERE W/ OWNER'S NORMAL BUSINESS OPERATIONS.</p> <p>3. ERECT AND MAINTAIN TEMPORARY BRACING, BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.</p> <p>4. REMOVE DEBRIS FROM THE PREMISES DAILY. KEEP OCCUPIED AREAS ADJACENT TO DEMOLITION ZONES BROOM CLEAN AND FREE OF DEBRIS.</p> <p>5. UPON COMPLETION OF THE DEMOLITION WORK, THE GENERAL CONTRACTOR SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN.</p> <p>6. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.</p> <p>7. PROTECT FROM DAMAGE MATERIALS NOT REQUIRED TO BE REMOVED OR DEMOLISHED. RESTORE TO ORIGINAL CONDITION SURFACES WHICH HAVE BEEN DISTURBED BY DEMOLITION AND ARE INDICATED TO REMAIN. PATCH, TO MATCH SIMILAR ADJACENT FINISHES, DAMAGED SURFACES WHICH WILL BE VISIBLE IN THE FINISHED WORK. DOORS INDICATED FOR REMOVAL SHALL HAVE FRAMES, ADJ. JAMBES, HARDWARE, ETC. REMOVED, FINISHES PATCHED AND REPAVED.</p> <p>8. ALL EXISTING MECHANICAL, ELECTRICAL, LIGHTING AND SPECIAL EQUIPMENT WHICH IS TO BE REMOVED SHALL BE RETURNED TO THE BUILDING OWNER.</p> <p>9. CAREFULLY REMOVE EXISTING DOORS, DOOR FRAMES, HARDWARE, SIDELIGHT GLAZING AND SIDELIGHT FRAMES INDICATED TO BE REMOVED.</p> <p>10. SAVE FIRE EXTINGUISHER CABS, FIRE STROBES & OTHER DEVICES FOR POSSIBLE RELOCATION.</p> <p>11. AT ALL AREAS WHICH DISPLAY DISCREPANCIES IN FLOOR LEVEL AFTER REMOVAL OF PARTITIONS OR FINISHES, CONTRACTOR SHALL PATCH TO LEVEL THE FLOORING TO RECEIVE NEW FLOOR FINISHES SUCH AS VCT, OR CARPET PER INDUSTRY AND MANUFACTURER STANDARDS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.</p> <p>12. EXISTING THERMOSTATS IN PARTITIONS TO BE DEMOLISHED SHALL BE REMOVED, PROTECTED AND STORED FOR REUSE BY THE MECHANICAL CONTRACTOR. THE PNEUMATIC TUBING SHALL BE COILED UP AND TEMPORARILY HUNG FROM THE DECK. THE END OF THE TUBING SHALL BE TAPE OFF TO PREVENT DIRT FROM ENTERING THE TUBING.</p> <p>13. EXISTING SUPPLY DIFFUSERS AND RETURN/EXHAUST GRILLES IN CEILINGS TO BE DEMOLISHED SHALL BE REMOVED, PROTECTED AND STORED.</p> <p>14. ALL OTHER MECHANICAL WORK SHALL BE REUSED. AVOID DAMAGE TO ALL EXISTING BASE BUILDING EQUIPMENT/DUCTWORK/GRILLES/PIPING/ETC.</p> <p>15. DISCONNECT AND REMOVE ALL EXISTING TELE/DATA CABLES AND JACKS IN PARTITIONS TO BE REMOVED. ALL CABLING TO BE REMOVED BACK TO THE PHONE/COMPUTER ROOM PUNCH DOWN BLOCK.</p> <p>16. DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL DEVICES AND ASSOCIATED CONDUIT AND WIRES IN WALLS/PARTITIONS TO BE REMOVED. WHERE CONDUIT/WIRES FEED OTHER AREAS, RE-ROUTE CONDUIT AND WIRE AS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY.</p>	<p>— Existing construction to remain</p> <p>— Existing wall to be removed</p> <p>— Existing door to be removed</p> <p>1 — Keyed Notes</p>	<p>(E) 2'x4' FLUORESCENT LIGHT FIXTURE, CEILING RECESSED, 2 LAMP, TO BE REMOVED</p> <p>(E) MECHANICAL VENT, CONNECT TO (E) HVAC SYSTEM, REROUTE AS NEEDED</p> <p>○ RECESSED CEILING MOUNTED COMPACT LIGHT FLUORESCENT LIGHT FIXTURE</p> <p>(E) SKYLIGHT TO REMAIN</p>

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GUAN
No. C-32963
07/31/2025
RENEWAL PERIOD
RENEWAL PERIOD
RENEWAL PERIOD
RENEWAL PERIOD

SHEET TITLE

EXISTING FLR
PLAN

A2.0

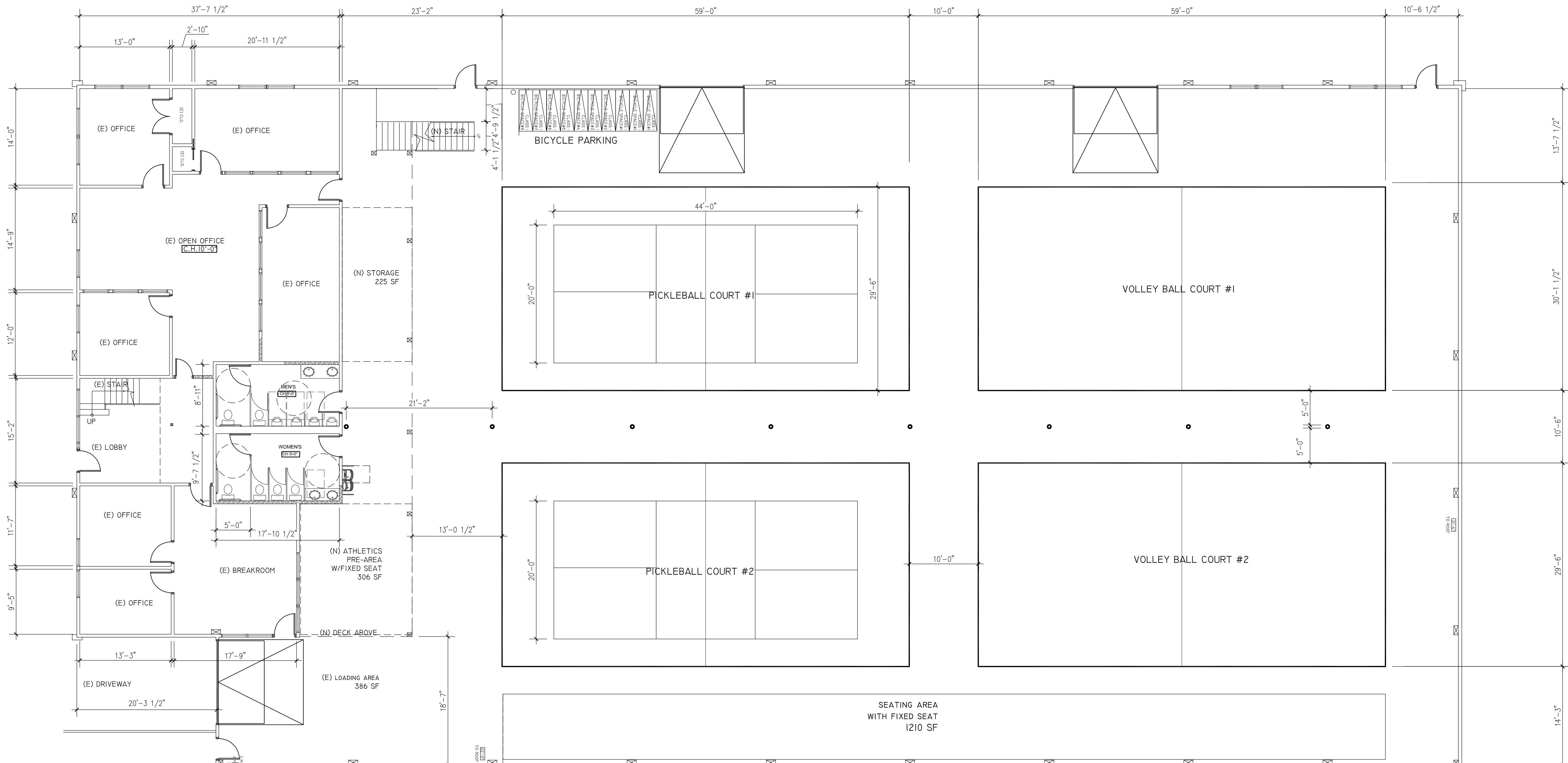
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**147
BEACON ST
S. SAN FRANCISCO,
CALIFORNIA**

I-EXISTING MEZZAINE PLAN

SCALE: 1/8"=1'-0"

DEMO FLR PLAN KEYED NOTES		DEMOLITION PLAN SHEET NOTES		PLAN LEGEND		REFLECTED CEILING PLAN LEGEND	
1 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 219 220 221 222 223 224 225 226 227 228 229 229 230 231 232 233 234 235 236 237 238 239 239 240 241 242 243 244 245 246 247 248 249 249 250 251 252 253 254 255 256 257 258 259 259 260 261 262 263 264 265 266 267 268 269 269 270 271 272 273 274 275 276 277 278 279 279 280 281 282 283 284 285 286 287 288 289 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 309 310 311 312 313 314 315 316 317 318 319 319 320 321 322 323 324 325 326 327 328 329 329 330 331 332 333 334 335 336 337 338 339 339 340 341 342 343 344 345 346 347 348 349 349 350 351 352 353 354 355 356 357 358 359 359 360 361 362 363 364 365 366 367 368 369 369 370 371 372 373 374 375 376 377 378 379 379 380 381 382 383 384 385 386 387 388 389 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 409 410 411 412 413 414 415 416 417 418 419 419 420 421 422 423 424 425 426 427 428 429 429 430 431 432 433 434 435 436 437 438 439 439 440 441 442 443 444 445 446 447 448 449 449 450 451 452 453 454 455 456 457 458 459 459 460 461 462 463 464 465 466 467 468 469 469 470 471 472 473 474 475 476 477 478 479 479 480 481 482 483 484 485 486 487 488 489 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 509 510 511 512 513 514 515 516 517 518 519 519 520 521 522 523 524 525 526 527 528 529 529 530 531 532 533 534 535 536 537 538 539 539 540 541 542 543 544 545 546 547 548 549 549 550 551 552 553 554 555 556 557 558 559 559 560 561 562 563 564 565 566 567 568 569 569 570 571 572 573 574 575 576 577 578 579 579 580 581 582 583 584 585 586 587 588 589 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 609 610 611 612 613 614 615 616 617 618 619 619 620 621 622 623 624 625 626 627 628 629 629 630 631 632 633 634 635 636 637 638 639 639 640 641 642 643 644 645 646 647 648 649 649 650 651 652 653 654 655 656 657 658 659 659 660 661 662 663 664 665 666 667 668 669 669 670 671 672 673 674 675 676 677 678 679 679 680 681 682 683 684 685 686 687 688 689 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 709 710 711 712 713 714 715 716 717 718 719 719 720 721 722 723 724 725 726 727 728 729 729 730 731 732 733 734 735 736 737 738 739 739 740 741 742 743 744 745 746 747 748 749 749 750 751 752 753 754 755 756 757 758 759 759 760 761 762 763 764 765 766 767 768 769 769 770 771 772 773 774 775 776 777 778 779 779 780 781 782 783 784 785 786 787 788 789 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 809 810 811 812 813 814 815 816 817 818 819 819 820 821 822 823 824 825 826 827 828 829 829 830 831 832 833 834 835 836 837 838 839 839 840 841 842 843 844 845 846 847 848 849 849 850 851 852 853 854 855 856 857 858 859 859 860 861 862 863 864 865 866 867 868 869 869 870 871 872 873 874 875 876 877 878 879 879 880 881 882 883 884 885 886 887 888 889 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 909 910 911 912 913 914 915 916 917 918 919 919 920 921 922 923 924 925 926 927 928 929 929 930 931 932 933 934 935 936 937 938 939 939 940 941 942 943 944 945 946 947 948 949 949 950 951 952 953 954 955 956 957 958 959 959 960 961 962 963 964 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1155 1156 1157 1158 1159 1159 1160 1161 1162 1163 1164 1165 1166 1167 1168 1169 1169 1170 1171 1172 1173 1174 1175 1176 1177 1178 1179 1179 1180 1181 1182 1183 1184 1185 1186 1187 1188 1189 1189 1190 1191 1192 1193 1194 1195 1196 1197 1198 1199 1200 1201 1202 1203 1204 1205 1206 1207 1208 1209 1209 1210 1211 1212 1213 1214 1215 1216 1217 1218 1219 1219 1220 1221 1222 1223 1224 1225 1226 1227 1228 1229 1229 1230 1231 1232 1233 1234 1235 1236 1237 1238 1239 1239 1240 1241 1242 1243 1244 1245 1246 1247 1248 1249 1249 1250 1251 1252 1253 1254 1255 1256 1257 1258 1259 1259 1260 1261 1262 1263 1264 1265 1266 1267 1268 1269 1269 1270 1271 1272 1273 1274 1275 1276 1277 1278 1279 1279 1280 1281 1282 1283 1284 1285 1286 1287 1288 1289 1289 1290 1291 1292 1293 1294 1295 1296 1297 1298 1299 1300 1301 1302 1303 1304 1305 1306 1307 1308 1309 1309 1310 1311 1312 1313 1314 1315 1316 1317 1318 1319 1319 1320 1321 1322 1323 1324 1325 1326 1327 1328 1329 1329 1330 1331 1332 1333 1334 1335 1336 1337 1338 1339 1339 1340 1341 1342 1343 1344 1345 1346 1347 1348 1349 1349 1350 1351 1352 1353 1354 1355 1356 1357 1358 1359 1359 1360 1361 1362 1363 1364 1365 1366 1367 1368 1369 1369 1370 1371 1372<br							



PARTITION LEGEND

SYMBOL	DESCRIPTION	DETAIL
---	(E) WALL TO REMAIN, MAINTAIN (E) FIRE RATE	
	NEW NON-RATED FULL HIGH PARTITION	B1 A3.0
	(E) GLASS PARTITION TO REMAIN	
	NEW NON-RATED FULL HIGH PARTITION	B1 A3.0

NUMBER OF WHEEL CHAIR SPACE IN DINING AREA

NUMBER OF EQUIPMENTS	LOCKER REQUIRED (S)	LOCKER PROVIDED
LOCKER 17	1	2
	1	1



GRAPHIC LEGEND

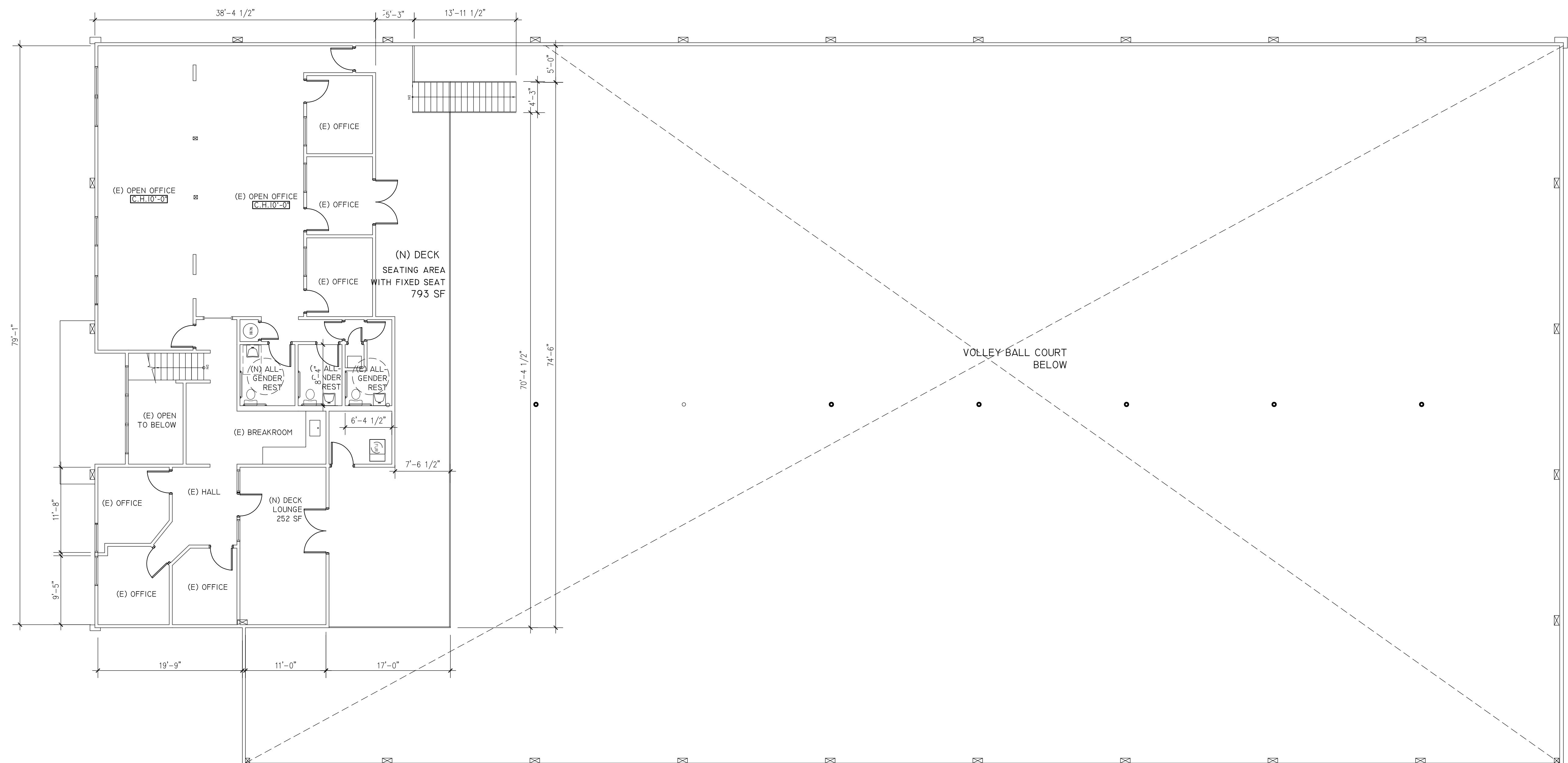
SYMBOL	DESCRIPTION
○	FIRE EXTINGUISHER 2-A:10-BC MIN. MOUNTED ON WALL 5'-0" FROM TOP TO FINISH FLOOR
L.B.	FIRE DEPARTMENT LOCK BOX
☒	FLOOR SINK

PROPOSED FLOOR
PLAN

A2.2

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I-PROPOSED MEZZANINE PLAN

SCALE: 1/8"=1'-0"

PROJECT NO:	
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CHECK BY:	
DATE: 02/24/25	
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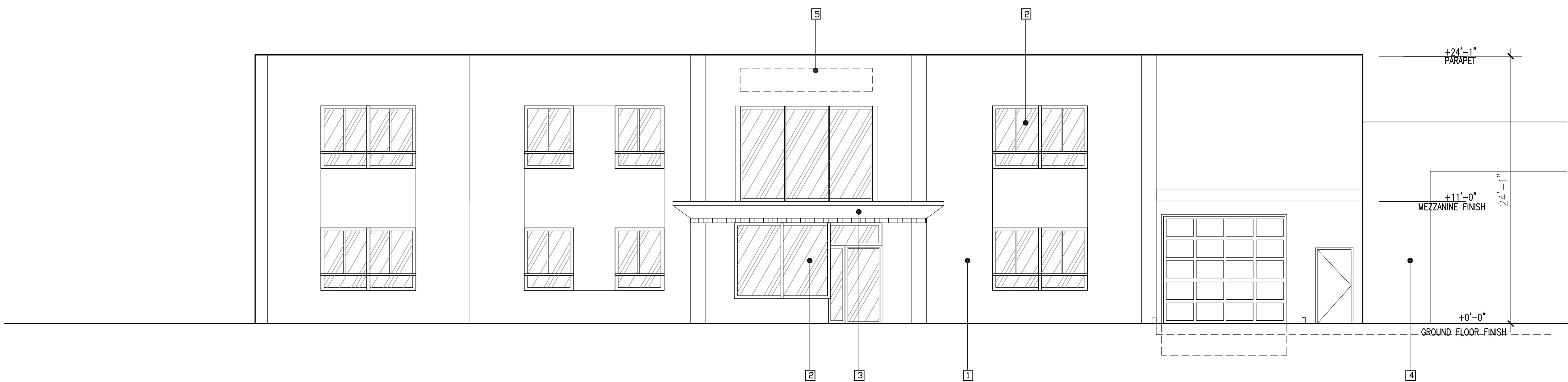
SHEET TITLE

MEZZANINE
PLAN

A2.3

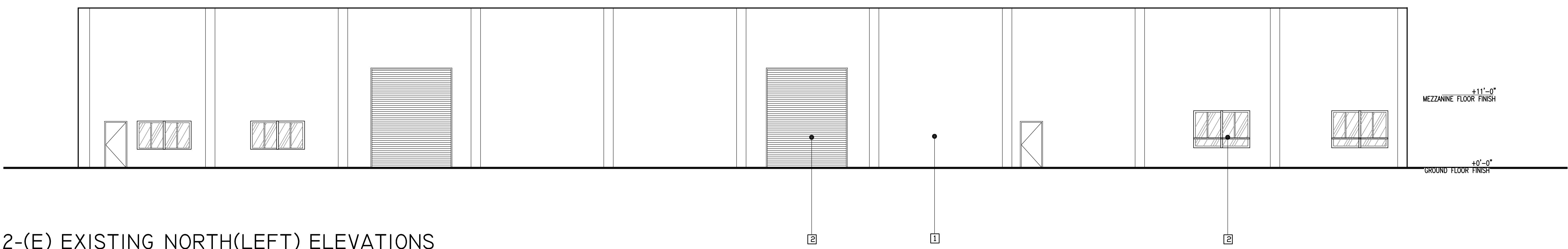
WORK NOTES:

- ① (E) STOREFRONT/STUCCO WALL FINISH TO REMAIN
- ② (E) WINDOW/DOOR TO REMAIN
- ③ (E) CANOPY TO REMAIN
- ④ ADJ. TENANTS/BLDG
- ⑤ FUTURE SIGNAGE UNDER SEPARATE PERMIT
- ⑥ INTERNATIONAL SYMBOL OF ACCESSIBILITY
@ EXTERIOR SIDE, SEE A1.2/A3 DETAIL



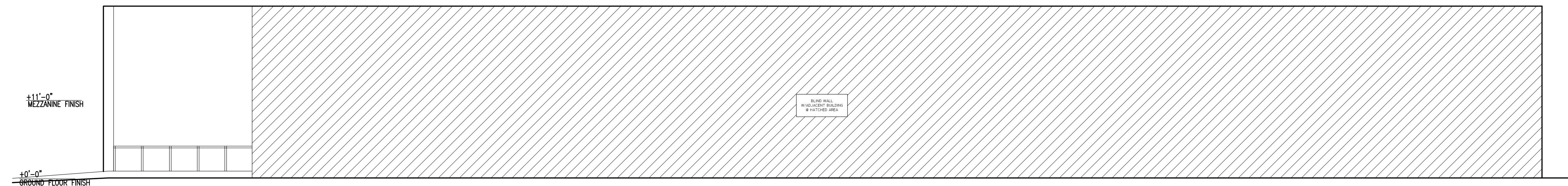
I-EXISTING EAST(ELEVATION) ELEVATION

SCALE: 3/16"=1'-0"

147
BEACON ST
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CALIFORNIA

2-(E) EXISTING NORTH(LEFT) ELEVATIONS

SCALE: 1/8"=1'-0"



3-(E) EXISTING SOUTH(RIGHT) ELEVATIONS

SCALE: 1/8"=1'-0"

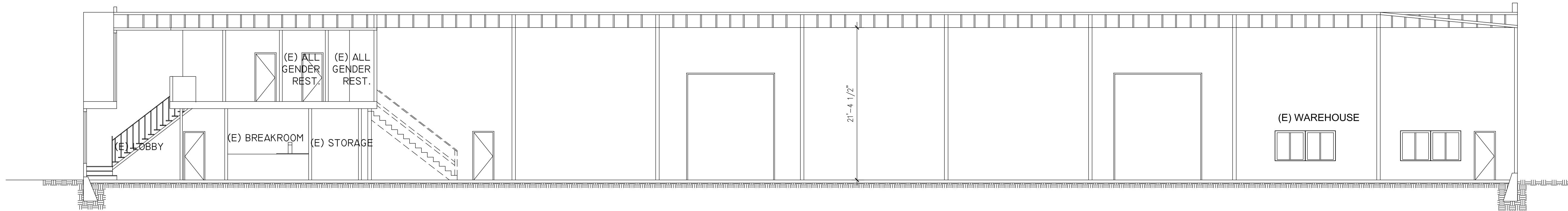
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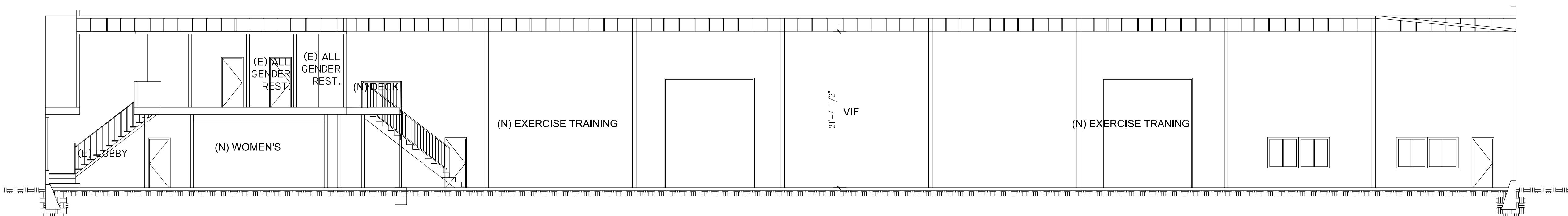
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2-(E) EXISTING LONGITUDINAL SECTION

SCALE: 1/8"=1'-0"



3-PROPOSED LONGITUDINAL SECTION

SCALE: 1/4"=1'-0"

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SECTIONS

A3.1